

PRELIMINARY MAJOR LAND DEVELOPMENT PLANS WATER GAP WELLNESS RECREATION CENTER

WATER GAP ACQUISITIONS PARTNERS, LLC

SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

AUGUST 26, 2024
LAST REVISED MARCH 28, 2025

Plans Prepared by:



☎ 272.200.2050

🌐 barryisett.com

525 Main Street, Suite 200

Stroudsburg, PA 18360

WAIVERS REQUESTED

THE FOLLOWING WAIVERS ARE BEING REQUESTED FROM THE SMITHFIELD TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE:

1. SALDO SECTIONS 22-1301.6.B.(5) – OUTLET BOX
2. SALDO SECTIONS 22-1301.7.L.(1) – OUTLET PIPES SHALL BE RCP
3. SALDO SECTIONS 22-1301.7.Q.(2) – STORM PIPES SHALL BE 18 INCHES
4. SALDO SECTIONS 22-603.1.D.(1) – COMPLETE OUTLINE SURVEY OF PROPERTY
5. SALDO SECTIONS 22-603.1.D.(7) – MONUMENTATION

SITE DATA

OWNER/DEVELOPER: WATER GAP ACQUISITIONS PARTNERS, LLC
P.O. BOX 244
DELAWARE WATER GAP, PA 18327
PHONE: 203-524-3039

SITE ADDRESS: WATER GAP WELLNESS
296 MOUNTAIN ROAD
STROUDSBURG, PA 18360

DEED BOOK: D.B.V. 2418, PG. 6739
TAX MAP: 16-9-1-26
PIN: 16731000755147
NUMBER OF LOTS: ONE (1)
TOTAL AREA: 68.35 AC.

SEWER: ON-SITE
WATER: ON-SITE

BENCHMARK

IRON PIN LOCATED APPROXIMATELY 53.4 FEET FROM THE SOUTHEAST CORNER OF THE EXISTING GARAGE AND APPROXIMATELY 20.6 FEET FROM THE LIGHT STANDARD LOCATED ALONG THE SOUTHERN PORTION OF THE PROPERTY WHERE THE PRIVATE DRIVEWAY ENDS AND THE GRAVEL LAINE BEGINS.
ELEVATION: 555.39 NAD83 DATUM.

ZONING DATA

ZONING DISTRICT: R-1: LOW DENSITY RESIDENTIAL ON-SITE SEWER AND WATER

EXISTING USE: INN AND CONFERENCE CENTER
PROPOSED USE: ACCESSORY BUILDING FOR INN AND CONFERENCE CENTER
MINIMUM LOT AREA: 50,000 SF
MINIMUM LOT WIDTH: 150 FEET
MINIMUM LOT DEPTH: 200 FEET
MINIMUM YARDS (BUILDING SETBACKS):
FRONT: 35 FEET
REAR: 25 FEET
SIDE: 30 FEET

MAX. BUILDING LOT COVERAGE: 20%
BUILDING HEIGHT: 35 FEET
MAX. IMPERVIOUS COVERAGE: 25%
EXISTING BUILDINGS COVERAGE 1.43%
PROPOSED BUILDINGS COVERAGE 1.78%
PROPOSED IMPERVIOUS COVERAGE 6.50%
SMITHFIELD TWP PROPERTY AREA 51.29 AC.

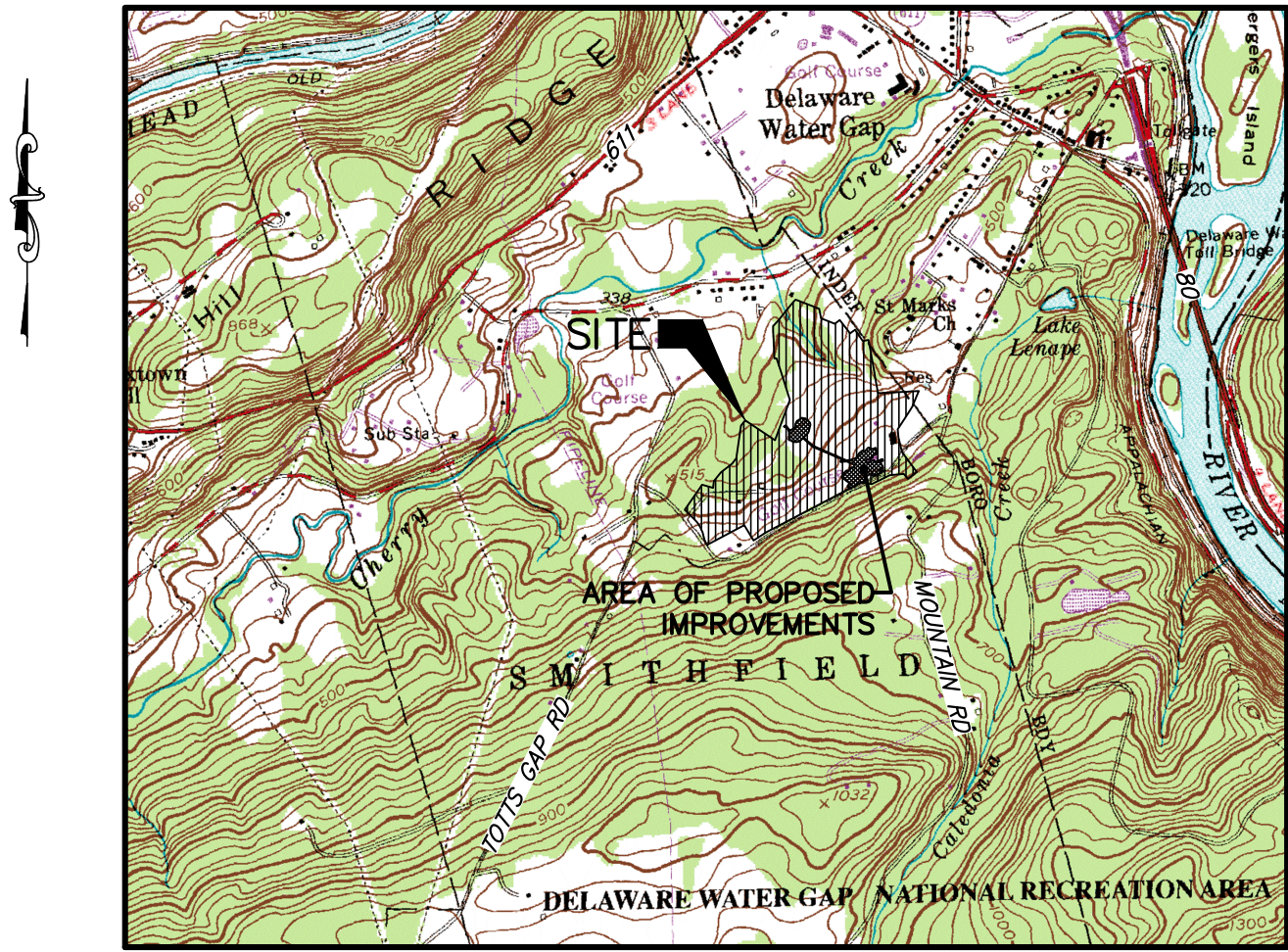
ZONING NOTE:
ZONING DATA PROVIDED IS BASED ON AN INTERPRETATION OF THE ZONING ORDINANCE BY THE PLAN PREPARER AND IS SUBJECT TO CONFIRMATION BY THE APPROPRIATE MUNICIPAL OFFICIAL.

PARKING DATA

PARKING REQUIREMENTS
INN: 4 PARKING SPACES FOR EVERY 3 SLEEPING ROOMS
PARKING REQUIRED 48 TOTAL ROOMS / 3 ROOMS X 4 SPACES = 64 SPACES
FOR INN: TOTAL EXISTING = 52 SPACES
TOTAL PROVIDED = 52 SPACES
THE RECREATION CENTER IS AN ACCESSORY USE TO THE INN AND WILL NOT ADD ANY ADDITIONAL GUESTS OR GUEST ROOMS, THEREFORE NO ADDITIONAL PARKING WILL BE REQUIRED, IN ACCORDANCE WITH ZO SECTION 402.2 AND SCHEDULE II FOOTNOTE 2.

GENERAL NOTES

1. CONTRACTOR SHALL NOTIFY THE PENNSYLVANIA ONE-CALL SYSTEM NO LESS THAN THREE DAYS AND NO GREATER THAN TEN DAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY THE LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES AND STRUCTURES.
3. THE CONTRACTOR SHALL CONDUCT EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS IF NECESSARY. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES IN UTILITY LINE LOCATIONS ARE FOUND.
4. CONTRACTOR SHALL COORDINATE ALL WORK PERFORMED WITH THE APPROPRIATE UTILITY COMPANY OR AUTHORITY AND WITH ALL UTILITIES TO ENSURE ALL UTILITY SERVICES SERVE ALL UTILITY CUSTOMERS FOR CONTINUOUS FACILITY OPERATIONS OF ALL UTILITY CUSTOMERS. CONTRACTOR SHALL REWORK ALL UTILITY SERVICES INCLUDING PROVIDING TEMPORARY UTILITY SERVICES UNTIL PERMANENT UTILITY SERVICES ARE PROVIDED.
5. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO PUBLIC/PRIVATE PROPERTY AS A RESULT OF CONSTRUCTION ACTIVITIES.
6. CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.
7. CONTRACTOR SHALL ENSURE THE SAFETY OF THE GENERAL PUBLIC, EXISTING STRUCTURES, AND OTHER PUBLIC AND PRIVATE PROPERTY
8. SITE SAFETY AND MAINTENANCE IS THE RESPONSIBILITY OF THE CONTRACTOR.
9. CONTRACTOR IS RESPONSIBLE TO KEEP EXISTING ROADWAYS, PARKING AREAS AND LOCAL ROADS FREE OF CONSTRUCTION MATERIALS. ANY DIRT OR DEBRIS TRACKED ON TO SUCH AREAS WILL BE IMMEDIATELY REMOVED.
10. THE CONTRACTOR IS RESPONSIBLE FOR BACKFILLING ALL TRENCHES, FENCING OFF CONSTRUCTION AREAS AND REMOVING UNSUITABLE MATERIAL AND DEBRIS FROM THE CONSTRUCTION SITE.
11. CONSTRUCTION CREWS, VEHICLES AND ACTIVITIES SHALL NOT INTERFERE WITH NORMAL OPERATIONS OF THE FACILITY. DESIGNATED PARKING AREAS SHALL BE ESTABLISHED AND USED FOR ALL CONSTRUCTION PERSONNEL.
12. CONSTRUCTION VEHICLES, MATERIALS OR ACTIVITIES SHALL NOT INTERFERE WITH PUBLIC ACCESS EXCEPT WHERE SHOWN ON THE PLANS. CONTROL VEHICULAR PARKING TO PREVENT INTERFERENCE WITH PUBLIC TRAFFIC AND PARKING, ACCESS BY EMERGENCY VEHICLES, AND OWNER'S OPERATIONS.
13. PREVENT PARKING ON OR ADJACENT TO ACCESS ROADS OR IN NON-DESIGNATED AREAS.
14. THE CONTRACTOR SHALL REMOVE ALL DEBRIS AND FLUSH OUT EXISTING AND PROPOSED STORM SEWER SYSTEMS WITHIN THE PROJECT AREA UPON COMPLETION OF CONSTRUCTION.
15. TRANSPORT, HANDLE, STORE AND PROTECT PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
16. PROTECT TREES, PLANT GROWTH, AND FEATURES DESIGNATED TO REMAIN, AS FINAL LANDSCAPING.
17. PROTECT BENCH MARKS, (SURVEY CONTROL POINTS, AND EXISTING STRUCTURES) FROM DAMAGE OR DISPLACEMENT. CONTRACTOR TO REPLACE BENCHMARKS DISTURBED.
18. STAGING AND STOCKPILE AREAS WILL BE LIMITED TO ONLY THE AREAS NOTED ON THE PLANS. STOCKPILING OF MATERIALS ON RIVERSIDE OF LEVEE OR SHEETPIILING SHALL BE AT THE CONTRACTORS RISK. ANY LOSS OF MATERIAL SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. STOCKPILE IN SUFFICIENT QUANTITIES TO MEET PROJECT SCHEDULE AND REQUIREMENTS.
19. SEPARATE DIFFERING MATERIALS WITH DIVIDERS OR STOCKPILE APART TO PREVENT MIXING.
20. DIRECT SURFACE WATER AWAY FROM STOCKPILE SITE SO AS TO PREVENT EROSION OR DETERIORATION OF MATERIALS.
21. ALL ACTIVITIES SHALL REMAIN WITH THE AREA DESIGNATED THE "LIMIT OF DISTURBANCE" AS SHOWN ON THE EROSION AND SEDIMENT POLLUTION CONTROL PLANS.
22. THE CONTRACTORS WORKING ON THIS PROJECT SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES RELATED TO THIS PROJECT ARE PERFORMED IN ACCORDANCE WITH ALL O.S.H.A. (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION) STANDARDS AND REQUIREMENTS.
23. IN ALL CASES, WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL NOT USE SCALED DIMENSIONS FOR CONSTRUCTION WITHOUT CONFIRMATION BY ENGINEER. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON THE PROJECT SITE. ENGINEER MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.
24. AS-BUILT PLANS SHALL BE PROVIDED TO THE TOWNSHIP AFTER CONSTRUCTION IS COMPLETE.



Location Map
USGS: STROUDSBURG QUADRANGLE
SCALE: 1"=2000'

PLAN INDEX				
PLAN DESIGNATION	PLAN TITLE	PLAN NO.	LAST REV.	
* CS-1	COVER SHEET	1 of 27	3/28/2025	
SCM-1	SITE CONTEXT MAP	2 of 27	3/28/2025	
* SP-1	SITE DEVELOPMENT PLAN	3 of 27	3/28/2025	
* SP-2	SITE DEVELOPMENT PLAN	4 of 27	3/28/2025	
MER-1	MASTER EXISTING RESOURCES & SITE ANALYSIS PLAN	5 of 27	3/28/2025	
ER-1	EXISTING RESOURCES & SITE ANALYSIS PLAN	6 of 27	3/28/2025	
ER-2	EXISTING RESOURCES & SITE ANALYSIS PLAN	7 of 27	3/28/2025	
ER-3	EXISTING RESOURCES & SITE ANALYSIS PLAN	8 of 27	3/28/2025	
GP-1	GRADING PLAN	9 of 27	3/28/2025	
GP-2	GRADING PLAN	10 of 27	3/28/2025	
UP-1	UTILITY PLAN	11 of 27	3/28/2025	
UP-2	UTILITY PLAN	12 of 27	3/28/2025	
PP-1	STORM SEWER PLAN & PROFILES	13 of 27	3/28/2025	
PP-2	STORM SEWER PLAN & PROFILES	14 of 27	3/28/2025	
PP-3	STORM SEWER PLAN & PROFILES	15 of 27	3/28/2025	
PP-4	PLAN & PROFILES	16 of 27	3/28/2025	
LA-1	LANDSCAPING PLAN	17 of 27	3/28/2025	
LI-1	LIGHTING PLAN	18 of 27	3/28/2025	
ES-1	EROSION & SEDIMENT CONTROL PLAN	19 of 27	3/28/2025	
ES-2	EROSION & SEDIMENT CONTROL PLAN	20 of 27	3/28/2025	
ESD-1	EROSION & SEDIMENT CONTROL DETAILS	21 of 27	3/28/2025	
ESD-2	EROSION & SEDIMENT CONTROL DETAILS	22 of 27	3/28/2025	
DE-1	CONSTRUCTION DETAILS	23 of 27	3/28/2025	
* PC-1	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN	24 of 27	3/28/2025	
* PC-2	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN	25 of 27	3/28/2025	
* PCD-1	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS	26 of 27	3/28/2025	
* PCD-2	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS	27 of 27	3/28/2025	
* DENOTES LAND DEVELOPMENT PLANS TO BE RECORDED				

USERS (OWNERS, CONTRACTORS) OF THIS PLAN ARE ADVISED THAT ALL PLANS SHOWN IN THE ABOVE REFERENCED PLAN INDEX SHALL BE UTILIZED WHEN PREPARING ESTIMATES, MANUFACTURING STRUCTURES, AND PERFORMING CONSTRUCTION. CERTAIN PLANS MAY HAVE FEATURES (EXISTING OR PROPOSED) WHICH MAY BE HIDDEN FROM VIEW TO PROVIDE CLARITY FOR THAT PARTICULAR PLAN. ALL DRAWINGS WITHIN THIS PLAN SET SHALL BE REVIEWED AND UTILIZED.

NOTIFICATION
THE DEVELOPER SHALL, AT LEAST FIFTEEN (15) CALENDAR DAYS PRIOR TO THE INITIATION OF CONSTRUCTION OF ANY REQUIRED IMPROVEMENTS, SUBMIT TO THE TOWNSHIP A SCHEDULE OF CONSTRUCTION FOR ALL REQUIRED IMPROVEMENTS, INCLUDING THE TIMING OF THE DEVELOPMENT OF ANY PROPOSED SECTIONS. THE SCHEDULE MAY BE REVISED FROM TIME TO TIME UPON MUTUAL AGREEMENT OF THE APPLICANT ENGINEER AND THE TOWNSHIP ENGINEER.

IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO NOTIFY THE APPROPRIATE INSPECTION CONSULTANT FOR THE TOWNSHIP OR DESIGNED AUTHORITY AT LEAST SEVENTY-TWO (72) HOURS PRIOR TO COMMENCING A CONSTRUCTION ACTIVITY.

AMERICANS WITH DISABILITIES ACT (ADA)
THIS PERMIT AND/OR PLAN HAS NOT BEEN REVIEWED TO DETERMINE ITS COMPLIANCE WITH TITLE III OF THE AMERICANS WITH DISABILITIES ACT OF 1990 (ADA) WHICH PROHIBITS DISCRIMINATION ON THE BASIS OF DISABILITY IN PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES. COMPLIANCE WITH TITLE III OF THIS ACT WITH REGARD TO PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/OWNER.

THE LAND DEVELOPMENT AS SUBMITTED AND AS BUILT ACCORDING TO THE INFORMATION INCLUDED IN THE CURRENT DESIGN WILL MEET THE ACCESSIBILITY REQUIREMENTS AS EXISTING UNDER THE CURRENT BUILDING CODES ESTABLISHED IN SMITHFIELD TOWNSHIP.


TOWNSHIP LIMITED REVIEW STATEMENT
THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP STAFF AND TOWNSHIP ENGINEER FOR CONSISTENCY WITH MUNICIPAL REGULATIONS AND ORDINANCES RELATING TO LAND USAGE AND DIMENSIONAL REQUIREMENTS OF ZONING. INVESTIGATIONS REGARDING PERIPHERAL LAND AND PLAN ISSUES WHICH ARE NOT REQUIRED AS PART OF A REVIEW PROCESS SUCH AS CLARITY OF TITLE, SUBSURFACE CONDITIONS INCLUDING BUT NOT LIMITED TO, SOIL AND WATER QUALITY, AND HISTORIC AND ARCHEOLOGICAL ISSUES, OR SUCH OTHER ISSUES (AS APPROPRIATE) THAT MAY AFFECT THE MERCHANTABILITY OF THE LAND, HAVE NOT BEEN INVESTIGATED OR REVIEWED BY THE TOWNSHIP ENGINEER MAKE NO REPRESENTATION OR WARRANTY CONCERNING THESE ISSUES, WHICH SHOULD BE ADDRESSED BY QUALIFIED PROFESSIONALS, COMMISSIONED BY THE DEVELOPER AND/OR LAND OWNER(S) AS APPROPRIATE, AND ENGAGED IN THE APPROPRIATE FIELD OF PRACTICE.

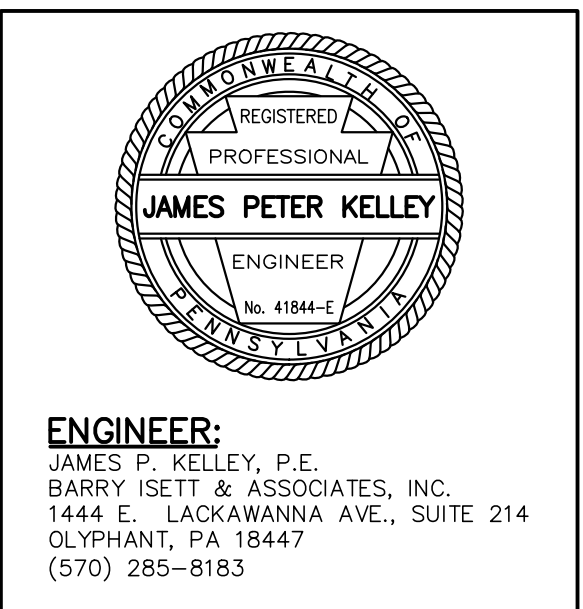
SURVEYOR'S CERTIFICATION
I HEREBY CERTIFY THAT THIS PLAN REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION AND THAT THE DIMENSIONAL DETAILS ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

(SURVEYOR SIGNATURE) _____ DATE _____

ENGINEER'S CERTIFICATION
I HEREBY CERTIFY THAT THE INFORMATION CONTAINED IN THE ACCOMPANYING PLANS, SPECIFICATIONS AND REPORTS HAS BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES, IS TRUE AND CORRECT IN ALL DETAILS TO THE BEST OF MY KNOWLEDGE AND BELIEF.

(ENGINEER SIGNATURE) _____ DATE _____


Know what's below.
Call before you dig.
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE – STOP CALL PENNSYLVANIA ONE CALL SYSTEM, INC. 1-800-242-1776
THE SITE SERIAL NUMBER IS 202406S1009



ENGINEER:
JAMES P. KELLEY, P.E.
BARRY ISETT & ASSOCIATES, INC.
1444 E. LACKAWANNA AVE., SUITE 214
OLYHPANT, PA 18447
(570) 285-8183

SMITHFIELD TOWNSHIP PLANNING COMMISSION CERTIFICATE OF REVIEW AND RECOMMENDATION

AT A PUBLIC MEETING HELD ON _____, 2025, THE PLANNING COMMISSION OF SMITHFIELD TOWNSHIP REVIEWED AND BY A MOTION, DULY CARRIED, DOES HEREBY RECOMMEND APPROVAL OF THIS LAND DEVELOPMENT PLAN FOR THE PROPERTY AS SHOWN HEREON.

CHAIRMAN _____

SECRETARY _____

SMITHFIELD TOWNSHIP BOARD OF SUPERVISORS CERTIFICATE OF REVIEW AND APPROVAL

AT A PUBLIC MEETING HELD ON _____, 2025, THE BOARD OF SUPERVISORS OF SMITHFIELD TOWNSHIP REVIEWED AND BY A MOTION, DULY CARRIED, DOES HEREBY APPROVE THIS LAND DEVELOPMENT PLAN FOR THE PROPERTY AS SHOWN HEREON.

CHAIRMAN _____

SUPERVISOR _____

SUPERVISOR _____

CERTIFICATION OF ACCURACY AND COMPLETENESS

I HEREBY CERTIFY THAT THE PLANS SHOWN AND DESCRIBED HEREON, AS WELL AS ALL RELATED DRAWINGS AND DOCUMENTS SUBMITTED HERewith ARE TO THE BEST OF MY KNOWLEDGE, IN CONFORMITY WITH ENGINEERING, ZONING, BUILDING, SANITARY AND OTHER APPLICABLE TOWNSHIP ORDINANCES AND REGULATIONS, AND ANY AREAS OF NONCONFORMANCE HAVE BEEN DETAILED, ALONG WITH REASONS FOR REQUESTING MODIFICATIONS TO TOWNSHIP STANDARDS.

SIGNATURE OF APPLICANT/DEVELOPER _____

PRINT NAME _____ DATE: _____

CERTIFICATION OF OWNERSHIP AND ACKNOWLEDGMENT OF PLAN
COMMONWEALTH OF PENNSYLVANIA
COUNTY OF MONROE
SS:

ON THIS THE _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICERS, PERSONALLY APPEARED _____

WHO BEING DULY SWORN, ACCORDING TO LAW, DO TH DEPOSE AND SAY THAT THEY ARE THE OWNERS OF THE PROPERTY SHOWN AND DEPICTED ON THIS PLAN, THAT THIS LAND DEVELOPMENT PLAN WAS MADE AT THEIR DIRECTION, AND THAT THEY ACKNOWLEDGE THE SAME AND DESIRES THE SAME TO BE RECORDED ACCORDING TO LAW.

SIGNATURE OF PRESIDENT _____ SIGNATURE OF SECRETARY _____

SIGNATURE OF NOTARY PUBLIC _____

MY COMMISSION EXPIRES: _____, 20____

MONROE COUNTY PLANNING COMMISSION REVIEW

THE SMITHFIELD TOWNSHIP ENGINEER

SIGNATURE: _____

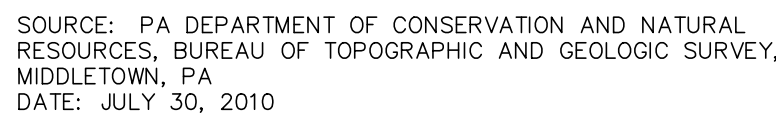
DATE: _____, 20____

RECORDER OF DEEDS CERTIFICATION

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS, IN MONROE COUNTY, PENNSYLVANIA, IN SUBDIVISION BOOK _____, PAGE _____, WITNESS MY HAND AND SEAL OF THE OFFICE THIS _____ DAY OF _____, A.D. 20____.








RECORDER OF DEEDS _____


CS-1
SHEET: 1 of 27
COPYRIGHT 2024



**Know what's below.
Call before you dig.**
SITE SERIAL #20240651009

LEGEND

PROPERTY BOUNDARY	
LOT LINE	
MUNICIPAL BOUNDARY	
ZONING BOUNDARY	
APPALACHIAN TRAIL	
TRAIL CORRIDOR LIMIT	
TRAIL CORRIDOR	



0 400' 800' 1200'

SCALE: 1" = 400'

SITE DATA

OWNER/DEVELOPER: WATER GAP ACQUISITIONS PARTNERS, LLC
P.O. BOX 244
DELAWARE WATER GAP, PA 18327
PHONE: 203-524-3039

SITE ADDRESS: WATER GAP WELLNESS
296 MOUNTAIN ROAD
STROUDSBURG, PA 18360

DEED BOOK: D.B.V. 2418, PG. 6739
TAX MAP: 16-9-1-26
PIN: 16731000755147
NUMBER OF LOTS: ONE (1)
TOTAL AREA: 68.35 AC.

SEWER: ON-SITE
WATER: ON-SITE

ZONING DATA

ZONING DISTRICT: R-1: LOW DENSITY RESIDENTIAL ON-SITE
SEWER AND WATER

EXISTING USE: INN AND CONFERENCE CENTER

PROPOSED USE: ACCESSORY BUILDING FOR INN AND
CONFERENCE CENTER

MINIMUM LOT AREA: 50,000 SF
MINIMUM LOT WIDTH: 150 FEET
MINIMUM LOT DEPTH: 200 FEET
MINIMUM YARDS (BUILDING SETBACKS):

FRONT: 35 FEET
REAR: 25 FEET
SIDE: 30 FEET

LOT COVERAGE (BUILDING): 20%

BUILDING HEIGHT: 35 FEET
MAX. IMPERVIOUS COVERAGE: 25%
EXISTING BUILDINGS COVERAGE: 1.43%
PROPOSED BUILDINGS COVERAGE: 1.78%
PROPOSED IMPERVIOUS COVERAGE: 6.50%
SMITHFIELD TWP PROPERTY AREA: 51.29 AC.

ZONING NOTE:
THE ZONING ORDINANCE PROVIDED IS BASED ON AN INTERPRETATION OF
THE ZONING ORDINANCE BY THE PLAN PREPARER AND IS
SUBJECT TO CONFIRMATION BY THE APPROPRIATE MUNICIPAL
OFFICIAL.

ZONING CLASSIFICATIONS

SMITHFIELD TOWNSHIP

R1 LOW-DENSITY RESIDENTIAL
RC RESIDENTIAL CONSERVATION

BOROUGH OF DELAWARE WATER GAP

R1 LOW-DENSITY RESIDENTIAL
S1 CONSERVATION & PARK
VC1 VILLAGE COMMERCIAL/RESIDENTIAL

NOTE:
ALL BOUNDARY, ZONING, AND MUNICIPAL LINE INFORMATION
IS SHOWN AS PER THE MONROE COUNTY, PA PUBLIC GIS DATA.

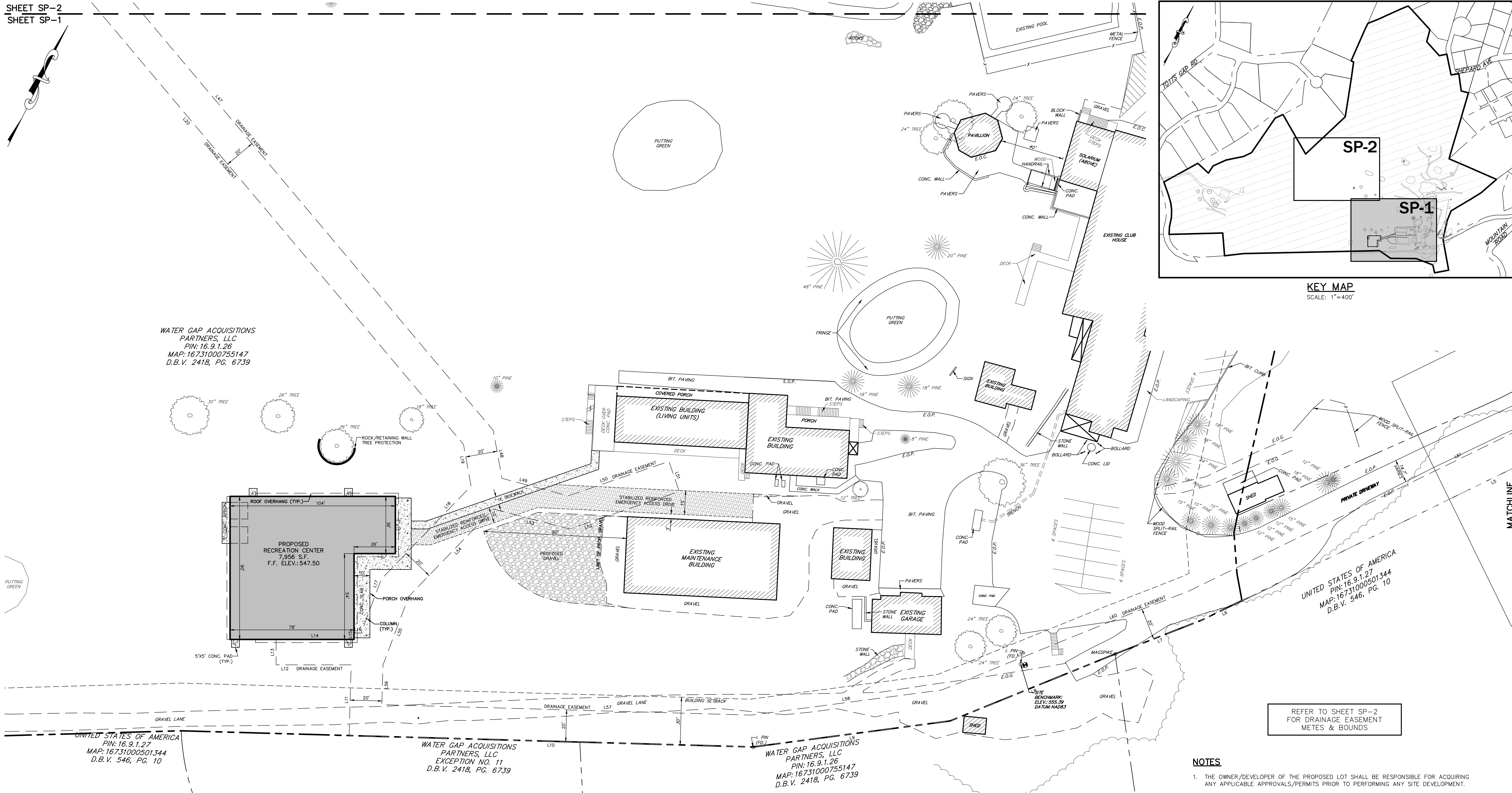


**BARRY
ISETT &
associates**
MULTI-DISCIPLINE ENGINEERS AND CONSULTANTS

WATER GAP WELLNESS RECREATION CENTER
WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

DATE: 8/26/2024	DSGN: TAL/CRS
SCALE: 1"=400'	CHK: CRS
DRAWN: TAL/DFG	APPRD: JPK
JOB: 1022419.004	P MGR: JPK
COPYRIGHT 2024	

SCM-1



NOTES

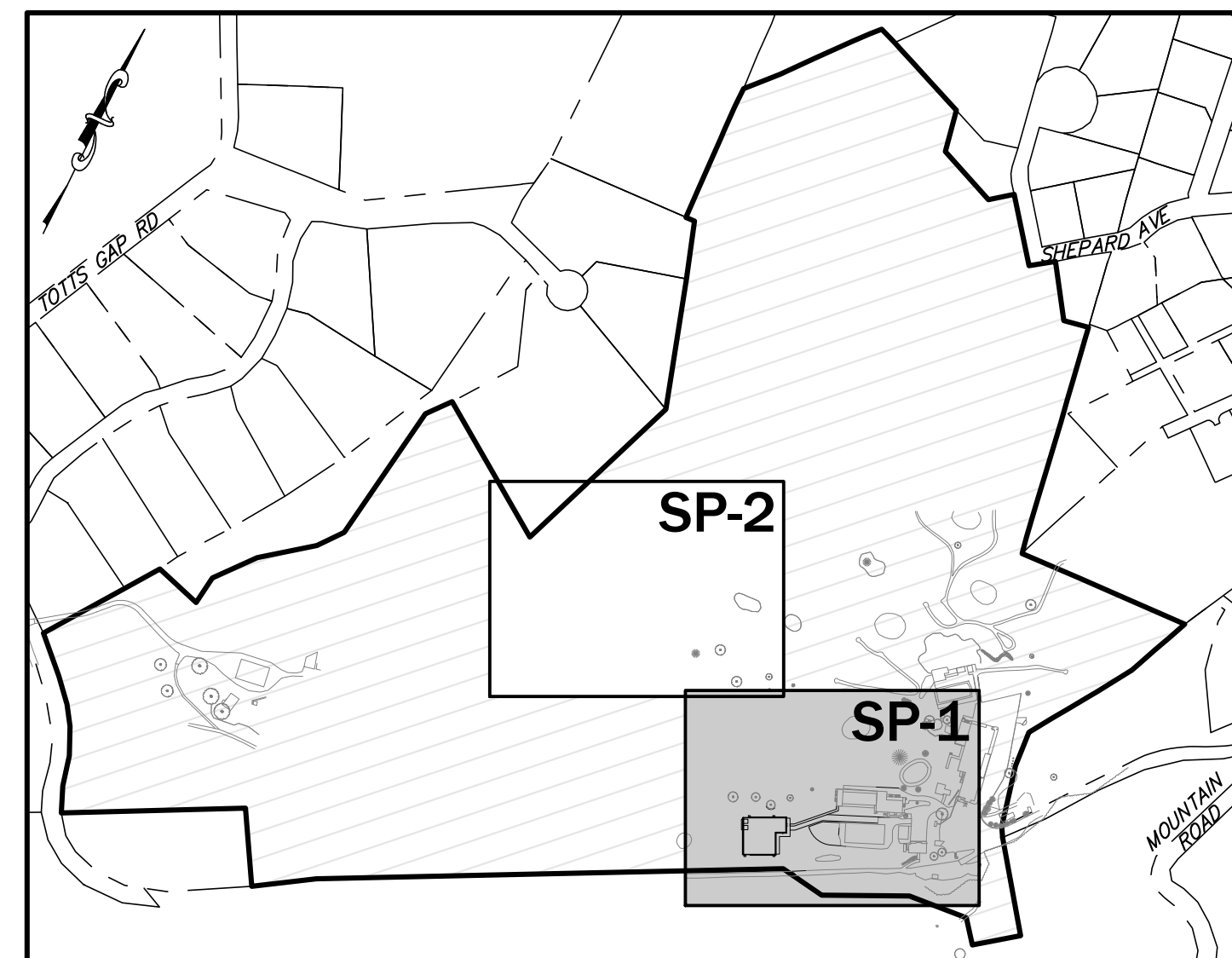
1. THE OWNER/DEVELOPER OF THE PROPOSED LOT SHALL BE RESPONSIBLE FOR ACQUIRING ANY APPLICABLE APPROVALS/PERMITS PRIOR TO PERFORMING ANY SITE DEVELOPMENT.
2. THERE ARE NO HISTORICALLY SIGNIFICANT SITES OR STRUCTURES ON THE TRACT, INCLUDING BUT NOT LIMITED TO CELLAR HOLES, STONE WALLS, EARTHWORKS AND GRAVES.
3. THE STORMWATER EASEMENT PERMITS, BUT DOES NOT OBLIGATE THE TOWNSHIP TO ACCESS AND OBSERVE, REPAIR, REPLACE, AND/OR MAINTAIN THE PROPOSED STORMWATER MANAGEMENT FACILITIES SHOULD THE PROPERTY OWNER FAIL TO DO SO, AT NO COST TO THE TOWNSHIP.

LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED
PROPERTY BOUNDARY	---	STORM MH	NEW MH
LOT LINE	---	INLET	NEW INLET
BUILDING SETBACK	---	6" MAPLE	1 AR
LEGAL RIGHT-OF-WAY	---	6" PINE	1 PS
EASEMENT	---	590	590.53
BUILDING	---	590	590.53
CONCRETE	---	WETLANDS	---
GRAVEL	---	EDGE OF PAVEMENT	---
EMERGENCY ACCESS DRIVE	---	EDGE OF GRAVEL	---
SOIL BOUNDARY	---	BITUMINOUS	---
UTILITY POLE	---	TYPICAL	---
OVERHEAD ELECTRIC	---	FINISHED FLOOR	---
WATER MAIN & VALVE	---	DOOR SILL	---
SANITARY LINE, MANHOLE, & CLEANOUT	---		

NOTE:
VERTICAL TEXT INDICATES PROPOSED FEATURES
SLANTED TEXT INDICATES EXISTING FEATURES

0 30' 60' 90'
SCALE: 1"=30'

KEY MAP
SCALE: 1"=400'

SITE DEVELOPMENT PLAN

WATER GAP WELLNESS RECREATION CENTER
WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

DATE: 8/28/2024
SCALE: 1"=30'
DRAWN: TAL/DFG
JOB: 1022419.004
COPYRIGHT 2024
SHEET: 3 OF 27

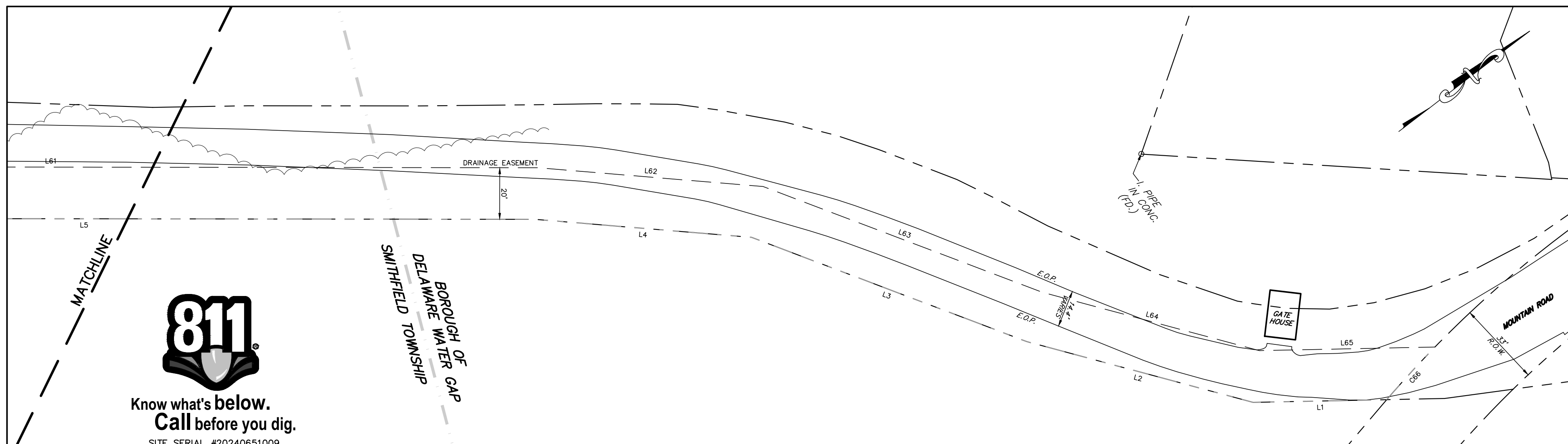
SP-1

BY: TAL
DATE: 11/25/24
REVISIONS:
1. TOWNSHIP COMMENTS
2. MCCO COMMENTS
3. TOWNSHIP COMMENTS

272.200.2050
baryisett.com
525 Main Street, Suite 200
Stroudsburg, PA 18360

BARRY ISETT & Associates
MULTIDISCIPLINE ENGINEERS AND CONSULTANTS

REGISTERED PROFESSIONAL ENGINEER
JAMES PETER KELLEY
No. 48464



811
Know what's below.
Call before you dig.
SITE SERIAL #20240651009

ZONING DATA

ZONING DISTRICT: R-1: LOW DENSITY RESIDENTIAL ON-SITE SEWER AND WATER

EXISTING USE: INN AND CONFERENCE CENTER

PROPOSED USE: ACCESSORY BUILDING FOR INN AND CONFERENCE CENTER

MINIMUM LOT AREA: 50,000 SF

MINIMUM LOT WIDTH: 150 FEET

MINIMUM LOT DEPTH: 200 FEET

MINIMUM YARDS (BUILDING SETBACKS):

FRONT: 35 FEET

REAR: 25 FEET

SIDE: 30 FEET

LOT COVERAGE (BUILDING): 20%

BUILDING HEIGHT: 35 FEET

MAX. IMPERVIOUS COVERAGE: 25%

EXISTING BUILDINGS COVERAGE: 1.43%

PROPOSED BUILDINGS COVERAGE: 1.78%

PROPOSED IMPERVIOUS COVERAGE: 6.50%

SMITHFIELD TWP PROPERTY AREA: 51.29 AC.

ZONING NOTE:
ZONING DATA PROVIDED IS BASED ON AN INTERPRETATION OF THE ZONING ORDINANCE BY THE PLAN PREPARER AND IS SUBJECT TO CONFIRMATION BY THE APPROPRIATE MUNICIPAL OFFICIAL.

SITE DATA

OWNER/DEVELOPER: WATER GAP ACQUISITIONS PARTNERS, LLC
P.O. BOX 244
DELAWARE WATER GAP, PA 18327
PHONE: 203-524-3039

SITE ADDRESS: WATER GAP WELLNESS
296 MOUNTAIN ROAD
STROUDSBURG, PA 18360

DEED BOOK: D.B.V. 2418, PG. 6739

TAX MAP: 16-9-1-26

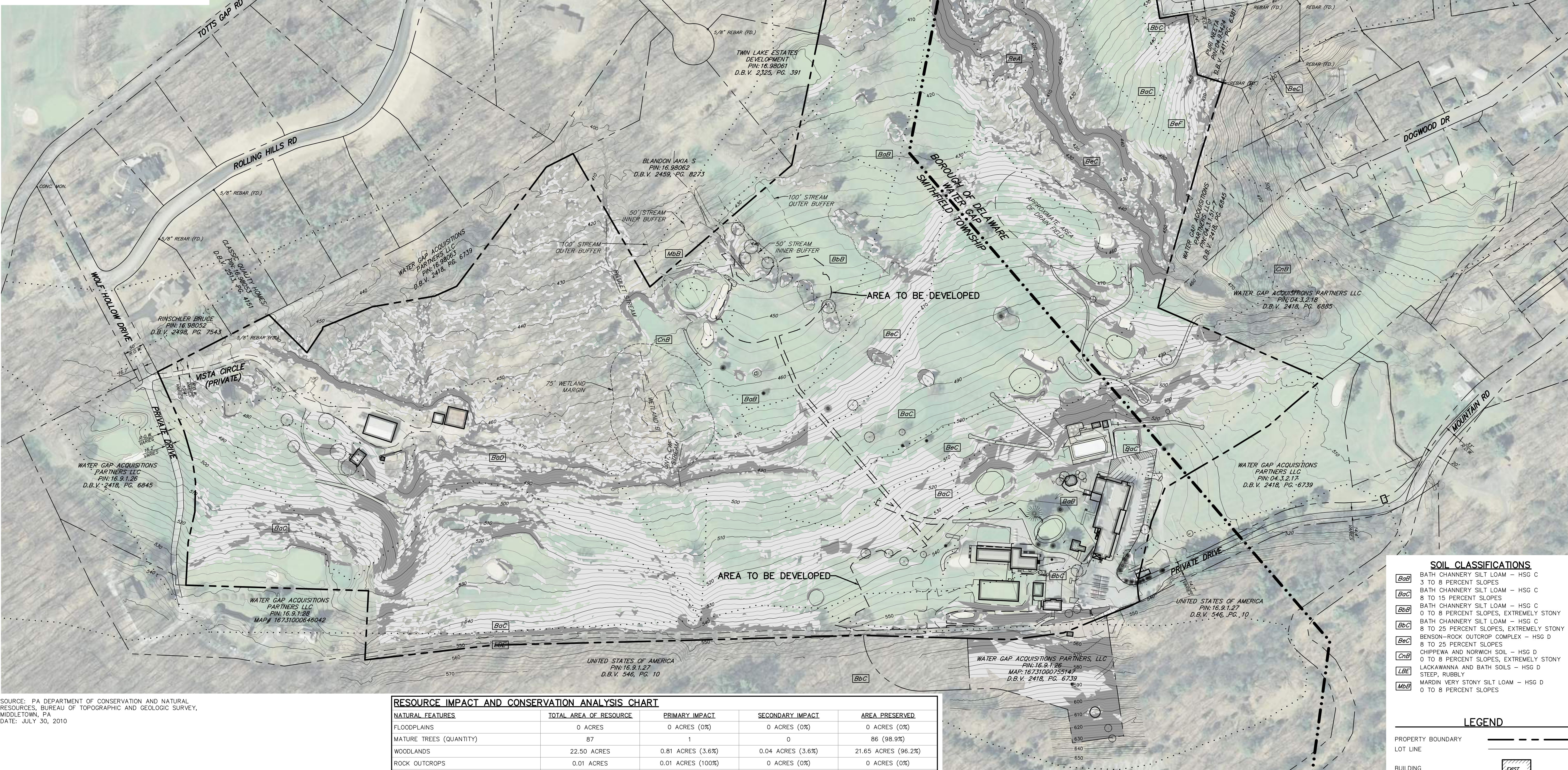
PIN: 16731000755147

NUMBER OF LOTS: ONE (1)

TOTAL AREA: 68.35 AC.

SEWER: ON-SITE

WATER: ON-SITE



SOURCE: PA DEPARTMENT OF CONSERVATION AND NATURAL RESOURCES, BUREAU OF TOPOGRAPHIC AND GEOLOGIC SURVEY, MIDDLETOWN, PA
DATE: JULY 30, 2010



Know what's below.
Call before you dig.
SITE SERIAL #20240651009

RESOURCE IMPACT AND CONSERVATION ANALYSIS CHART

NATURAL FEATURES	TOTAL AREA OF RESOURCE	PRIMARY IMPACT	SECONDARY IMPACT	AREA PRESERVED
FLOODPLAINS	0 ACRES	0 ACRES (0%)	0 ACRES (0%)	0 ACRES (0%)
MATURE TREES (QUANTITY)	87	1	0	86 (98.9%)
WOODLANDS	22.50 ACRES	0.81 ACRES (3.6%)	0.04 ACRES (0.3%)	21.65 ACRES (96.2%)
ROCK OUTCROPS	0.01 ACRES	0.01 ACRES (100%)	0 ACRES (0%)	0 ACRES (0%)
SOILS	25.39 ACRES	0.13 ACRES (0.3%)	0.22 ACRES (0.4%)	25.04 ACRES (98.6%)
LAKES, PONDS, STREAMS RIVERS, & WATERS	0.02 ACRES	0 ACRES (0%)	0.01 ACRES (0.3%)	0.01 ACRES (50%)
15-25% SLOPES	17.72 ACRES	0.31 ACRES (1.7%)	0.22 ACRES (1.2%)	17.19 ACRES (97%)
>25% SLOPES	8.79 ACRES	0.15 ACRES (1.7%)	0.05 ACRES (0.6%)	8.59 ACRES (97%)
WETLANDS	0.15 ACRES	0 ACRES (0%)	0 ACRES (0%)	0.15 ACRES (100%)
WETLANDS BUFFER	3.12 ACRES	0 ACRES (0%)	0 ACRES (0%)	3.12 ACRES (100%)
HISTORIC BUILDINGS OR FEATURES	0 ACRES	0 ACRES (0%)	0 ACRES (0%)	0 ACRES (0%)
LOCATIONS OF TRAILS	0 ACRES	0 ACRES (0%)	0 ACRES (0%)	0 ACRES (0%)
TOTAL AREA OF RESOURCES*	77.69 ACRES	1.41 ACRES (1.8%)	0.54 ACRES (0.7%)	75.75 ACRES (97.5%)

*THE TOTAL AREA OF RESOURCES SUMMATION INCLUDES OVERLAPPING RESOURCES (SOILS, SLOPES, AND BUFFERS, ETC.)

TOTAL ACREAGE TO BE DEVELOPED: 3.22 ACRES

PROPERTY SLOPE DATA

MINIMUM SLOPE	MAXIMUM SLOPE	COLOR	AREA (AC.)	AREA (S.F.)	AREA (%)	DISTURBED AREA (S.F.)	DISTURBED AREA (%)	MAXIMUM AREA OF DISTURBANCE
15%	25%		17.72 AC.	771,789.36 S.F.	16.76%	13,417.45 S.F.	1.74%	60%
25%	100%		8.79 AC.	382,966.72 S.F.	8.32%	6,410.70 S.F.	1.67%	10%

SOIL CLASSIFICATIONS

BaB	BATH CHANNERY SILT LOAM - HSG C 3 TO 8 PERCENT SLOPES
BaC	BATH CHANNERY SILT LOAM - HSG C 8 TO 15 PERCENT SLOPES
BbB	BATH CHANNERY SILT LOAM - HSG C 0 TO 8 PERCENT SLOPES, EXTREMELY STONY
BbC	BATH CHANNERY SILT LOAM - HSG C 8 TO 25 PERCENT SLOPES, EXTREMELY STONY
CnB	BENSON-ROCK OUTCROP COMPLEX - HSG D 8 TO 25 PERCENT SLOPES
LbC	CHIPPEWA AND NORWICH SOIL - HSG D 0 TO 8 PERCENT SLOPES, EXTREMELY STONY
LbC	LACKAWANNA AND BATH SOILS - HSG D STEEP, RUBBLY
MbB	MARDIN VERY STONY SILT LOAM - HSG D 0 TO 8 PERCENT SLOPES

LEGEND

PROPERTY BOUNDARY	---
LOT LINE	---
BUILDING	
SOIL BOUNDARY	---
DECIDUOUS TREE	
EVERGREEN TREE	
TREE ROW	
CONTOUR	
STREAM	

0 120' 240' 360'
SCALE: 1"=120'

MASTER EXISTING RESOURCES & SITE ANALYSIS PLAN**WATER GAP WELLNESS RECREATION CENTER****WATER GAP ACQUISITIONS PARTNERS, LLC****SMITHFIELD TOWNSHIP****MONROE COUNTY, PA**

DATE: 8/28/2024	DSGN: TAL/CRS
SCALE: 1"=120'	CHK: CRS
DRAWN: TAL/DFG	APPRD: JPK
JOB: 1022419.004	P MGR: JPK

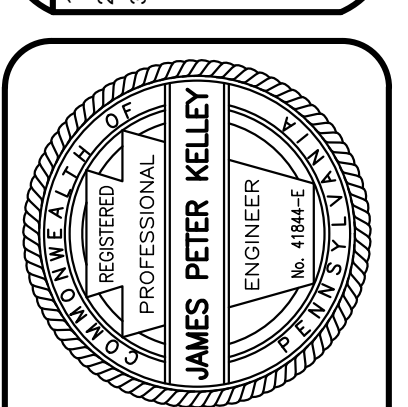
COPYRIGHT 2024

SHEET: 5 OF 27

FILENAME: C:\Users\Newpaul\OneDrive\Barry\Bee and Associates\1022419.004_WSW_Accessory_Bldg_LDP\Project_Files\Civil\1022419_004_04_Masters\Recreation.dwg

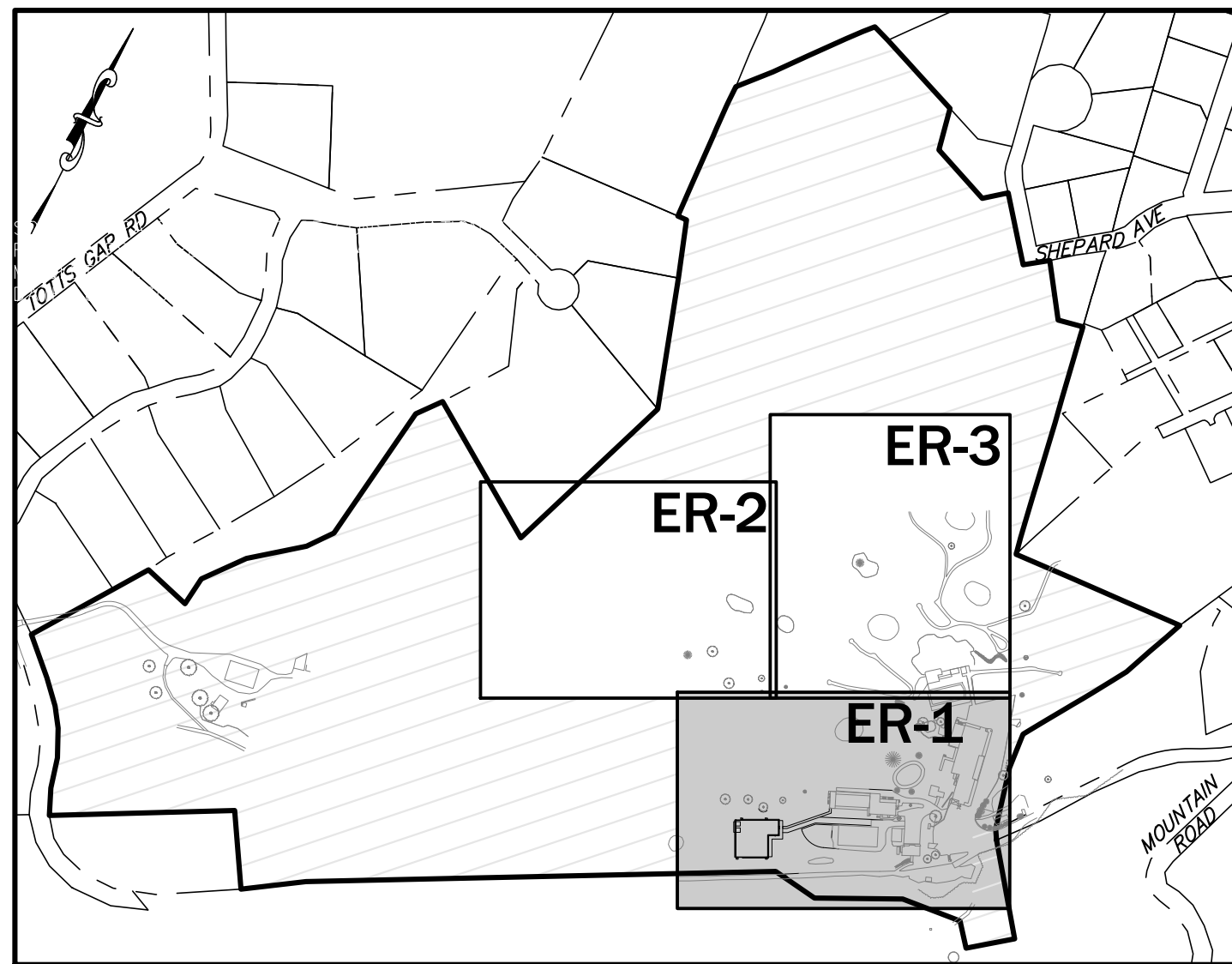
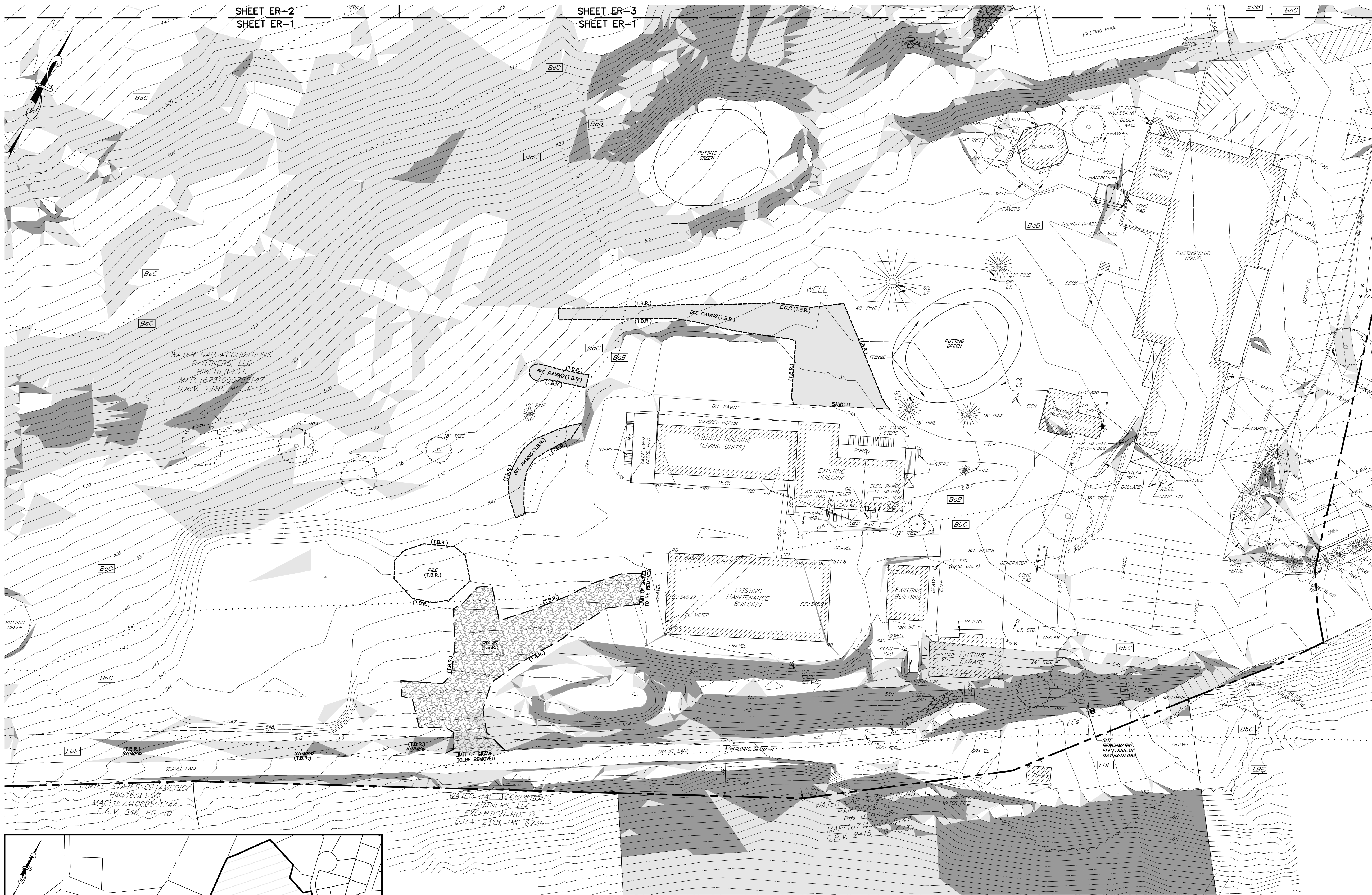
MER-1

BY: TAL	DATE: 11/29/24
TAL	3/4/25
TAL	3/28/25



272.200.2050
baryisett.com
525 Main Street, Suite 200
Stroudsburg, PA 18360





KEY MAP
SCALE: 1"=400'



Know what's below.
Call before you dig.
SITE SERIAL #20240651009

PROPERTY SLOPE DATA							
MINIMUM SLOPE	MAXIMUM SLOPE	COLOR	AREA (AC.)	AREA (S.F.)	AREA (%)	DISTURBED AREA (S.F.)	DISTURBED AREA (%)
15%	25%		17.72 AC.	771,789.36 S.F.	16.76%	13,417.45 S.F.	1.74%
25%	100%		8.79 AC.	382,966.72 S.F.	8.32%	6,410.70 S.F.	1.67%

NOTES:

- THIS DRAWING HAS BEEN PREPARED BASED ON THE BEST AVAILABLE INFORMATION. THE SURVEYOR HAS NOT VERIFIED THE ACCURACY OF THE UNDERGROUND UTILITIES AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE INCORPORATED HEREIN AS A RESULT. CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS PRIOR TO ANY FUTURE CONSTRUCTION.
- DATE OF SURVEY: MAY 2, 2023.
- THIS IS NOT A BOUNDARY SURVEY AND SHALL NOT BE CONSTRUED AS ONE. ALL BOUNDARY LINE INFORMATION IS SHOWN AS PER DEEDS OF RECORD.
- WETLANDS ARE PRESENT ON THE SITE, BASED ON ISETT SITE INVESTIGATIONS ON FEBRUARY 1, APRIL 16, 17, AND 23 2024.
- THE OWNER/DEVELOPER OF THE LOT SHALL BE RESPONSIBLE FOR ACQUIRING ANY APPLICABLE APPROVALS/PERMITS PRIOR TO PERFORMING ANY SITE DEVELOPMENT.
- HORIZONTAL DATUM: S.P.C.S. NAD83 & VERTICAL DATUM: NAVD88
- PROJECT SITE IS IN AREA OF MINIMAL FLOOD HAZARD: ZONE X. ACCORDING TO FEMA FIRM PANEL 42089C0432E, EFFECTIVE 05/02/2013.
- NO ADDITIONAL LANDSCAPING OR SCREENING IS PROPOSED FOR THE PROJECT AREA.

LEGEND	
EXISTING	DEMOLITION
PROPERTY BOUNDARY	CHAIN-LINK FENCE
LOT LINE	WOOD FENCE
BUILDING SETBACK	SIGN
LEGAL RIGHT-OF-WAY	DECIDUOUS TREE
EASEMENT	EVERGREEN TREE
CURBING	TREE ROW
BUILDING	CONTOUR
PAVEMENT	SPOT ELEVATION
GRAVEL	STREAM
SOIL BOUNDARY	WETLANDS
UTILITY POLE	EDGE OF PAVEMENT
OVERHEAD ELECTRIC	EDGE OF GRAVEL
WATER MAIN & VALVE	BITUMINOUS
GAS MAIN & VALVE	TYPICAL
SANITARY LINE, MANHOLE, & CLEANOUT	TO BE REMOVED
STORM LINE, MANHOLE, & INLET	FINISHED FLOOR
	DOOR SILL

NOTE:
VERTICAL TEXT INDICATES PROPOSED FEATURES
SLANTED TEXT INDICATES EXISTING FEATURES

SOIL CLASSIFICATIONS	
BaB	BATH CHANNERY SILT LOAM - HSG C
BaC	3 TO 8 PERCENT SLOPES
BbB	BATH CHANNERY SILT LOAM - HSG C
BbC	8 TO 15 PERCENT SLOPES
BcB	BATH CHANNERY SILT LOAM - HSG C
BcC	0 TO 8 PERCENT SLOPES, EXTREMELY STONY
CnB	8 TO 25 PERCENT SLOPES, EXTREMELY STONY
LBE	BENSON-ROCK OUTCROP COMPLEX - HSG D
MBB	8 TO 25 PERCENT SLOPES
	CHIPPEWA AND NORWICH SOIL - HSG D
	0 TO 8 PERCENT SLOPES, EXTREMELY STONY
	LACKAWANNA AND BATH SOILS - HSG D
	STEEP, RUBBLY
	MARDIN VERY STONY SILT LOAM - HSG D
	0 TO 8 PERCENT SLOPES

SCALE: 1"=30'

EXISTING RESOURCES & SITE ANALYSIS PLAN

WATER GAP WELLNESS RECREATION CENTER

WATER GAP ACQUISITIONS PARTNERS, LLC

SMITHFIELD TOWNSHIP

MONROE COUNTY, PA

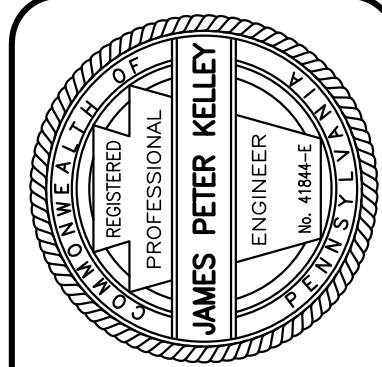
DATE:	8/28/2024	DSGN:	TAL/CRS
SCALE:	1"=30'	CHK:	CRS
DRAWN:	TAL/DFG	APPRD:	JKP
JOB:	1022419.004	P MGR:	JKP

COPYRIGHT 2024

SHEET 6 OF 27

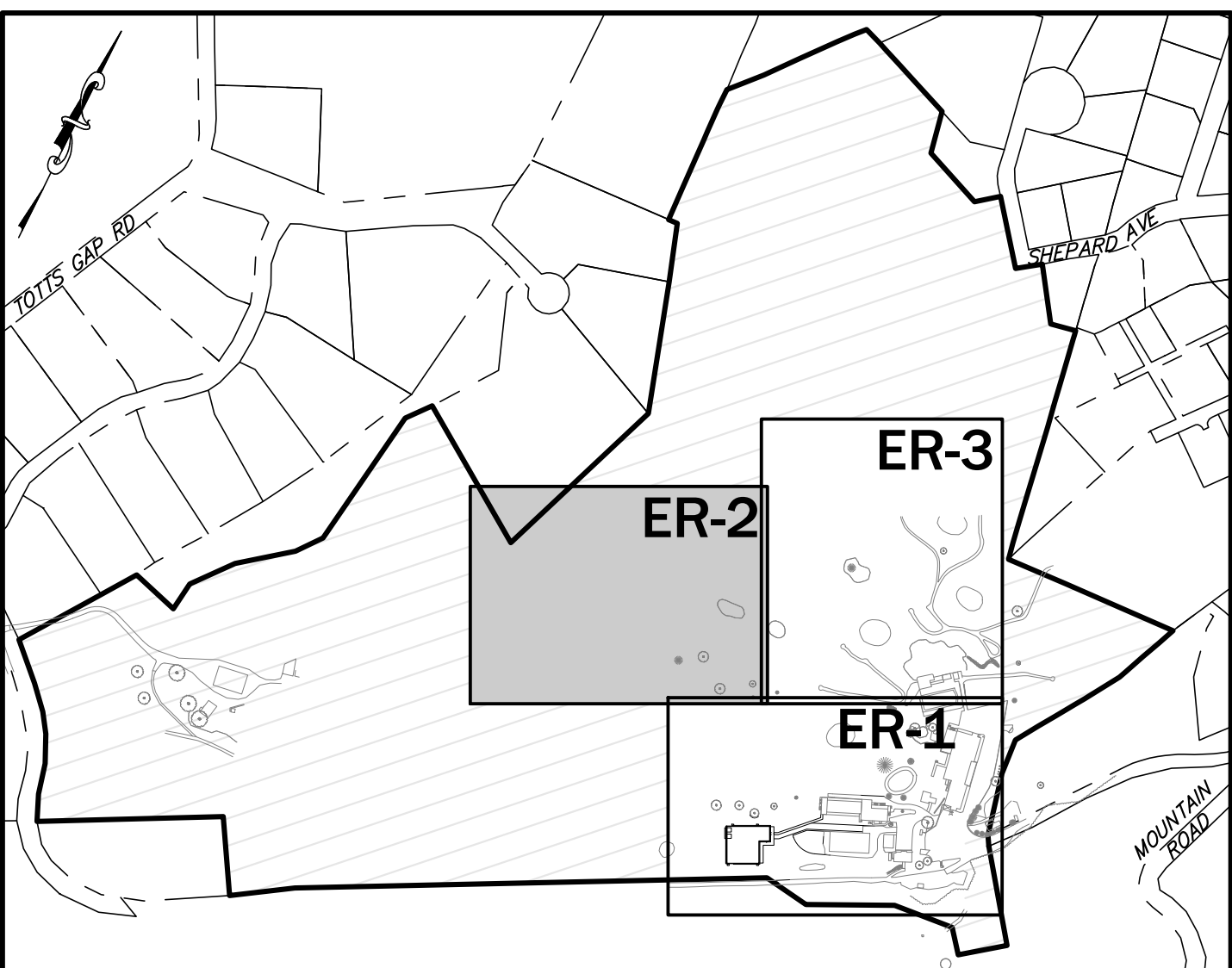
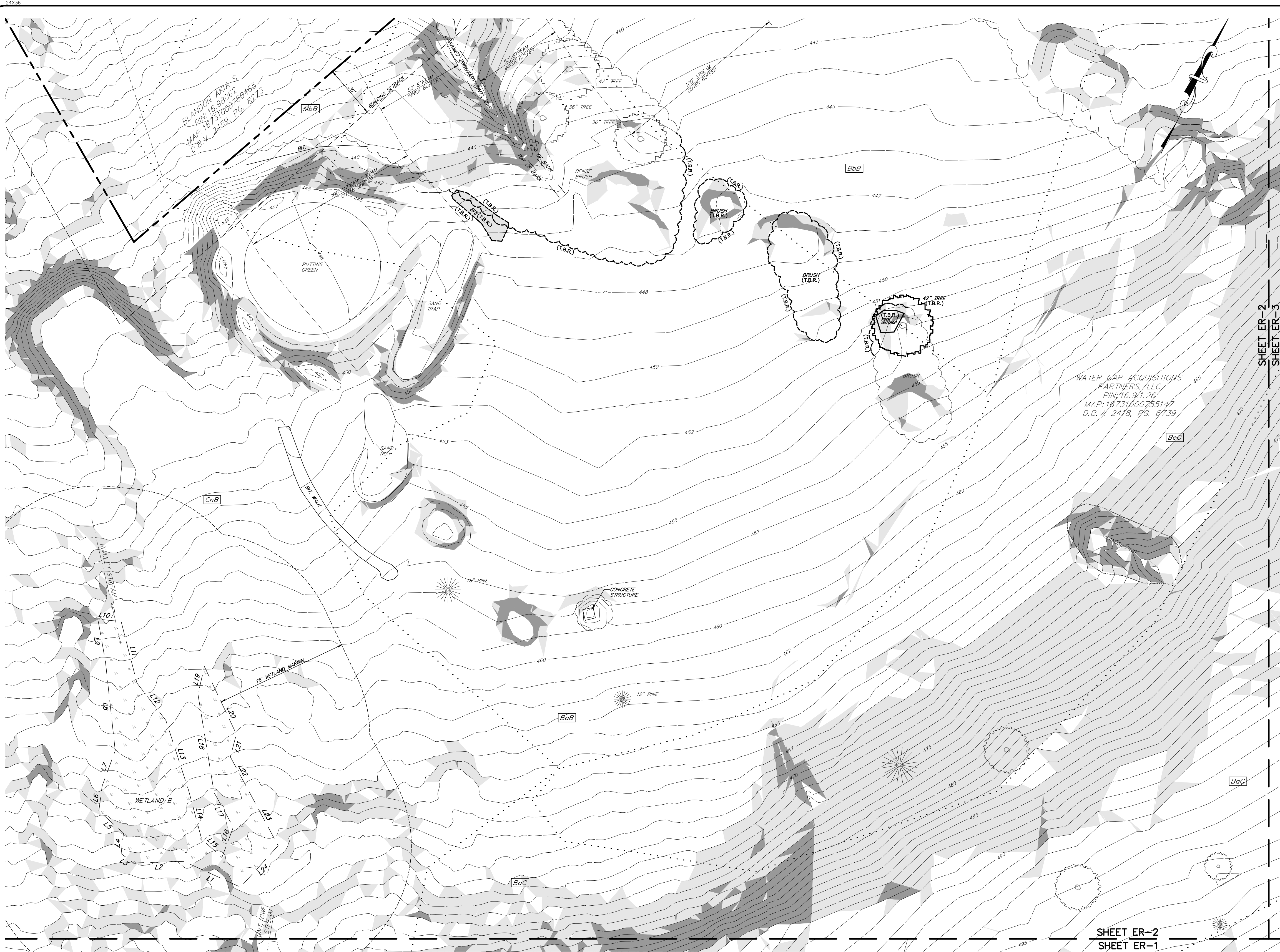
ER-1

BY:	TAL
DATE:	11/29/24
REVISIONS:	1. TOWNSHIP COMMENTS
	2. NCCO COMMENTS
	3. TOWNSHIP COMMENTS



272.200.2050
baryrisett.com
525 Main Street, Suite 200
Stroudsburg, PA 18360

BARRY ISETT & Associates
MULTIDISCIPLINARY ENGINEERS AND CONSULTANTS



KEY MAP
SCALE: 1"=400'

SOIL CLASSIFICATIONS

- BaB** BATH CHANNERY SILT LOAM - HSG C
3 TO 8 PERCENT SLOPES
- BaC** BATH CHANNERY SILT LOAM - HSG C
8 TO 15 PERCENT SLOPES
- BbB** BATH CHANNERY SILT LOAM - HSG C
0 TO 8 PERCENT SLOPES, EXTREMELY STONY
- BbC** BATH CHANNERY SILT LOAM - HSG C
8 TO 25 PERCENT SLOPES, EXTREMELY STONY
- BcC** BENSON-ROCK OUTCROP COMPLEX - HSG D
8 TO 25 PERCENT SLOPES
- CaB** CHIPPEWA AND NORWICH SOIL - HSG D
0 TO 8 PERCENT SLOPES, EXTREMELY STONY
- LbE** LACKAWANNA AND BATH SOILS - HSG D
STEEP, RUBBLY
- MbB** MARDIN VERY STONY SILT LOAM - HSG D
0 TO 8 PERCENT SLOPES

LEGEND

EXISTING

PROPERTY BOUNDARY
LOT LINE
BUILDING SETBACK
LEGAL RIGHT-OF-WAY
EASEMENT
CURBING

DEMOLITION

CHAIN-LINK FENCE
WOOD FENCE
SIGN

DECIDUOUS TREE
EVERGREEN TREE
TREE ROW
CONTOUR
SPOT ELEVATION
STREAM

WETLANDS

EDGE OF PAVEMENT
EDGE OF GRAVEL
BITUMINOUS
TYPICAL
TO BE REMOVED
FINISHED FLOOR
DOOR SILL

EXISTING

CHAIN-LINK FENCE
WOOD FENCE
SIGN

6" MAPLE
6" PINE

590.53

E.O.P.
E.O.G.
BIT.
(TYP.)

F.F.
D.S.

(T.B.R.)

0 30' 60' 90'

SCALE: 1"=30'

NOTE:
VERTICAL TEXT INDICATES PROPOSED FEATURES
SLANTED TEXT INDICATES EXISTING FEATURES

WETLAND BUFFER TABULATION

BUFFER AREA	DISTURBED AREA
142,436 S.F.	0 S.F. (0%)

STREAM BUFFER DATA

STREAM BUFFER AREA	STREAM BUFFER DISTURBANCE	DISTURBANCE %
43,208.75 S.F.	1,400.84 S.F.	3.24%

PROPERTY SLOPE DATA

MINIMUM SLOPE	MAXIMUM SLOPE	COLOR	AREA (AC.)	AREA (S.F.)	AREA (%)	DISTURBED AREA (S.F.)	DISTURBED AREA (%)	MAXIMUM AREA OF DISTURBANCE
15%	25%		17.72 AC.	771,789.36 S.F.	16.76%	13,417.45 S.F.	1.74%	60%
25%	100%		8.79 AC.	382,966.72 S.F.	8.32%	6,410.70 S.F.	1.67%	10%

WETLAND B METES & BOUNDS

SEGMENT	LENGTH (FT.)	DIRECTION
L1	35.00	S88° 02' 25"W
L2	28.32	S61° 43' 08"W
L3	8.75	N79° 37' 21"W
L4	11.66	N19° 51' 04"W
L5	18.67	N74° 24' 20"W
L6	14.13	N18° 57' 02"W
L7	21.20	N6° 05' 59"W
L8	50.71	N32° 42' 59"W
L9	24.00	N36° 35' 44"W
L10	13.14	N69° 09' 54"E
L11	35.79	S40° 51' 27"E
L12	26.58	S64° 13' 50"E

WETLAND B METES & BOUNDS

SEGMENT	LENGTH (FT.)	DIRECTION
L13	41.46	S44° 24' 40"E
L14	28.26	S41° 24' 09"E
L15	15.50	S74° 02' 37"E
L16	18.26	N5° 52' 20"W
L17	22.27	N55° 32' 42"W
L18	56.11	N35° 44' 16"W
L19	15.99	N13° 22' 08"W
L20	42.11	S51° 44' 11"E
L21	13.27	S11° 42' 13"E
L22	20.28	S54° 48' 51"E
L23	36.44	S54° 41' 09"E
L24	31.53	S15° 45' 43"W



Know what's below.
Call before you dig.
SITE SERIAL #20240651009

EXISTING RESOURCES & SITE ANALYSIS PLAN
WATER GAP WELLNESS RECREATION CENTER
WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

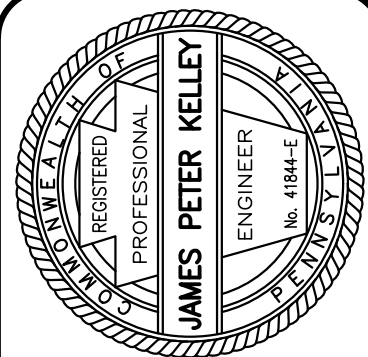
DATE:	8/26/2024	DSGN:	TAL/CRS
SCALE:	1"=30'	CHK:	CRS
DRAWN:	TAL/DFG	APPRD:	JKP
JOB:	1022419.004	P MGR:	JKP

COPYRIGHT 2024

SHEET 7 OF 27

ER-2

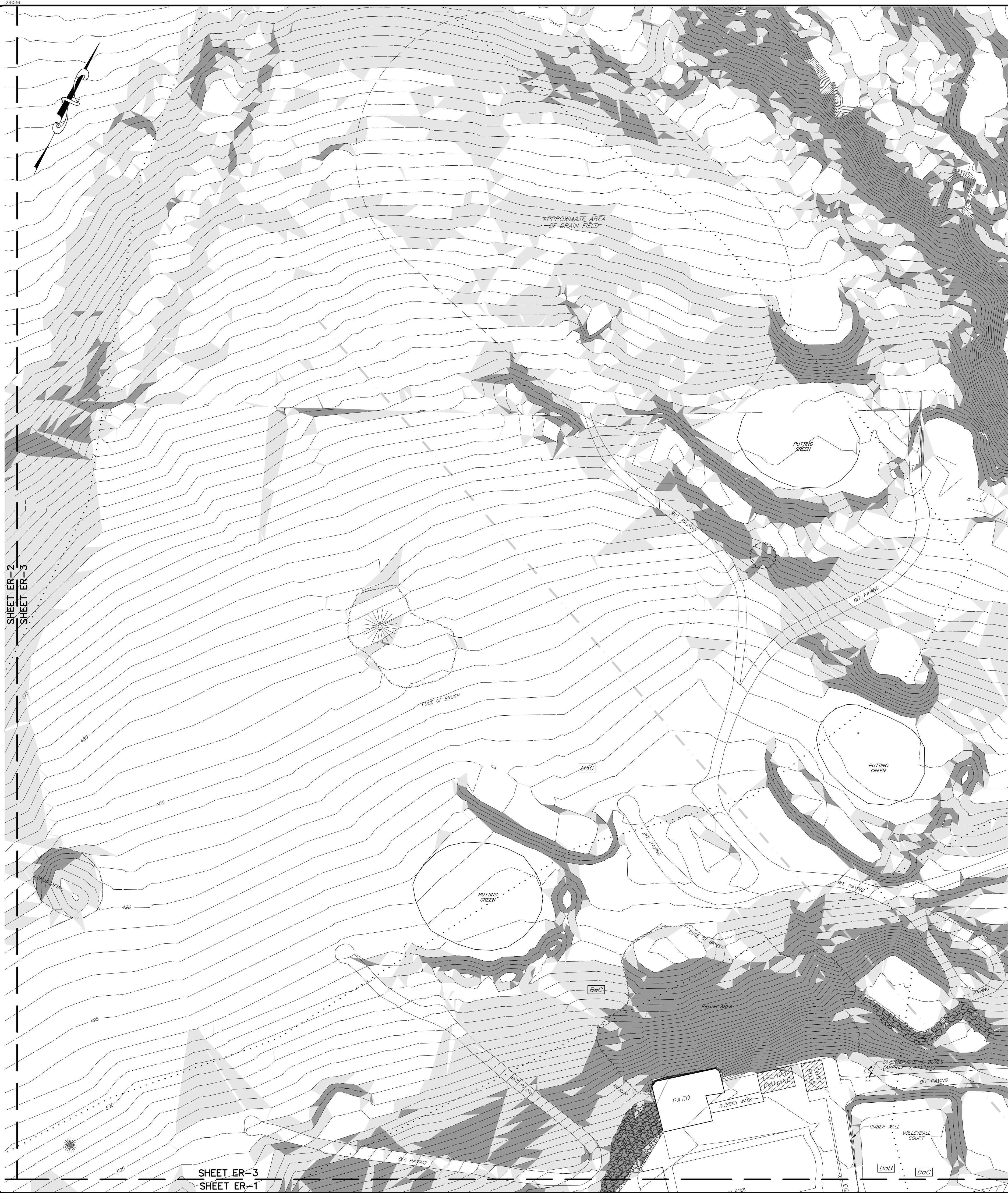
BY:	TAL
DATE:	11/25/24
REVISIONS:	1. TOWNSHIP COMMENTS 2. MCO COMMENTS 3. TOWNSHIP COMMENTS



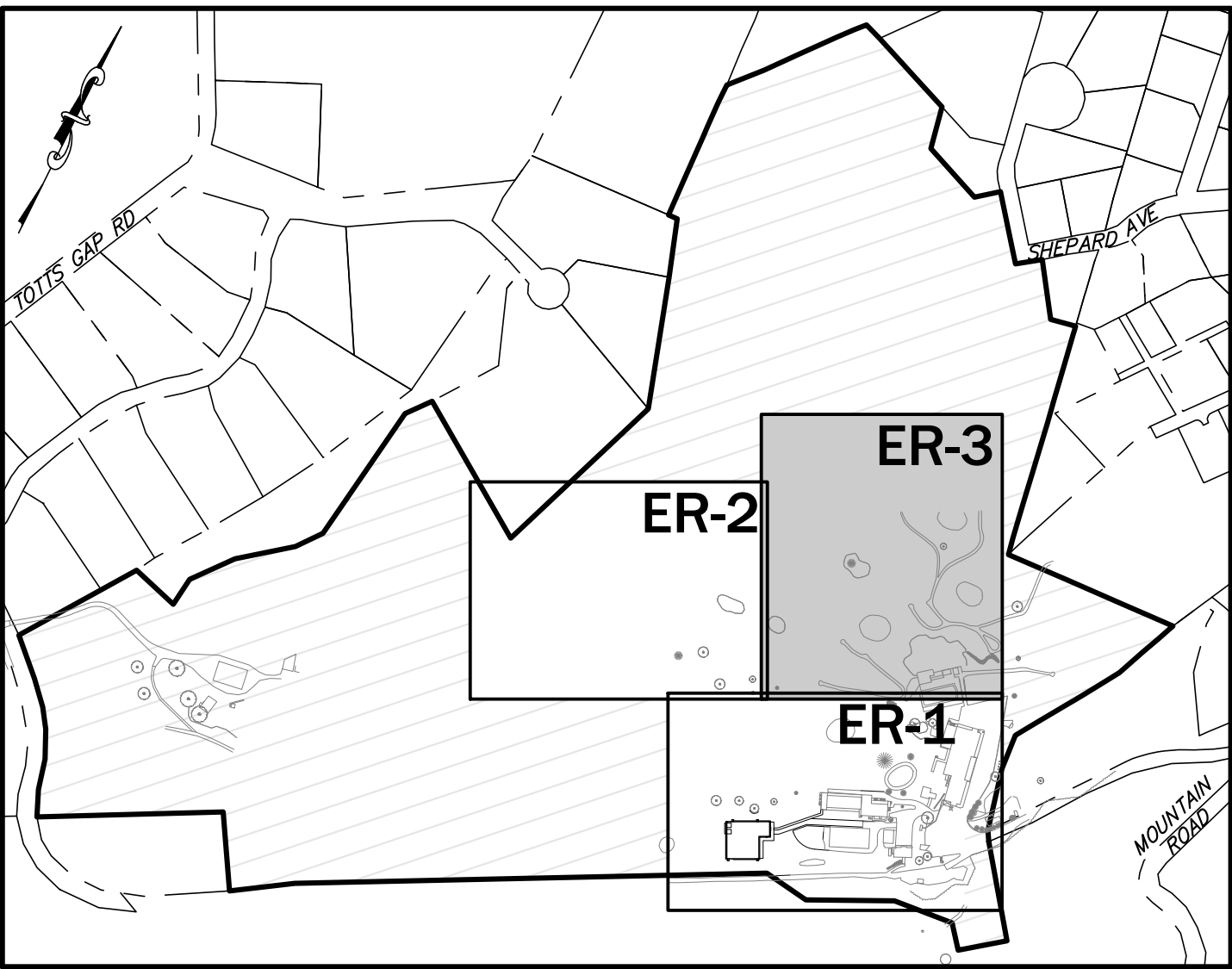
272.200.2050
baryisett.com
525 Main Street, Suite 200
Stroudsburg, PA 18360



FILENAME: C:\Users\jpetard\Documents\Bary and Associates\1022419.004_WW_Accessory_Bugs_LDP\Project_Files\Civil\1022419_004_03_LandscapePlan.dwg March 28, 2025 11:18 AM



Know what's below.
Call before you dig.
SITE SERIAL #20240651009



KEY MAP
SCALE: 1"=400'

- SOIL CLASSIFICATIONS**
- BaB** BATH CHANNERY SILT LOAM - HSG C
3 TO 8 PERCENT SLOPES
 - BaC** BATH CHANNERY SILT LOAM - HSG C
8 TO 15 PERCENT SLOPES
 - BbB** BATH CHANNERY SILT LOAM - HSG C
0 TO 8 PERCENT SLOPES, EXTREMELY STONY
 - BbC** BATH CHANNERY SILT LOAM - HSG C
8 TO 25 PERCENT SLOPES, EXTREMELY STONY
 - BeC** BENSON-ROCK OUTCROP COMPLEX - HSG D
8 TO 25 PERCENT SLOPES
 - CnB** CHIPPEWA AND NORWICH SOIL - HSG D
0 TO 8 PERCENT SLOPES, EXTREMELY STONY
 - LbE** LACKAWANNA AND BATH SOILS - HSG D
STEEP, RUBBLY
 - MbB** MARDIN VERY STONY SILT LOAM - HSG D
0 TO 8 PERCENT SLOPES

PROPERTY SLOPE DATA									
MINIMUM SLOPE	MAXIMUM SLOPE	COLOR	AREA (AC.)	AREA (S.F.)	AREA (%)	DISTURBED AREA (S.F.)	DISTURBED AREA (%)	MAXIMUM AREA OF DISTURBANCE	
15%	25%		17.72 AC.	771,789.36 S.F.	16.76%	13,417.45 S.F.	1.74%	60%	
25%	100%		8.79 AC.	382,966.72 S.F.	8.32%	6,410.70 S.F.	1.67%	10%	

EXISTING

PROPERTY BOUNDARY

LOT LINE

BUILDING SETBACK

LEGAL RIGHT-OF-WAY

EASEMENT

CURBING

BUILDING

PAVEMENT

GRAVEL

SOIL BOUNDARY

UTILITY POLE

OVERHEAD ELECTRIC

WATER MAIN & VALVE

GAS MAIN & VALVE

SANITARY LINE, MANHOLE, & CLEANOUT

STORM LINE, MANHOLE, & INLET

DEMOLITION

CHAIN-LINK FENCE

WOOD FENCE

SIGN

DECIDUOUS TREE

EVERGREEN TREE

TREE ROW

CONTOUR

SPOT ELEVATION

STREAM

WETLANDS

EDGE OF PAVEMENT

EDGE OF GRAVEL

BITUMINOUS

TYPICAL

TO BE REMOVED

FINISHED FLOOR

DOOR SILL

EXISTING

CHAIN-LINK FENCE

WOOD FENCE

SIGN

6" MAPLE

6" PINE

590.53

E.O.P.

E.O.G.

BIT.

(TYP.)

F.F.

D.S.

DEMOLITION

(T.B.R.)

NOTE:
VERTICAL TEXT INDICATES PROPOSED FEATURES
SLANTED TEXT INDICATES EXISTING FEATURES

SCALE: 1"=30'

EXISTING RESOURCES & SITE ANALYSIS PLAN
WATER GAP WELLNESS RECREATION CENTER
WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

DATE: 8/28/2024
SCALE: 1"=30'
DRAWN: TAL/DFG
JOB: 1022419.004
COPYRIGHT 2024
SHEET: 8 OF 27

DSGN: TAL/CRS
CHK: CRS
APPRD: JPK
P MGR: JPK

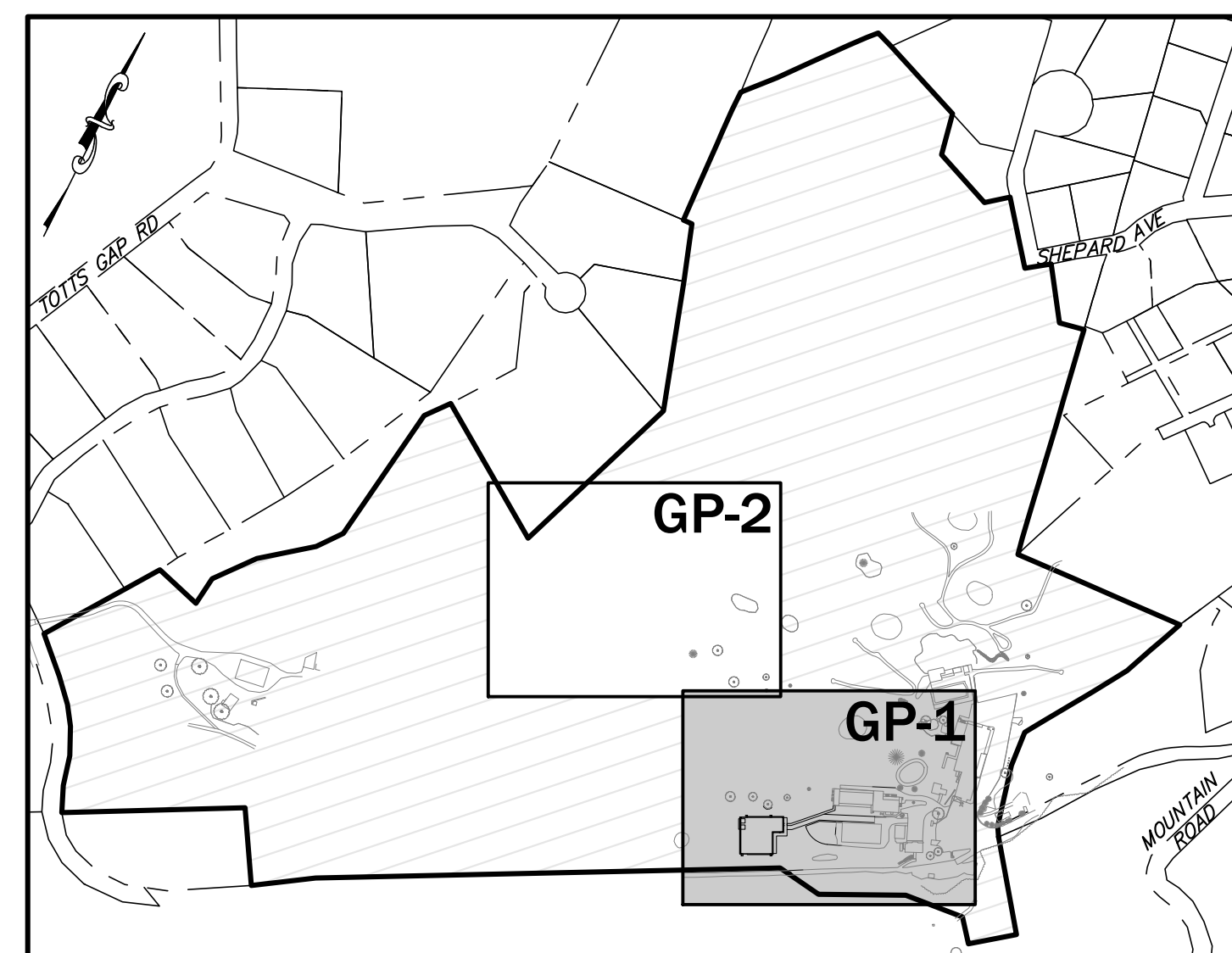
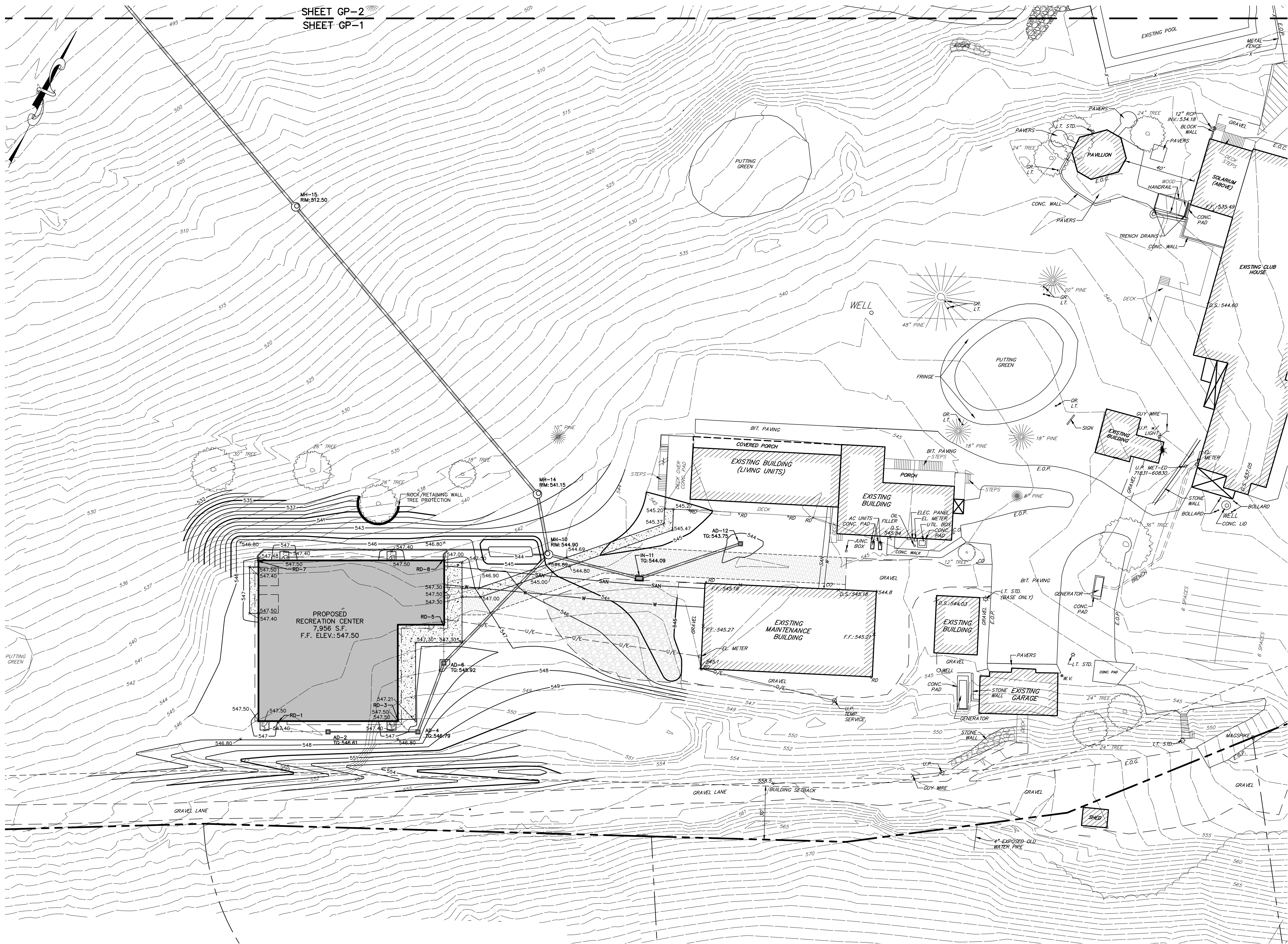
ER-3

272.200.2050
baryisett.com
525 Main Street, Suite 200
Stroudsburg, PA 18360

**BARRY
ISETT &
Associates**
MULTIDISCIPLINE ENGINEERS AND CONSULTANTS



REVISIONS	DATE	BY
1. TOWNSHIP COMMENTS	11/25/24	TAL
2. MCO COMMENTS	3/4/25	TAL
3. TOWNSHIP COMMENTS	3/26/25	TAL



KEY MAP
SCALE: 1"=400'

GRADING NOTES

- IN ACCORDANCE TO STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL PA ONE-CALL FOR UTILITY MARK-OUT IN ADVANCE OF ANY UTILITY EXCAVATION.
- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICES CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST POINTS. CROSSINGS WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED FOR INVERT ELEVATIONS AND LOCATION BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THESE DRAWINGS HAVE BEEN PREPARED BASED ON THE BEST AVAILABLE INFORMATION. THE ENGINEER CAN NOT VERIFY THE ACCURACY BETWEEN VISIBLE OR MARKED POINTS OF THE UNDERGROUND UTILITIES AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE INCORPORATED HEREIN AS A RESULT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHY AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
- THE OWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE AND OWNERSHIP RESPONSIBILITIES OF THE PROPOSED DETENTION SYSTEM, POST CONSTRUCTION STORMWATER BMP'S, AND OTHER STORMWATER MANAGEMENT FACILITIES ON SITE.
- ALL EXCAVATIONS, TRENCHING, AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U.S. DEPT. OF LABOR, OSHA.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY DESIGN ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES.
- CONTRACTOR MUST OBTAIN ANY REQUIRED UTILITY DETAILS FOR RECONNECTION OF EXISTING SERVICES OR NEW WITH THE REQUIREMENTS OF THE OPERATING UTILITY.
- SOILS TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL/SOILS ENGINEER. THE SOILS ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR, SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
- COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACES IN LIFTS NOT TO EXCEED 6 INCHES IN COMPACTED FILL THICKNESS. RUNOFF FROM IMPERVIOUS AREAS SHALL NOT BE DIRECTED INTO THE SANITARY SEWER NOR ONTO ADJACENT PROPERTIES.
- MINIMUM/MAXIMUM SLOPES AROUND BUILDING AND ASSEMBLY AREAS SHALL MEET THE LATEST CODE REQUIREMENTS.
- ALL EXISTING UTILITY STRUCTURES (MANHOLES, INLETS, VALVES, ETC.) TO REMAIN SHALL BE ADJUSTED TO FINISHED GRADE.

LEGEND

	EXISTING	PROPOSED
PROPERTY BOUNDARY	---	---
LOT LINE	---	---
BUILDING SETBACK	---	---
LEGAL RIGHT-OF-WAY	---	---
EASEMENT	---	---
BUILDING		
CONCRETE		
GRAVEL		
EMERGENCY ACCESS DRIVE		
SOIL BOUNDARY		
UTILITY POLE		
OVERHEAD ELECTRIC		
WATER MAIN & VALVE		
SANITARY LINE, MANHOLE, & CLEANOUT		
STORM LINE, MANHOLE, & INLET		
DECIDUOUS TREE		
EVERGREEN TREE		
TREE ROW		
CONTOUR		
SPOT ELEVATION		
STREAM		
WETLANDS		
EDGE OF PAVEMENT		
EDGE OF GRAVEL		
BITUMINOUS		
TYPICAL		
FINISHED FLOOR		
DOOR SILL		

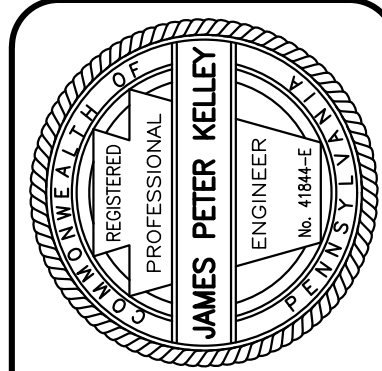
NOTE:
VERTICAL TEXT INDICATES PROPOSED FEATURES
SLANTED TEXT INDICATES EXISTING FEATURES

0 30' 60' 90'
SCALE: 1"=30'



Know what's below.
Call before you dig.
SITE SERIAL #20240651009

BY	TAL
DATE	11/25/24
REVISIONS	1. TOWNSHIP COMMENTS 2. MCC COMMENTS 3. TOWNSHIP COMMENTS



272.200.2050
baryisett.com
525 Main Street, Suite 200
Stroudsburg, PA 18360

**BARRY
ISETT &
Associates**
MULTIDISCIPLINARY ENGINEERS AND CONSULTANTS

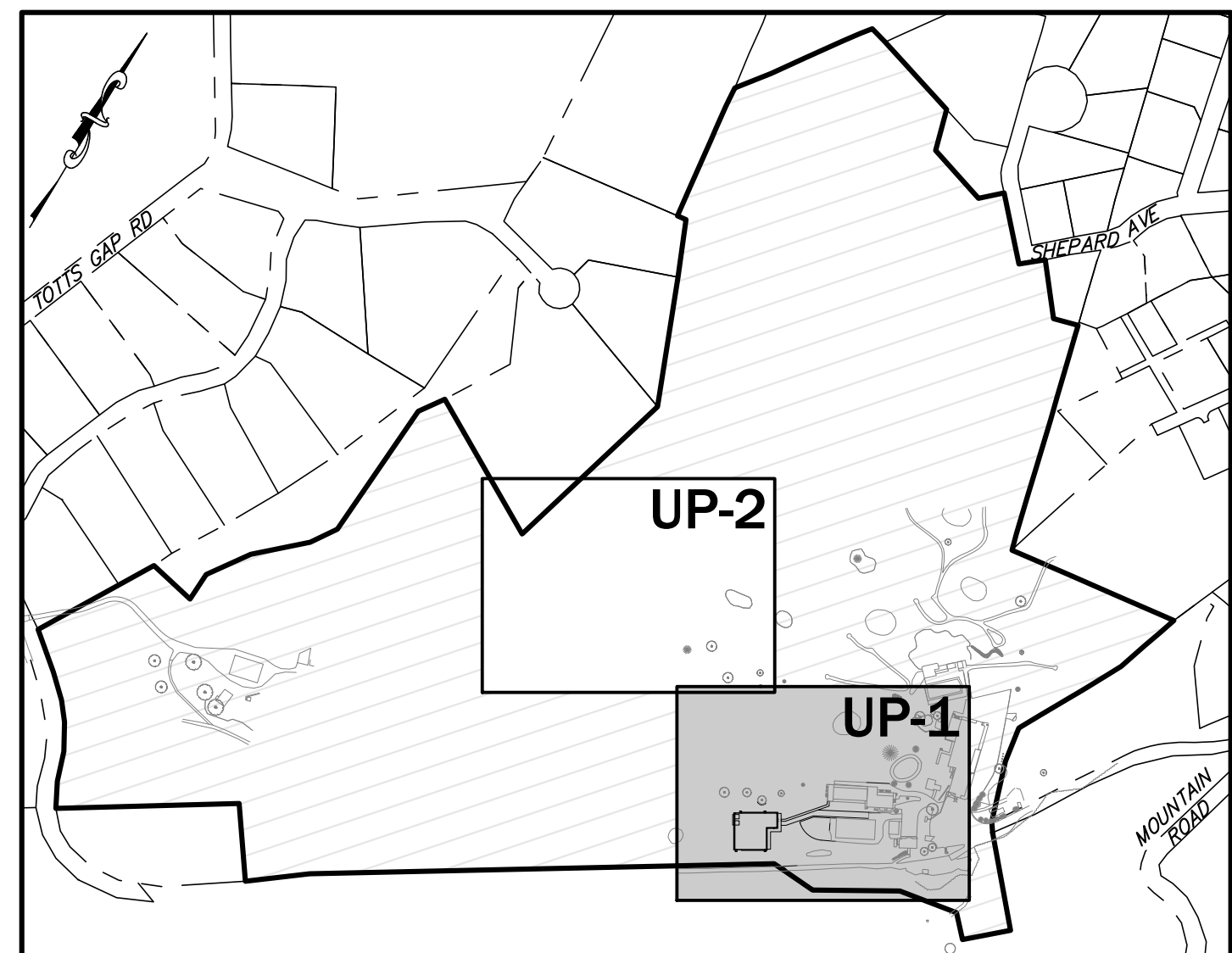
GRADING PLAN
WATER GAP WELLNESS RECREATION CENTER
WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

DATE:	8/28/2024	DSGN:	TAL/CRS
SCALE:	1"=30'	CHK:	CRS
DRAWN:	TAL/DFG	APPRD:	JKP
JOB:	1022419.004	P MGR:	JKP

COPYRIGHT 2024

SHEET: 9 OF 27

GP-1

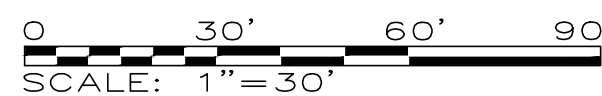


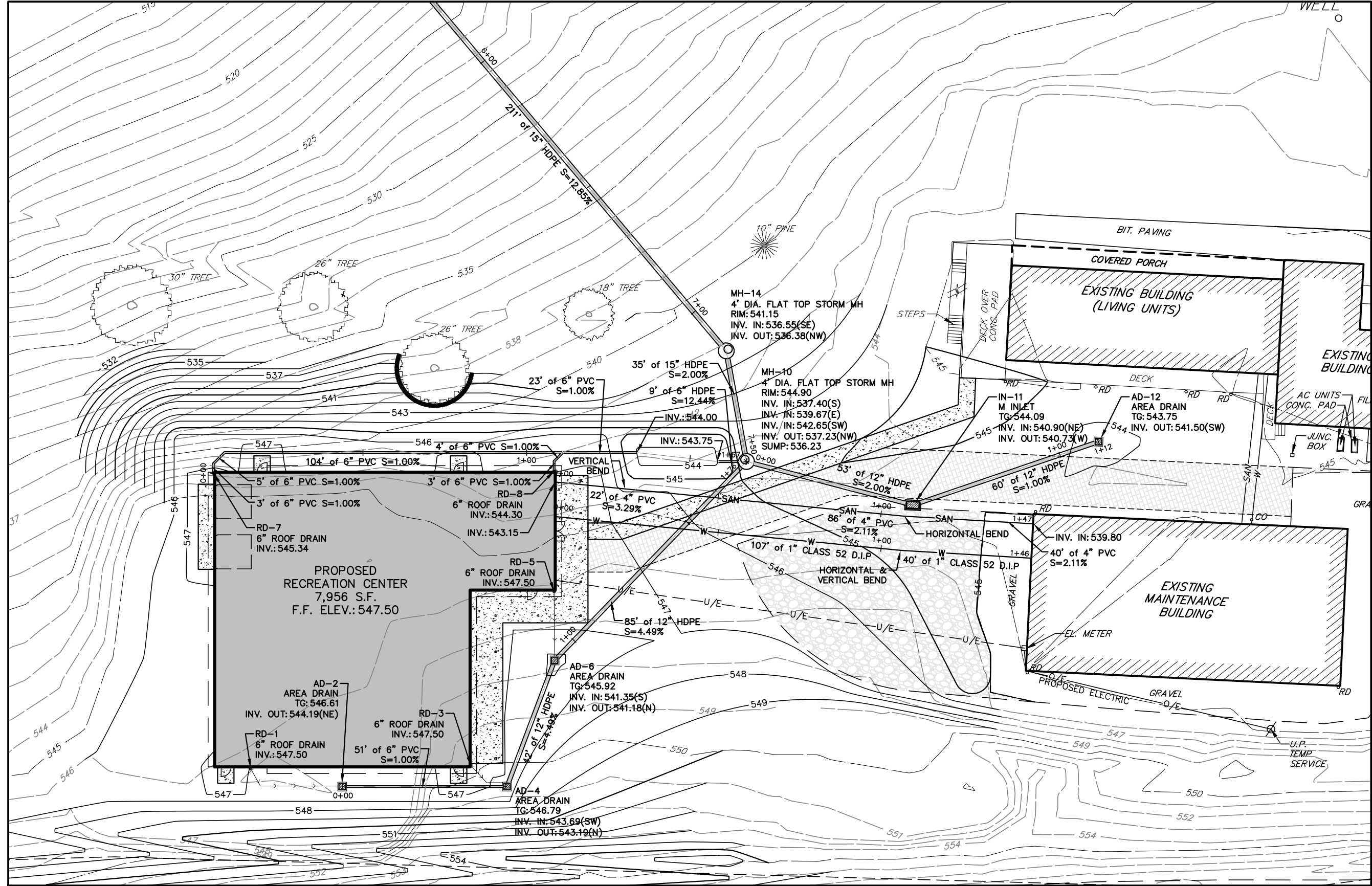
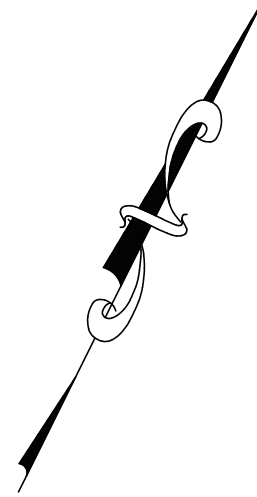
KEY MAP
SCALE: 1"=400'

3. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER EXISTING UNDERGROUND UTILITIES SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST POINTS. CROSSINGS WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED FOR INVERT ELEVATIONS AND LOCATION BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. THESE DRAWINGS HAVE BEEN PREPARED BASED ON THE BEST AVAILABLE INFORMATION. THE ENGINEER CAN NOT VERIFY THE ACCURACY BETWEEN VISIBLE OR MARKED POINTS OF THE UNDERGROUND UTILITIES AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE INCORPORATED HEREIN AS A RESULT.
3. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHY AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
4. ALL EXCAVATIONS, TRENCHING, AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U.S. DEPT. OF LABOR, OSHA.
5. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES.
6. IN ACCORDANCE TO STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL PA ONE-CALL FOR UTILITY MARK-OUT IN ADVANCE OF ANY UTILITY EXCAVATION.
7. ALL UTILITY CONNECTIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE OPERATING UTILITY.
8. ALL PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
9. ALL PROPOSED PIPE SLOPES ARE MEASURED IN FT/FT, UNLESS NOTED OTHERWISE BY PERCENTAGE.
10. ALL HDPE PIPE SHALL BE SMOOTH BORE INTERIOR, CORRUGATED HIGH DENSITY POLYETHYLENE PIPING WITH WATER-TIGHT BELL AND SPIGOT JOINTS IN ADDITION, PERFORATED HDPE PIPE SHALL MEET THE MINIMUM PERFORMANCE REQUIREMENTS FOR AASHTO CLASS II PERFORATIONS.
11. NO STORM SEWER SHALL ENTER OR EXIT THE CORNERS OF INLET OR JUNCTION BOXES.
12. INLETS & DRAINAGE STRUCTURES WITH A DEPTH GREATER THAN 5 FEET MUST BE PROVIDED WITH LADDER RUNGS.
13. MANHOLES AND INLETS MUST CONFORM TO THE STANDARDS ESTABLISHED BY PENNDOT AND MUST BE SUPPLIED BY A PENNDOT BULLETIN 15 APPROVED SUPPLIER.
14. THE WATER SYSTEM, INCLUDING ALL SERVICE PIPING AND EQUIPMENT, SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH ANWA STANDARDS AND ALL APPLICABLE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS.
15. A MINIMUM COVER OF 4 FEET SHALL BE MAINTAINED OVER ALL WATERLINES.
16. PROVIDE HORIZONTAL & VERTICAL THRUST BLOCKS AT ALL WATERLINE BENDS AND CONSTRUCT TO DETAILS AS SHOWN ON PLANS.
17. ALL ON-SITE LIGHTING, POWER/ELECTRIC, COMMUNICATIONS, TELEVISION AND TELEPHONE UTILITIES ARE TO BE INSTALLED BY THE ELECTRICAL CONTRACTOR.
18. UNDERGROUND MARKING TAPE IS REQUIRED TO BE INSTALLED WITHIN THE PROPOSED UTILITY TRENCHES.

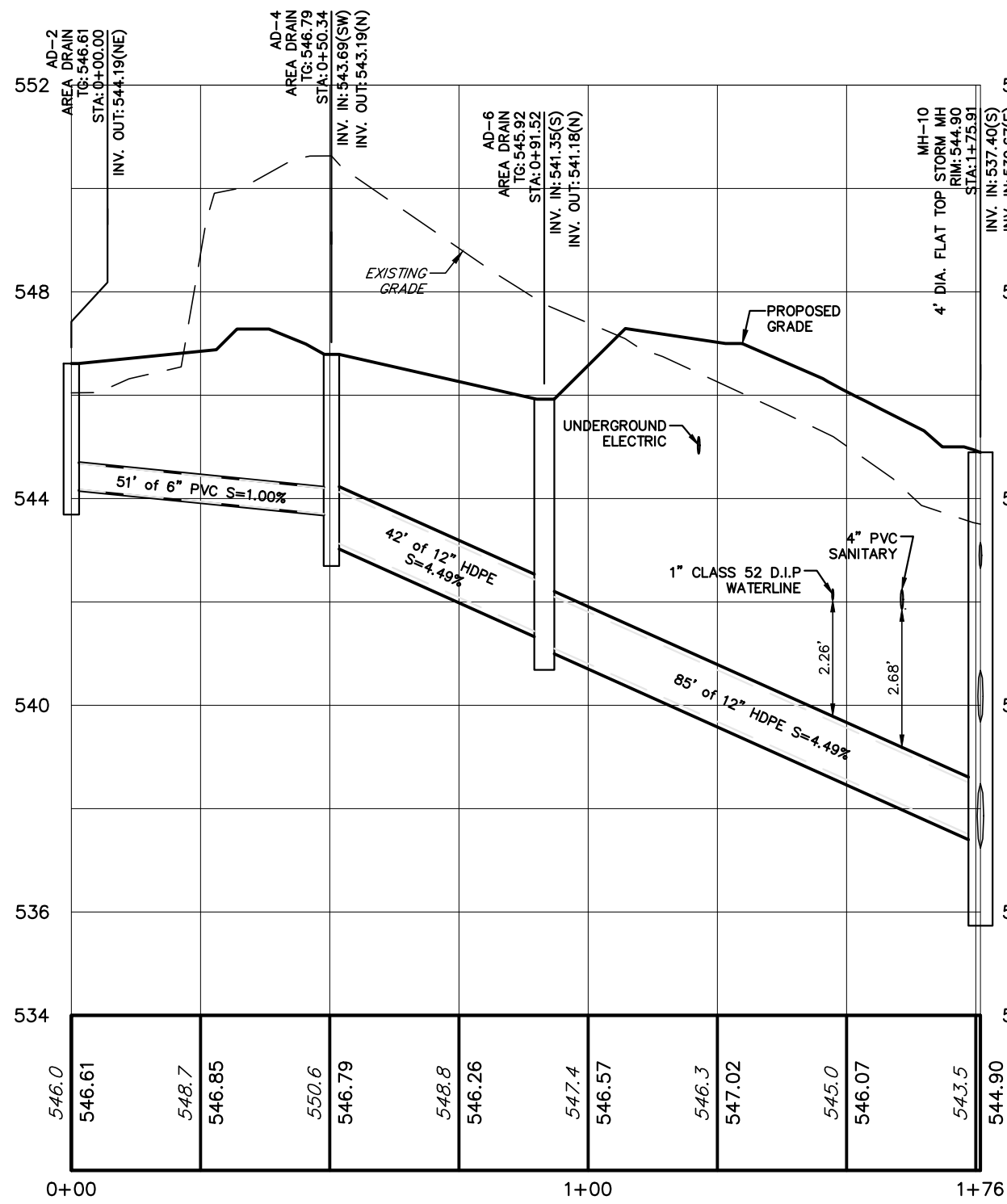
	EXISTING	PROPOSED		EXISTING	PROPOSED
PROPERTY BOUNDARY	---	---	STORM LINE, MANHOLE, & INLET		
LOT LINE	---	---	DECIDUOUS TREE		
BUILDING SETBACK	---	---	EVERGREEN TREE		
LEGAL RIGHT-OF-WAY	---	---	TREE ROW		
EASEMENT	---	---	CONTOUR		
BUILDING			SPOT ELEVATION	590.53	590.53
CONCRETE	---	---	STREAM		
GRAVEL	---	---	WETLANDS		
EMERGENCY ACCESS DRIVE	---	---	EDGE OF PAVEMENT	E.O.P.	
SOIL BOUNDARY	---	---	EDGE OF GRAVEL	E.O.G.	
UTILITY POLE			BITUMINOUS	BIT.	
OVERHEAD ELECTRIC			TYPICAL	(TYP.)	(TYP.)
WATER MAIN & VALVE			FINISHED FLOOR	F.F.	F.F.
SANITARY LINE, MANHOLE,			DOOR SILL	D.S.	

NOTE:
VERTICAL TEXT INDICATES PROPOSED FEATURES
SLANTED TEXT INDICATES EXISTING FEATURES



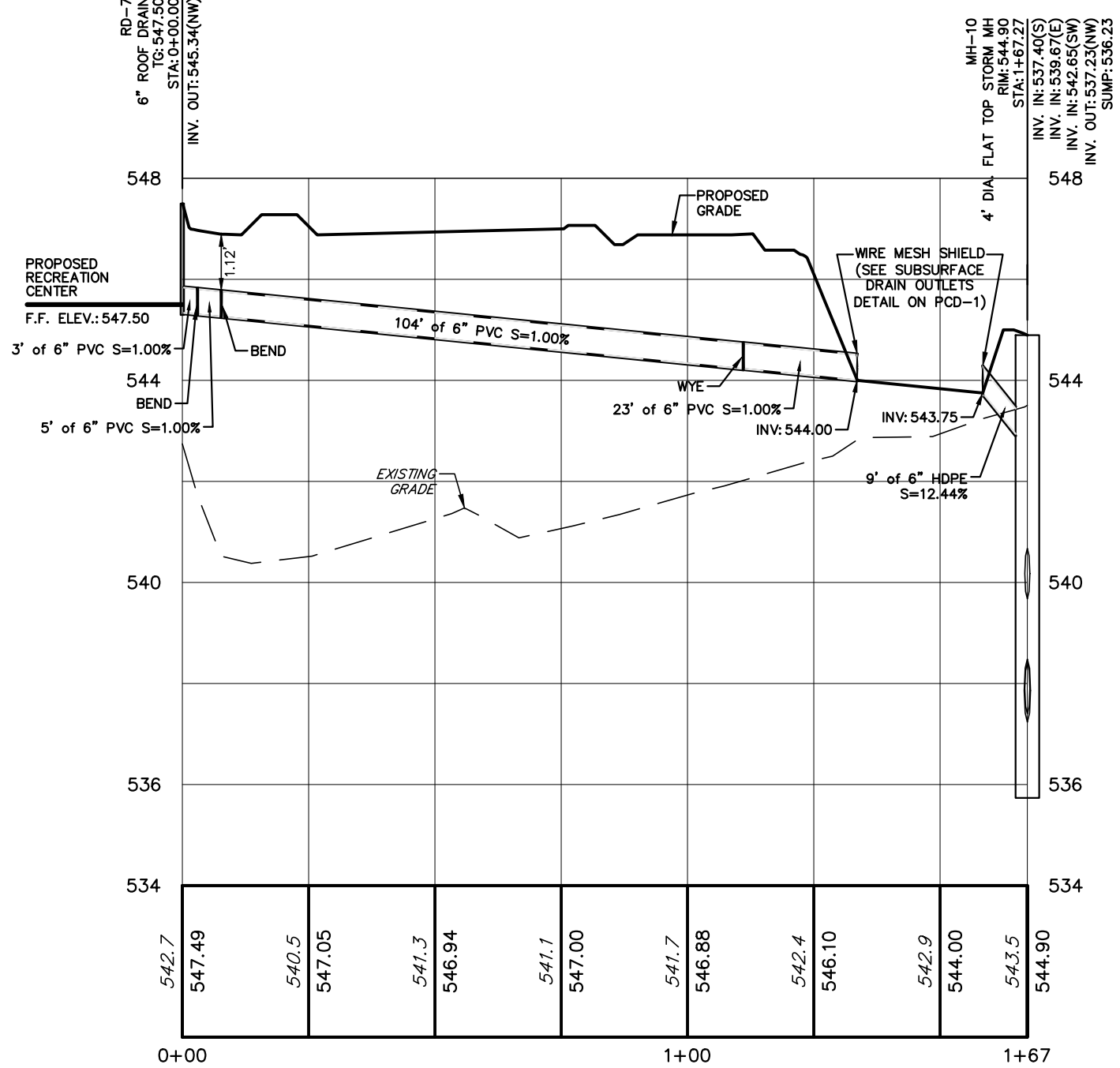


PLAN VIEW
SCALE: 1"=30'



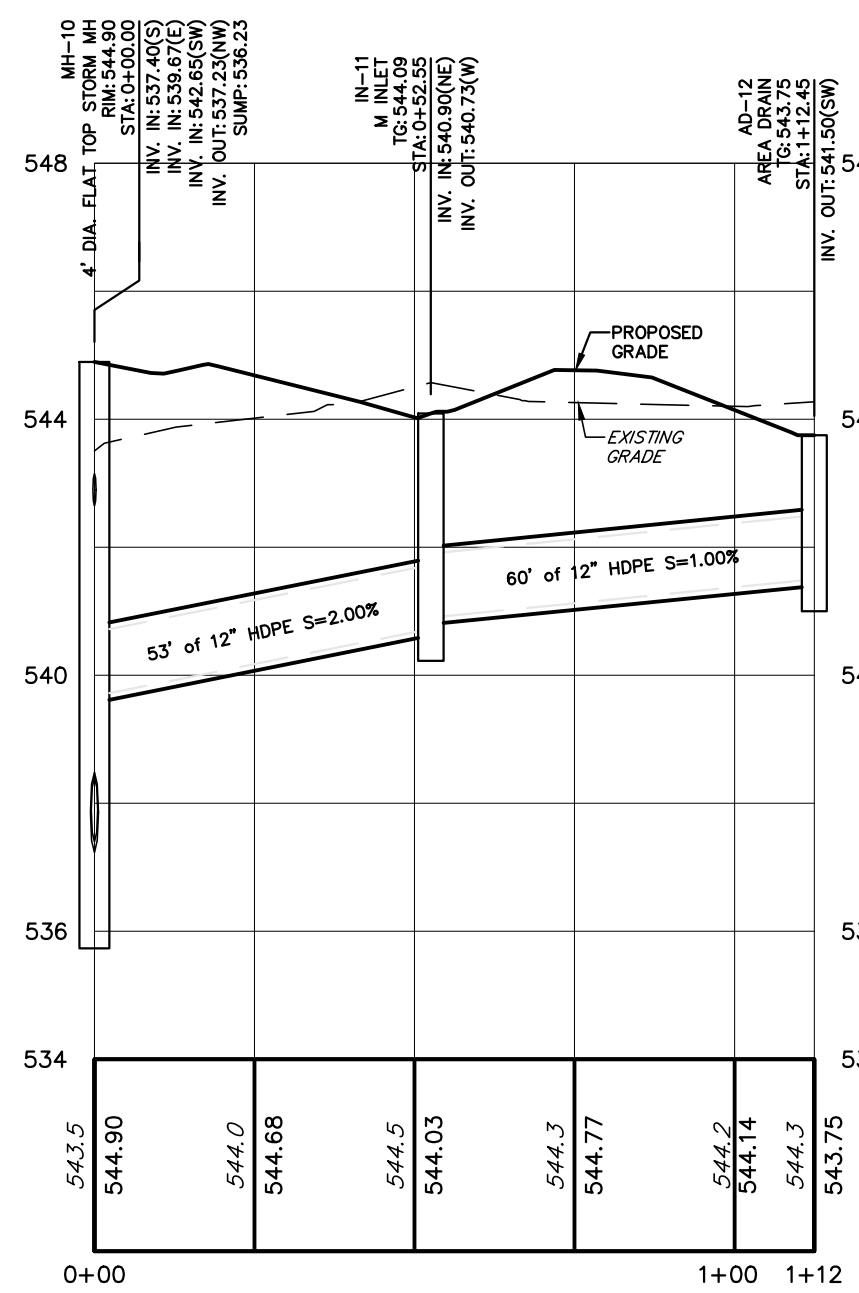
PROPOSED STORM SEWER PROFILE
(AD-2 TO MH-10)

STA.: 0+00 TO 1+75.91
SCALE: 1"=30'(H), 1"=3'(V)



PROPOSED STORM SEWER PROFILE
(RD-7 TO MH-10)

STA.: 0+00 TO 1+67.27
SCALE: 1"=30'(H), 1"=3'(V)

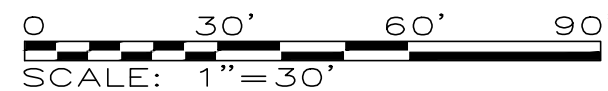


PROPOSED STORM SEWER PROFILE
(AD-12 TO MH-10)

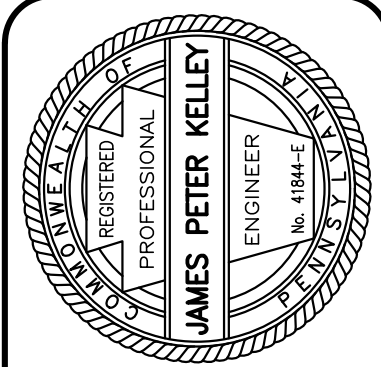
STA.: 0+00 TO 1+12.45
SCALE: 1"=30'(H), 1"=3'(V)



Know what's below.
Call before you dig.
SITE SERIAL #20240651009



REVISIONS	DATE	BY
1. TOWNSHIP COMMENTS	11/25/24	TAL
2. MCD COMMENTS	3/4/25	TAL
3. TOWNSHIP COMMENTS	3/26/25	TAL



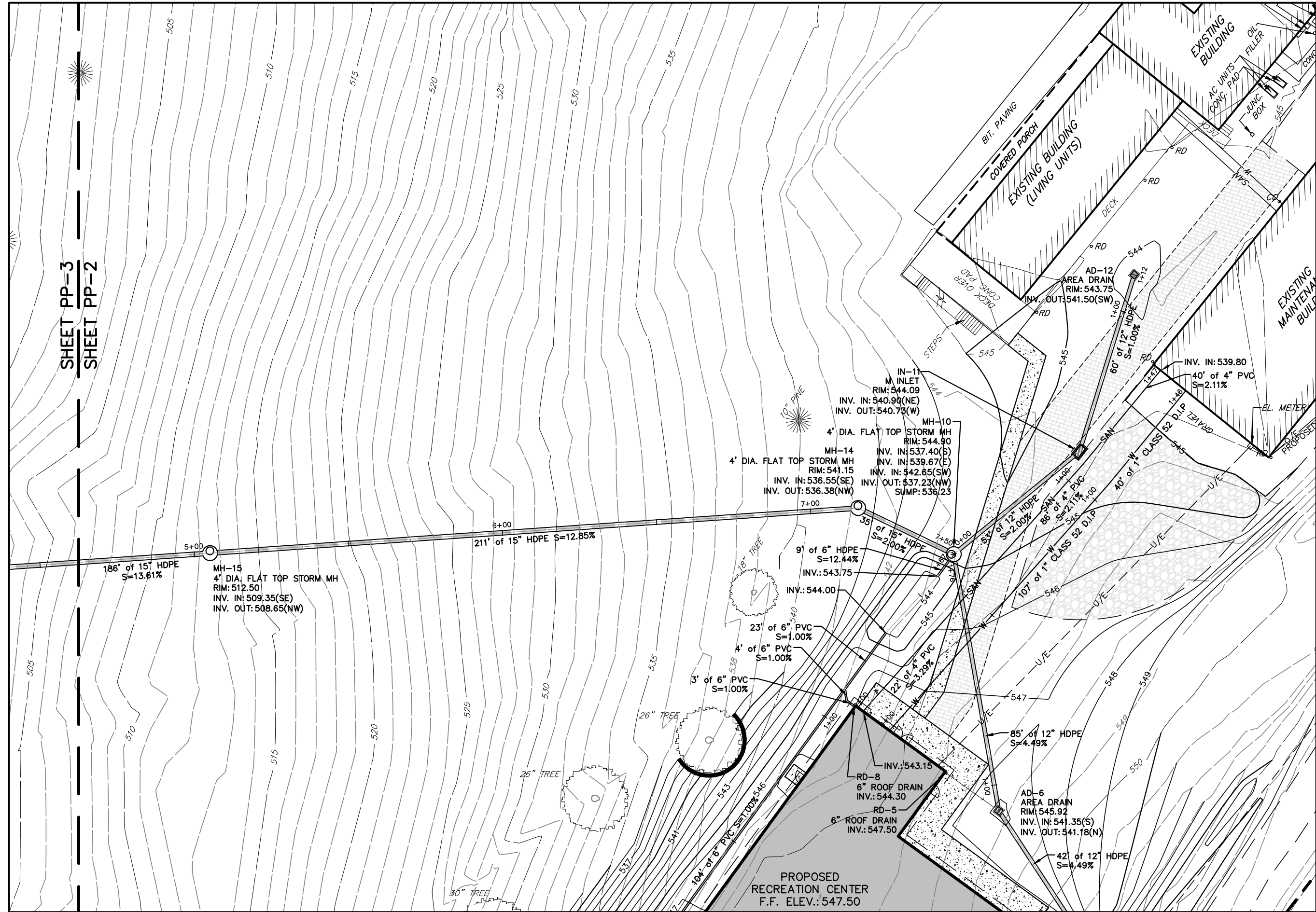
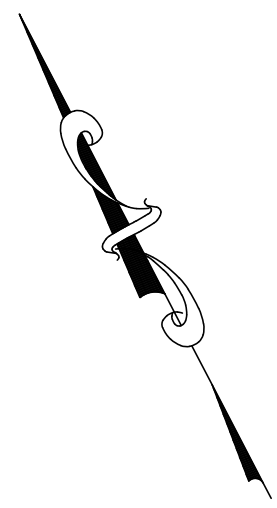
272.200.2050
baryisett.com
525 Main Street, Suite 200
Stroudsburg, PA 18360



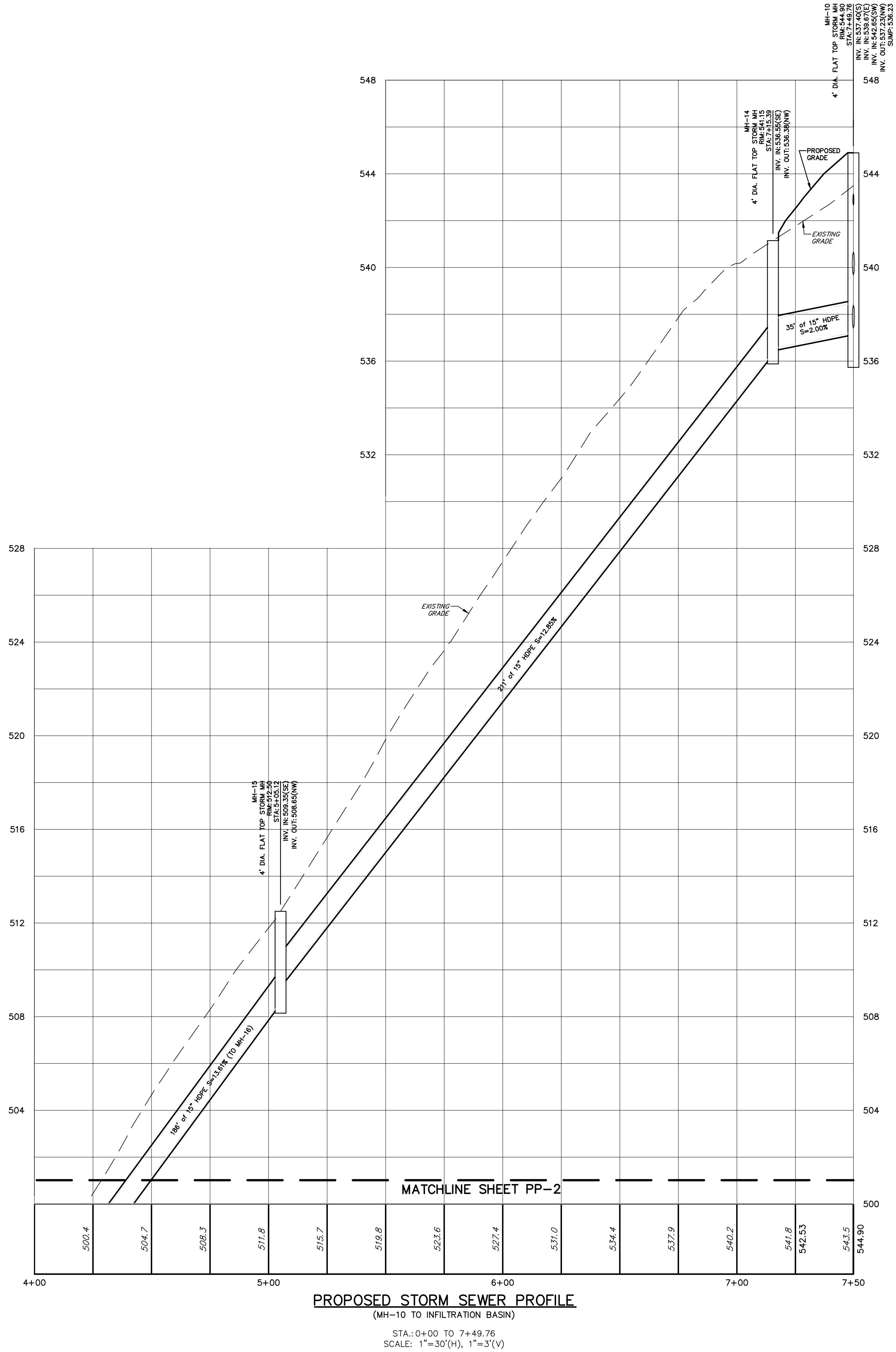
STORM SEWER PLAN & PROFILES
WATER GAP WELLNESS RECREATION CENTER
WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

DATE:	8/26/2024	DSGN:	TAL/CRS
SCALE:	1"=30'	CHK:	CRS
DRAWN:	TAL/DFG	APPRD:	JKP
JOB:	1022419.004	P MGR:	JKP
COPYRIGHT 2024			
SHEET: 13 OF 27			

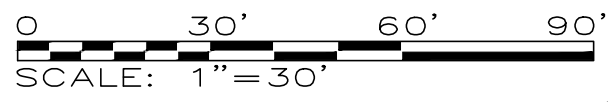
PP-1



PLAN VIEW
SCALE: 1"=30'

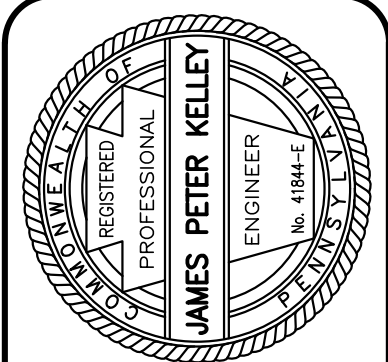


PROPOSED STORM SEWER PROFILE
(MH-10 TO INFILTRATION BASIN)
STA.: 0+00 TO 7+49.76
SCALE: 1"=30'(H), 1"=3'(V)



Know what's below.
Call before you dig.
SITE SERIAL #20240651009

REVISIONS	DATE	BY
1. TOWNSHIP COMMENTS	11/25/24	TAL
2. TCCD COMMENTS	3/4/25	TAL
3. TOWNSHIP COMMENTS	3/26/25	TAL



272.200.2050
baryisett.com
525 Main Street, Suite 200
Stroudsburg, PA 18360

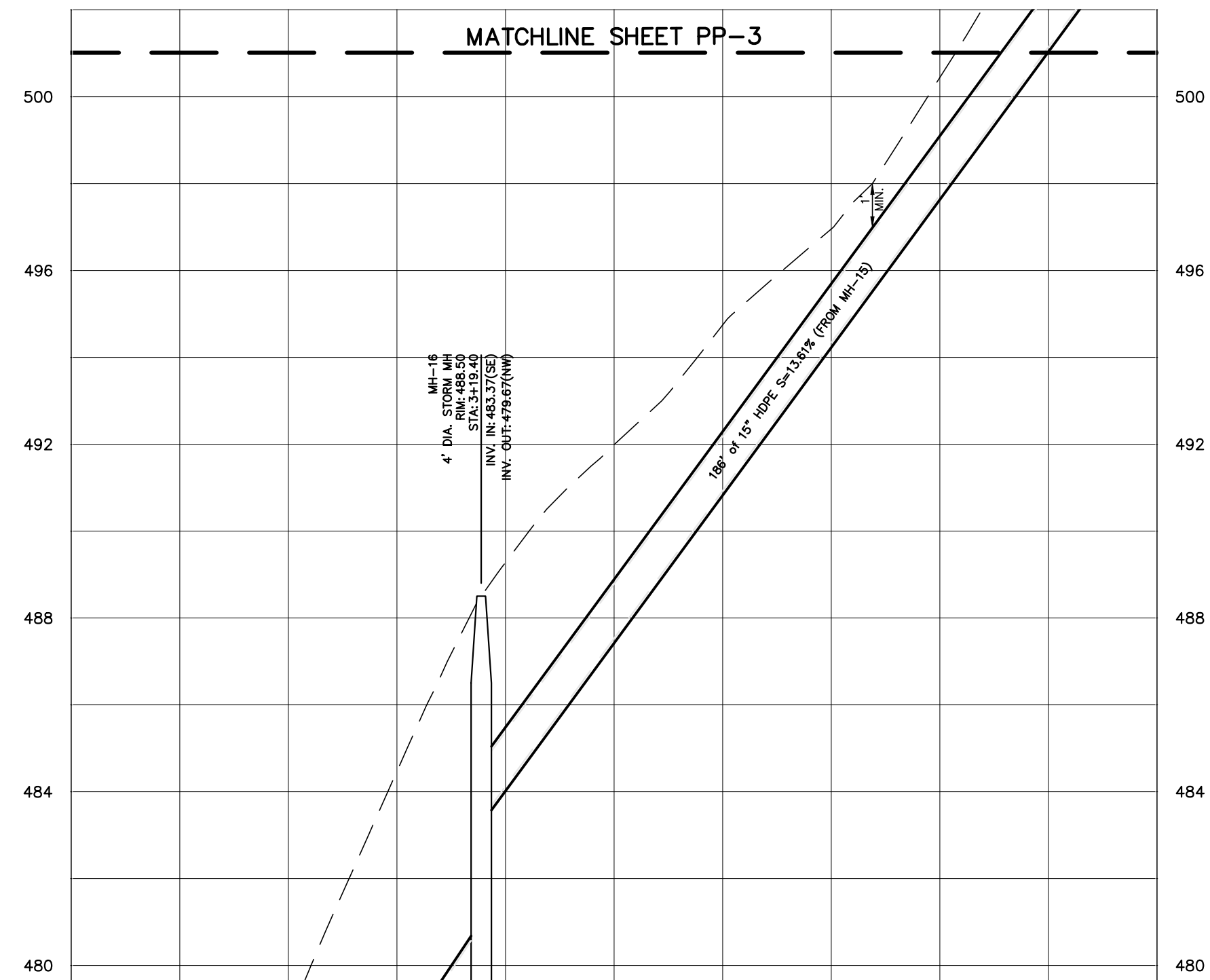
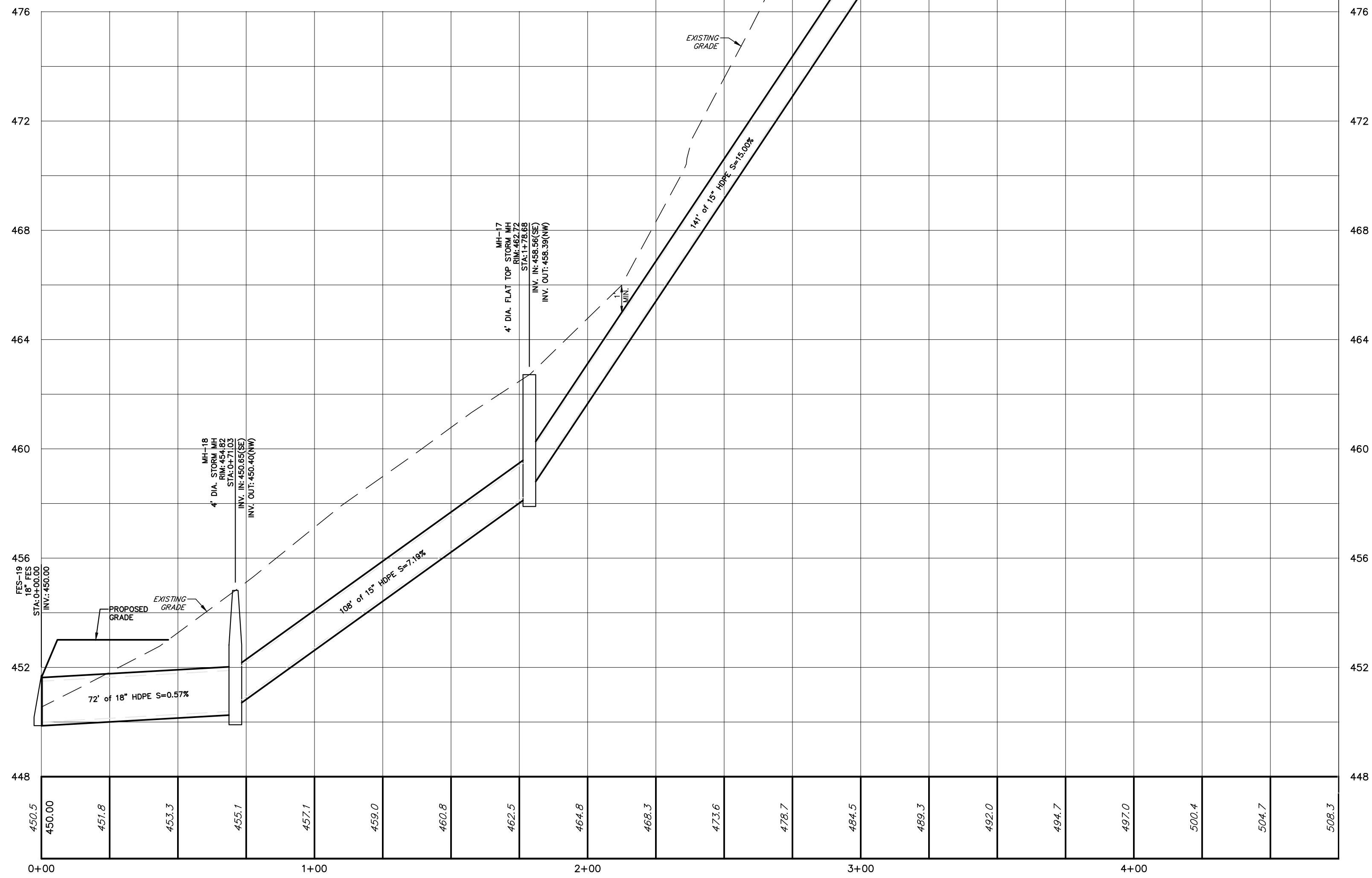
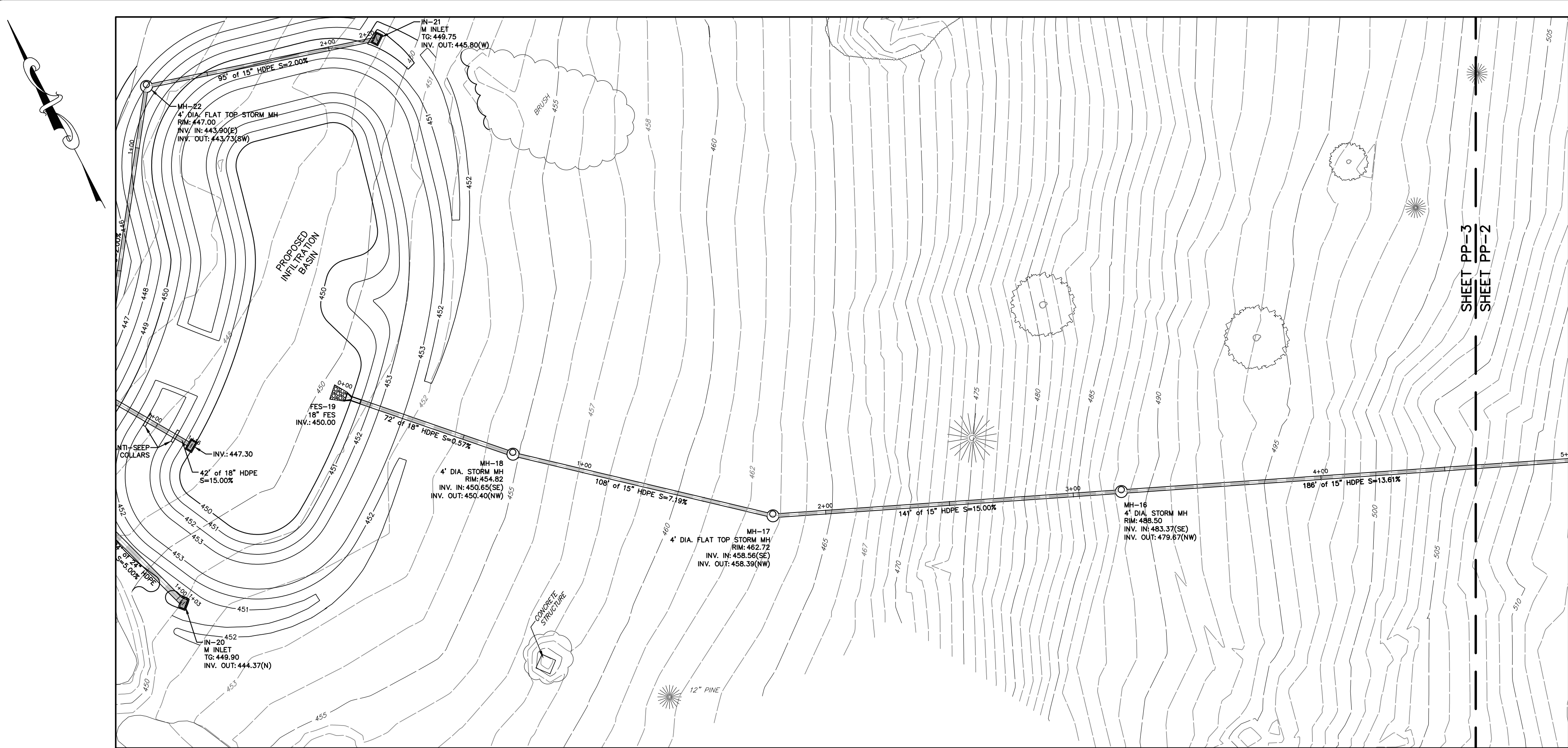


STORM SEWER PLAN & PROFILES
WATER GAP WELLNESS RECREATION CENTER
WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

DATE: 8/26/2024	DSGN: TAL/CRS
SCALE: 1"=30'	CHK: CRS
DRAWN: TAL/DFG	APPRD: JPK
JOB: 1022419.004	P MGR: JPK

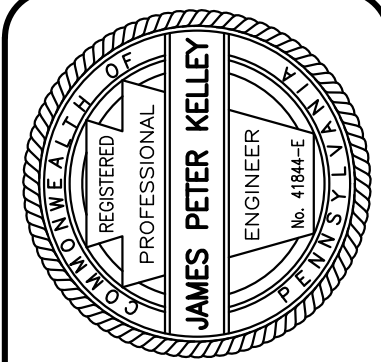
COPYRIGHT 2024
SHEET: 14 OF 27

PP-2



Know what's below.
Call before you dig.
SITE SERIAL #20240651009

REVISIONS	DATE	BY
1. TOWNSHIP COMMENTS	11/25/24	TAL
2. MCO COMMENTS	3/4/25	TAL
3. TOWNSHIP COMMENTS	3/28/25	TAL



272.200.2050
baryisett.com
525 Main Street, Suite 200
Stroudsburg, PA 18360

BARRY ISETT & Associates
MULTIDISCIPLINE ENGINEERS AND CONSULTANTS

STORM SEWER PLAN & PROFILES
WATER GAP WELLNESS RECREATION CENTER
WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

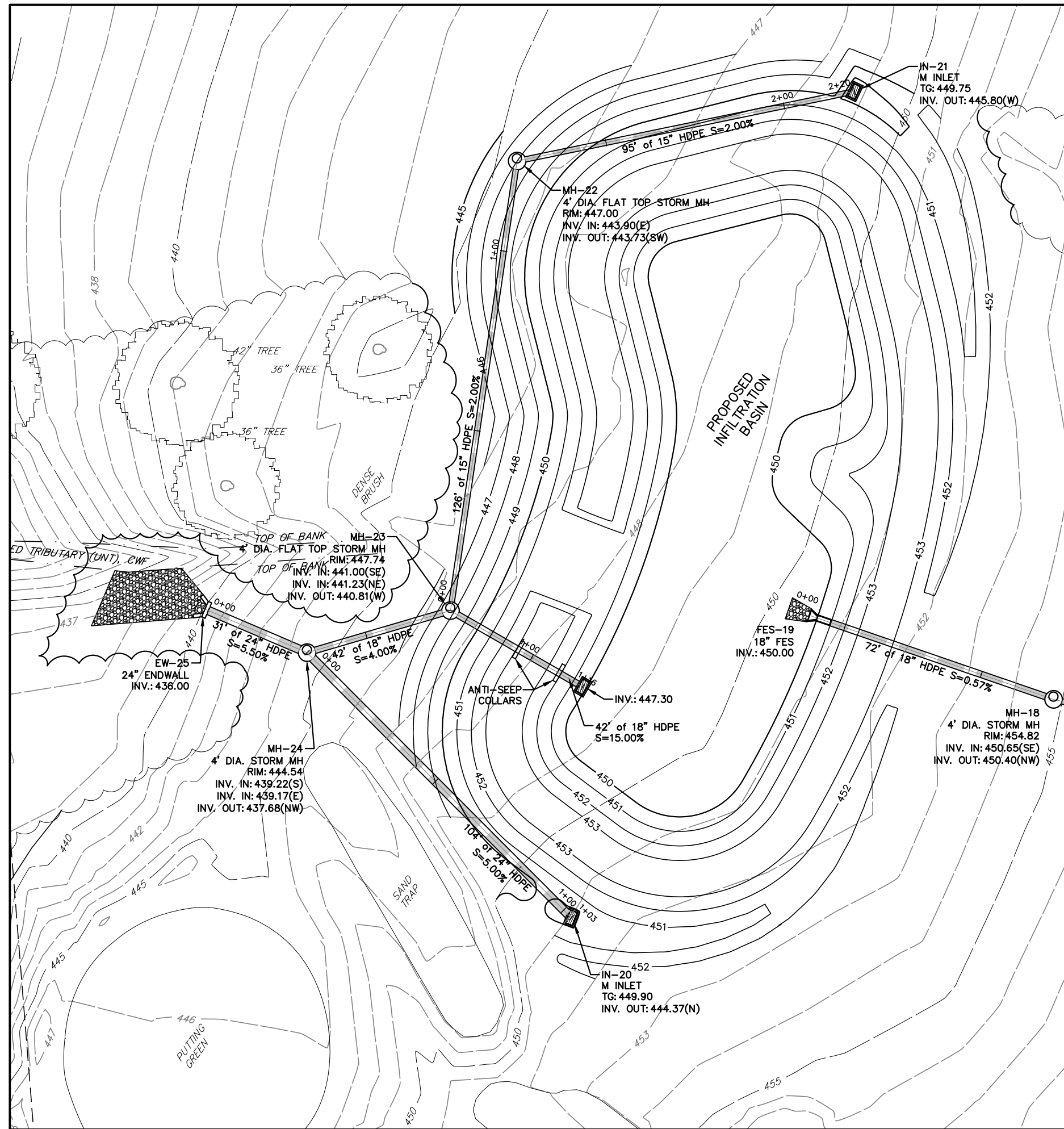
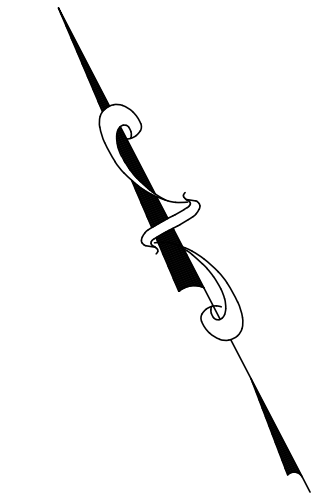
DATE:	8/28/2024	DSGN:	TAL/CRS
SCALE:	1"=30'	CHK:	CRS
DRAWN:	TAL/DFG	APPRD:	JKP
JOB:	1022419.004	P MGR:	JKP

COPYRIGHT 2024

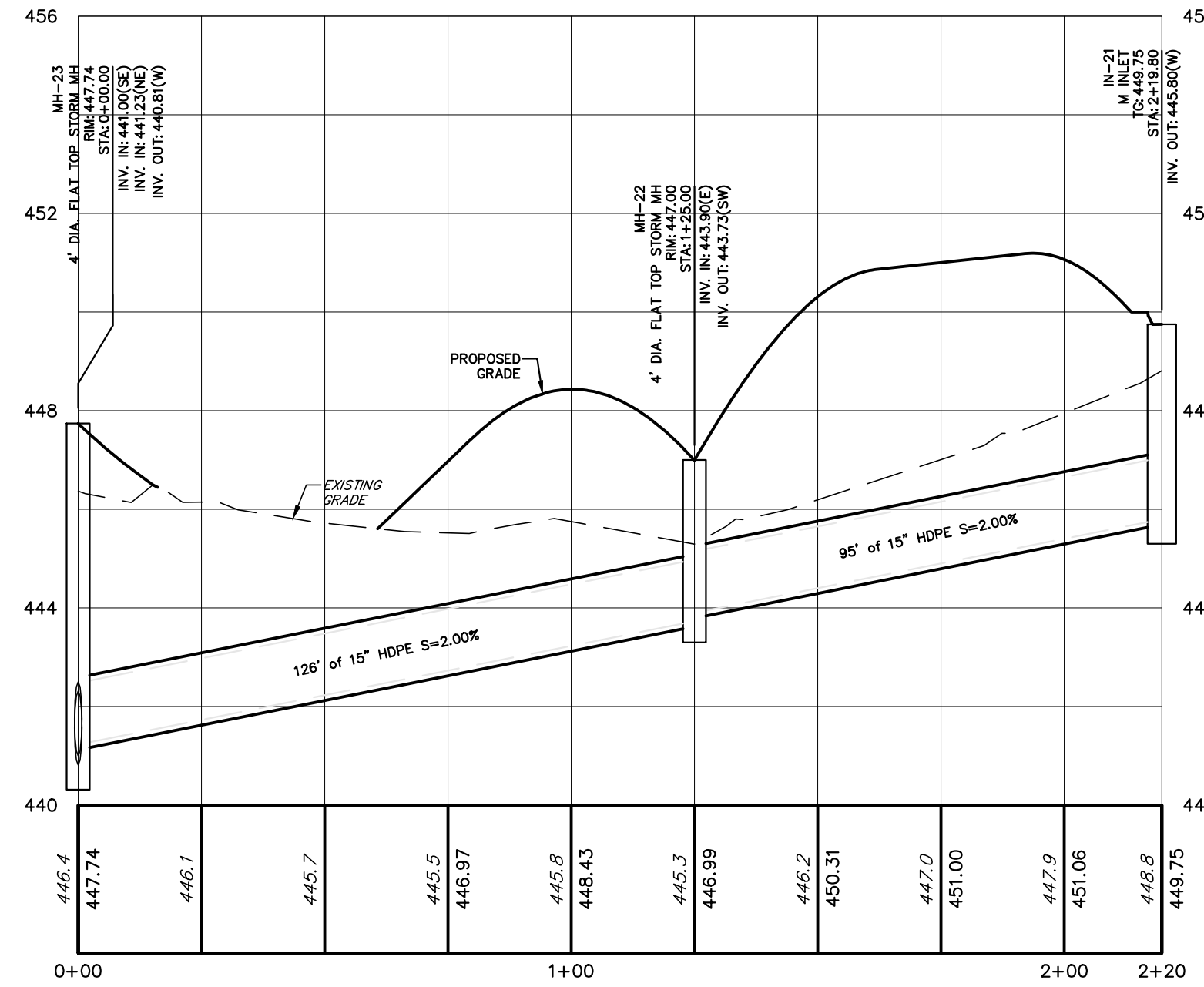
SHEET: 15 OF 27

PP-3

0 30' 60' 90'
SCALE: 1"=30'

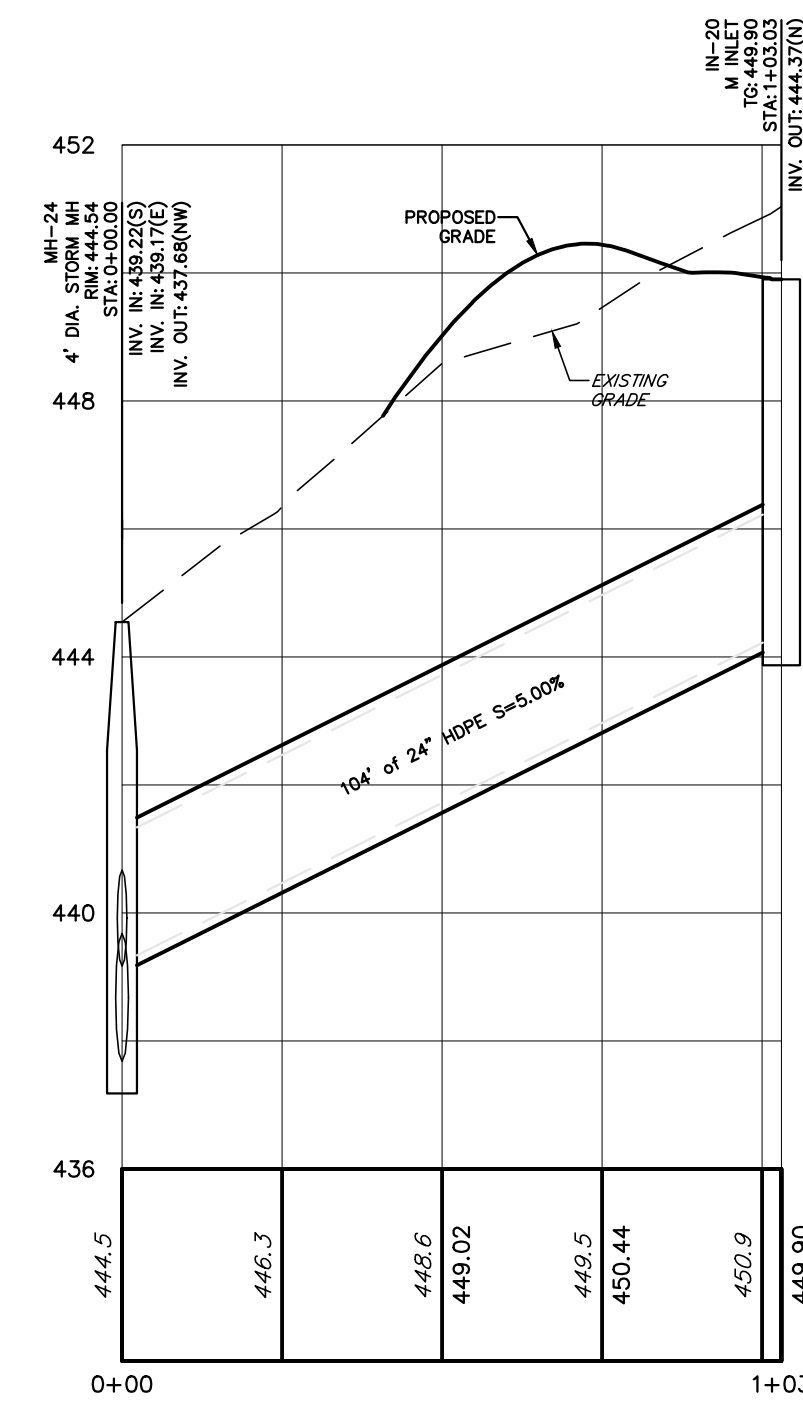


PLAN VIEW
SCALE: 1"=30'



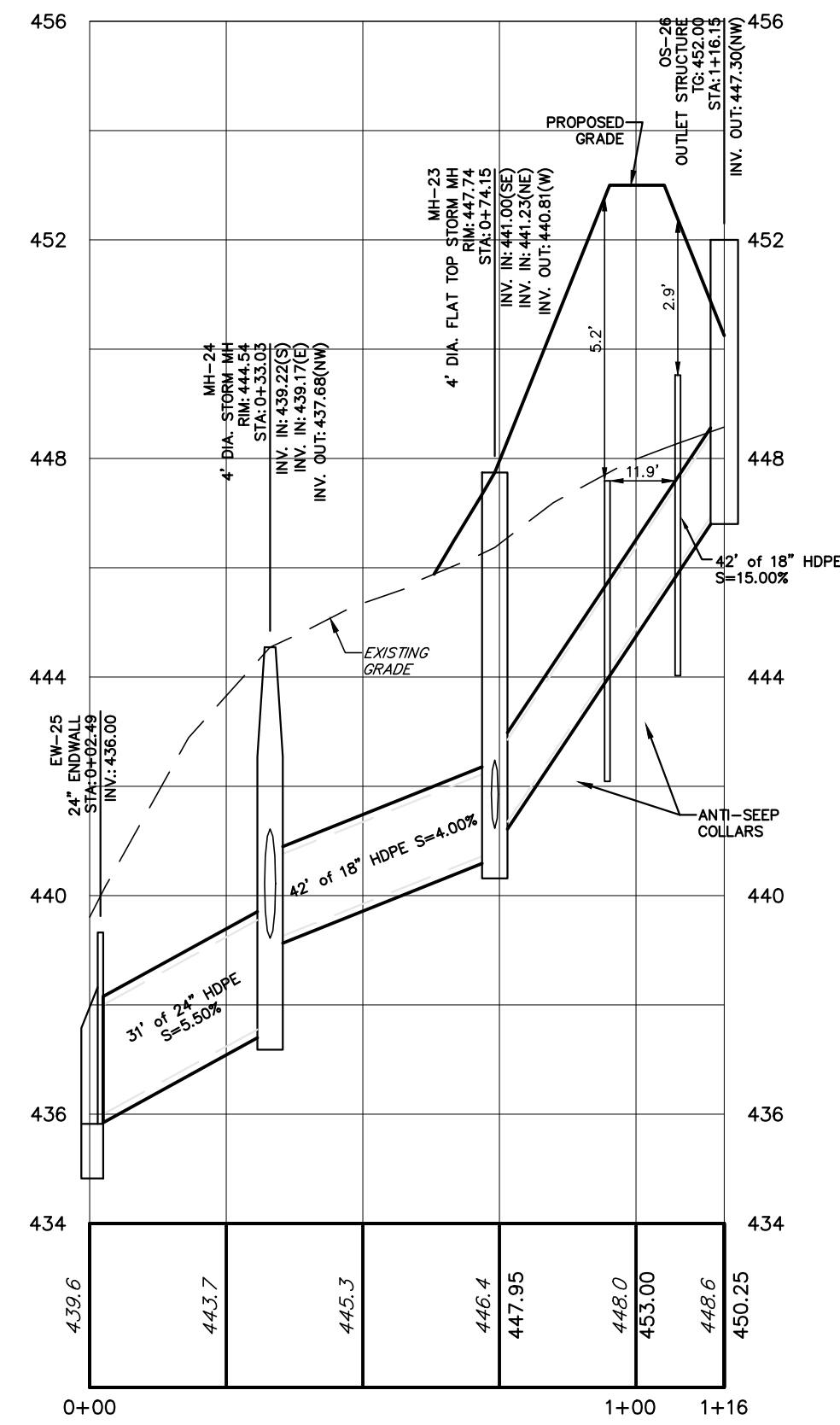
PROPOSED STORM SEWER PROFILE
(IN-21 TO MH-23)

STA.: 0+00 TO 2+19.80
SCALE: 1"=30'(H), 1"=3'(V)



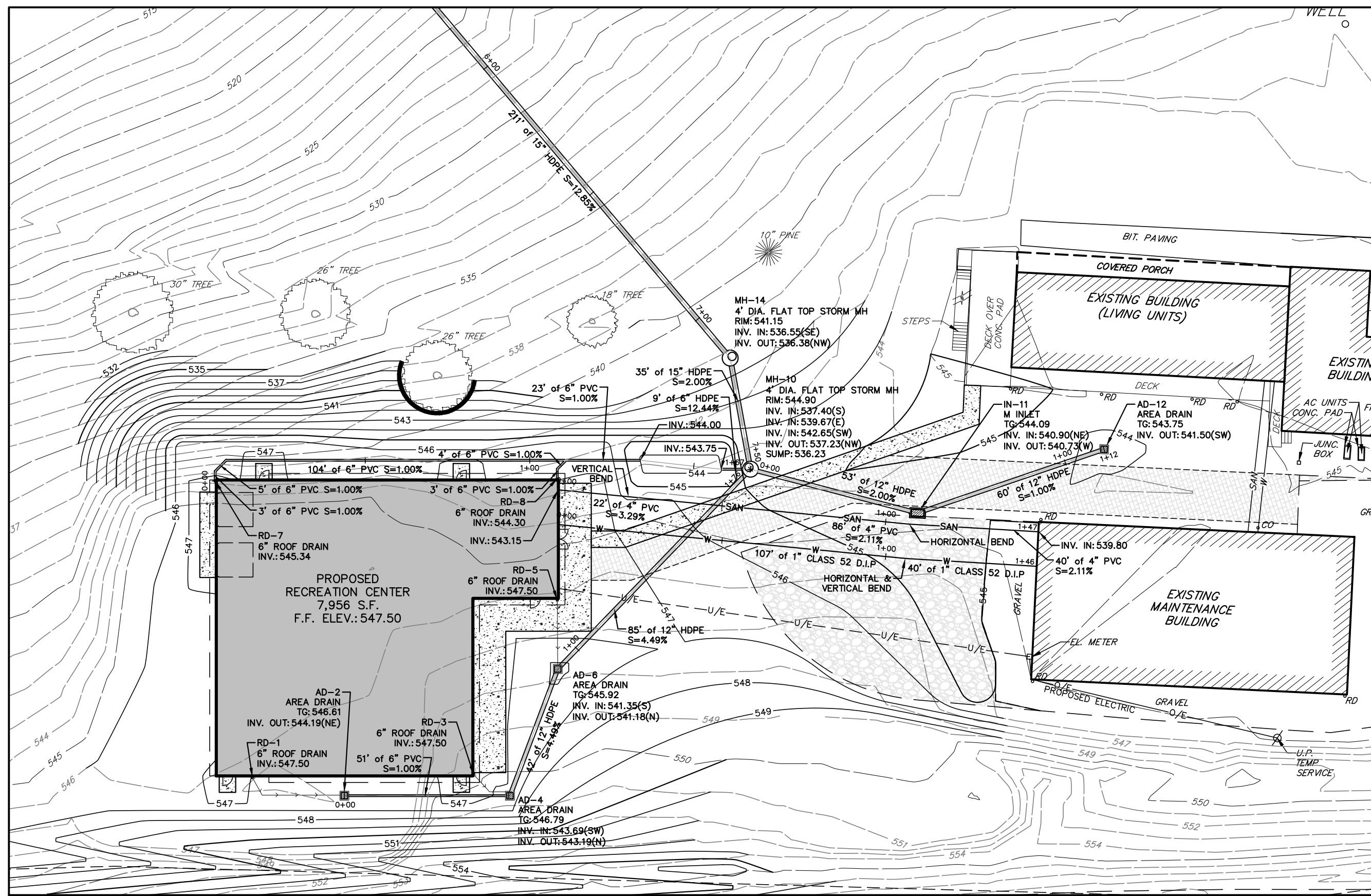
PROPOSED STORM SEWER PROFILE
(IN-20 TO MH-24)

STA.: 0+00 TO 1+03.03
SCALE: 1"=30'(H), 1"=3'(V)

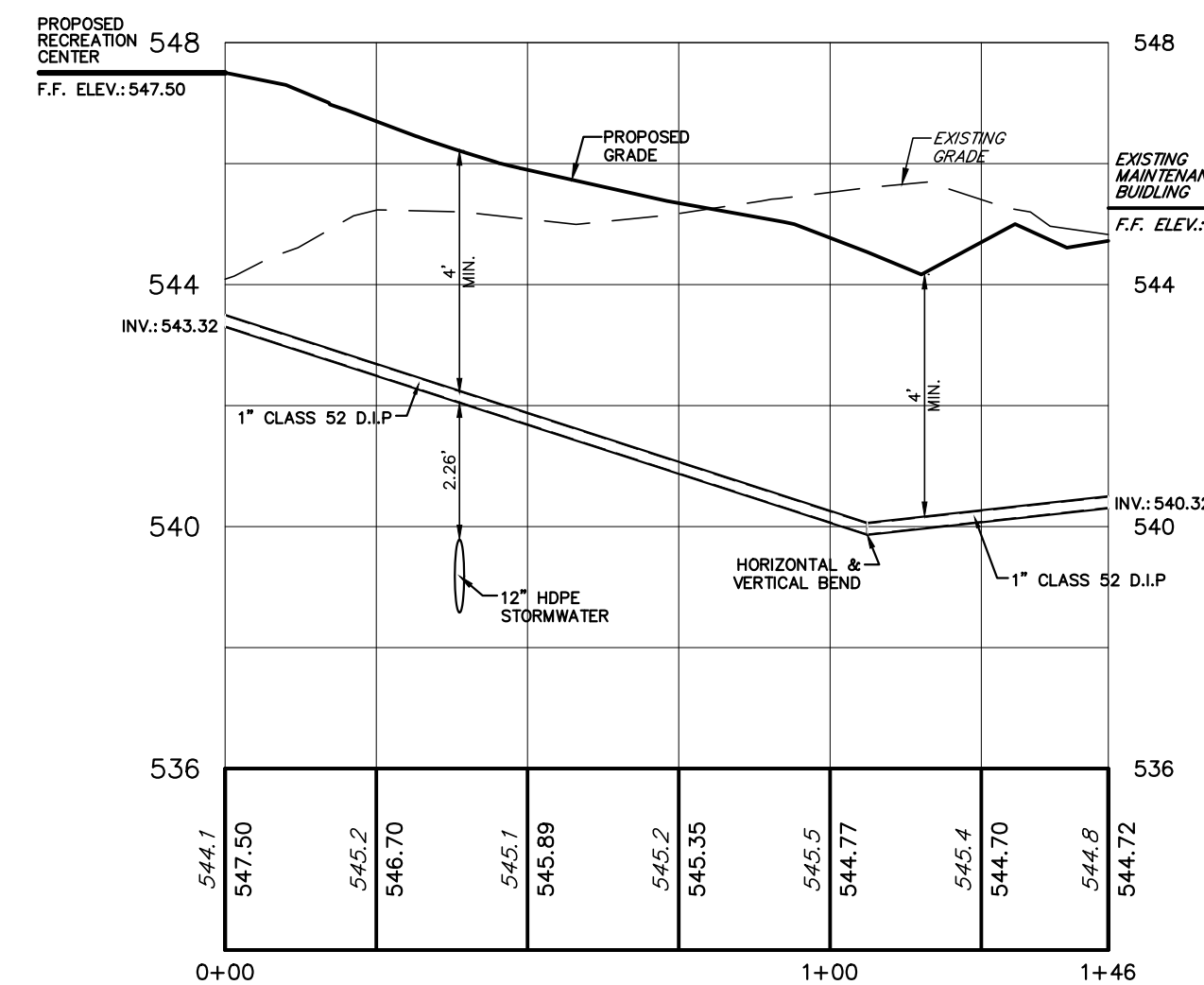


PROPOSED STORM SEWER PROFILE
(INFILTRATION BASIN TO EW-25)

STA.: 0+00 TO 1+16.15
SCALE: 1"=30'(H), 1"=3'(V)

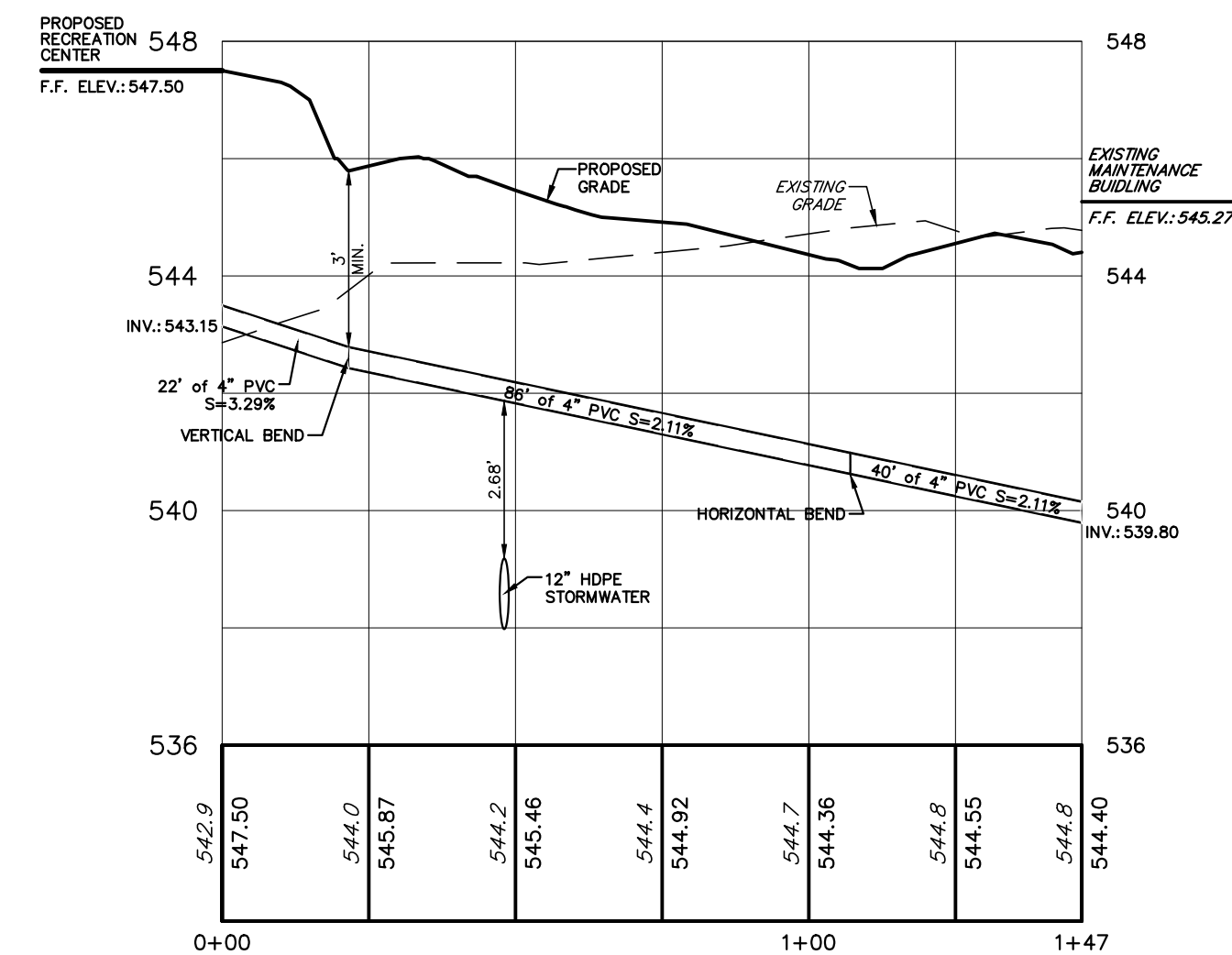


PLAN VIEW
SCALE: 1"=30'



PROPOSED WATERLINE PROFILE

STA.: 0+00 TO 1+46.01
SCALE: 1"=30'(H), 1"=3'(V)

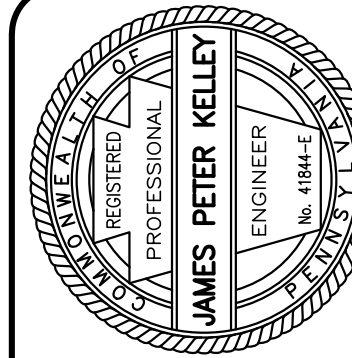


PROPOSED SANITARY SEWER PROFILE

STA.: 0+00 TO 1+46.53
SCALE: 1"=30'(H), 1"=3'(V)



Know what's below.
Call before you dig.
SITE SERIAL #20240651009



272.200.2050
baryisett.com
525 Main Street, Suite 200
Stroudsburg, PA 18360

**BARRY
ISETT &
Associates**
MULTIDISCIPLINARY ENGINEERS AND CONSULTANTS

PLAN & PROFILES
WATER GAP WELLNESS RECREATION CENTER
WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

DATE: 8/28/2024
SCALE: 1"=30'
DRAWN: TAL/DFG
JOB: 1022419.004
SHEET: 16 OF 27

DSGN: TAL/CRS
CHK: CRS
APPRD: JPK
P MGR: JPK

PP-4

0 30' 60' 90'
SCALE: 1"=30'



INFILTRATION BASIN PLANTING SCHEDULE					
KEY	QTY.	NAME	SIZE	SPACING	
Sc	1052	SCHIZACHYRIUM SCOPARIUM, FORT INDIANTOWN GAP – PA ECOTYPE	QUART	18"	O.C.
Ep	304	ECHINACEA PURPUREA (PURPLE CONEFLOWER)	QUART	18"	O.C.
Rh	387	RUDECKIA HIRTA (BLACKEYED SUSAN)	QUART	18"	O.C.
An	238	ASTER NOVAE – ANGLIAE (NEW ENGLAND ASTER)	QUART	18"	O.C.
Cv	690	CAREX VULPINOIDES, PA ECOTYPE (FOX SEDGE)	QUART	18"	O.C.
Ba	397	BAPTISIA AUSTRALIS, SOUTHERN W ECOTYPE (BLUE FALSE INDIGO)	QUART	18"	O.C.
Je	541	JUNCUS EFFUSUS (SOFT RUSH)	QUART	18"	O.C.

LANDSCAPE CALCULATIONS

1101.1.F.(2).(e)1 STORMWATER BASIN PERIMETER PLANTINGS:
- 505 LF/30 = 16.8 = 17 REQUIRED TREES
PROPOSED: 17 TREES

502.7.A TREE FENCES
- EVERGREEN TREES PROVIDED ALONG THE PROPERTY LINE
TO BUFFER STORMWATER BASIN.



Know what's **below**.
Call before you dig.

SITE SERIAL #20240651009

PLANTING SCHEDULE						
SYMBOL	KEY	QTY.	BOTANICAL NAME	COMMON NAME	ROOT SIZE	COMMENTS
	Am	12	ARONIA MELANOCARPA	BLACK CHOKEBERRY	QUART PLUG 12"-18" TALL	HEIGHT/SPREAD: 5 TO 6 FT
	Ca	15	CLETHRA ALNIFOLIA 'COMPACTA'	COMPACT SWEET-PEPPERBUSH	QUART PLUG 12"-18" TALL	HEIGHT/SPREAD: 3 TO 4 FT
	It	13	ITEA VIRGINICA	VIRGINIA SWEETSPIRE	QUART PLUG 12"-18" TALL	HEIGHT/SPREAD: 3 TO 5 FT
	Iv	15	ILEX VERTICILLATA	WINTERBERRY	QUART PLUG 12"-18" TALL	HEIGHT/SPREAD: 6 TO 8 FT
	To	16	THUJA OCCIDENTALIS	AMERICAN ARBORVITAE	B&B 6' HT.	SINGLE STEM FULL BRANCHING
	Jv	15	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	B&B 6' HT.	SINGLE STEM FULL BRANCHING
	Ar	9	ACER RUBRUM 'OCTOBER GLORY'	'OCTOBER GLORY' RED MAPLE	B&B 2.5" CAL.	SINGLE, CENTRAL LEADER, FULL CROWN AND BRANCHING
	Bn	8	BETULA NIGRA	RIVER BIRCH	B&B 2.5" CAL.	SINGLE, CENTRAL LEADER, FULL CROWN AND BRANCHING
	Po	2	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	B&B 2.5" CAL.	SINGLE, CENTRAL LEADER, FULL CROWN AND BRANCHING

SEED MIX: ERNMX-126 - RETENTION BASIN FLOOR MIX - LOW MAINTENANCE
SEEDING RATE: 20-40LB PER ACRE OR 0.5-1 LB/1,000 SQ FT WITH A COVER CROP. FOR A COVER CROP USE ONE OF THE FOLLOWING:
GRAIN RYE (1 SEP TO 30 APR; 30 LBS/ACRE), JAPANESE MILLET (1 MAY TO 31 AUG; 10 LBS/ACRE),
OR BARNYARD GRASS (1 MAY TO 31 AUG; 10 LBS/ACRE).

NOTES:

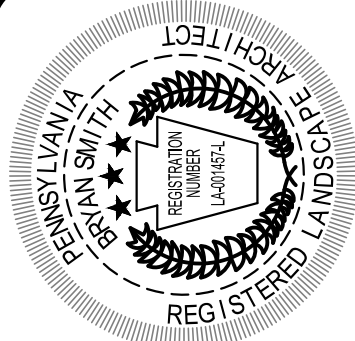
1. IN THE EVENT OF A CONFLICT BETWEEN THE LANDSCAPE PLAN AND SCHEDULE, PLAN TO BE FOLLOWED.
2. LIST OF PLANTS PURCHASED BY CONTRACTOR TO BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
3. ANY PLANT SUBSTITUTIONS TO BE SUBMITTED AND APPROVED BY LANDSCAPE ARCHITECT.

	<u>EXISTING</u>	<u>PROPOSED</u>		<u>EXISTING</u>	<u>PROPOSED</u>
PROPERTY BOUNDARY	=====	=====	STORM LINE, MANHOLE, & INLET		
LOT LINE	-----	-----	DECIDUOUS TREE	6" MAPLE	1 AR
BUILDING SETBACK	-----	-----	EVERGREEN TREE	6" PINE	1 PS
LEGAL RIGHT-OF-WAY EASEMENT	-----	-----	TREE ROW		
BUILDING			CONTOUR		
CONCRETE			SPOT ELEVATION		
GRAVEL			STREAM		
EMERGENCY ACCESS DRIVE			WETLANDS		
SOIL BOUNDARY		EDGE OF PAVEMENT	E.O.P.	
UTILITY POLE			EDGE OF GRAVEL	E.O.G.	
OVERHEAD ELECTRIC			BITUMINOUS	BIT.	
WATER MAIN & VALVE			TYPICAL	(TYP.)	(TYP.)
SANITARY LINE, MANHOLE, & CLEANOUT			FINISHED FLOOR	F.F.	F.F.
			DOOR SILL	D.S.	

NOTE: VERTICAL TEXT INDICATES PROPOSED FEATURES
 SLANTED TEXT INDICATES EXISTING FEATURES

NOTE:
VERTICAL TEXT INDICATES PROPOSED FEATURES
SLANTED TEXT INDICATES EXISTING FEATURES

REVISIONS	DATE	BY
1. TOWNSHIP COMMENTS	11/25/24	TAL
2. MCCD COMMENTS	3/4/25	TAL
3. TOWNSHIP COMMENTS	3/26/25	TAL



📞 272.200.2050
🌐 barryisett.com

☎ 272.200.2050
 🌐 barryisett.com
 525 Main Street, Suite 200
 Stroudsburg, PA 18360



**BARRY
ISETT &
associates** INC.

MULTI-DISCIPLINE ENGINEERS AND CONSULTANTS

FILENAME: C:\Users\leipold\DC\ACDDocs\Barry\leitt and Associates\1022419.004_GWV_Accessory Bids_LDP\Project Files\Civil_Prod\1022419_004_09_LandscapeLighting\in.dwg - March 28, 2025 11:26 AM

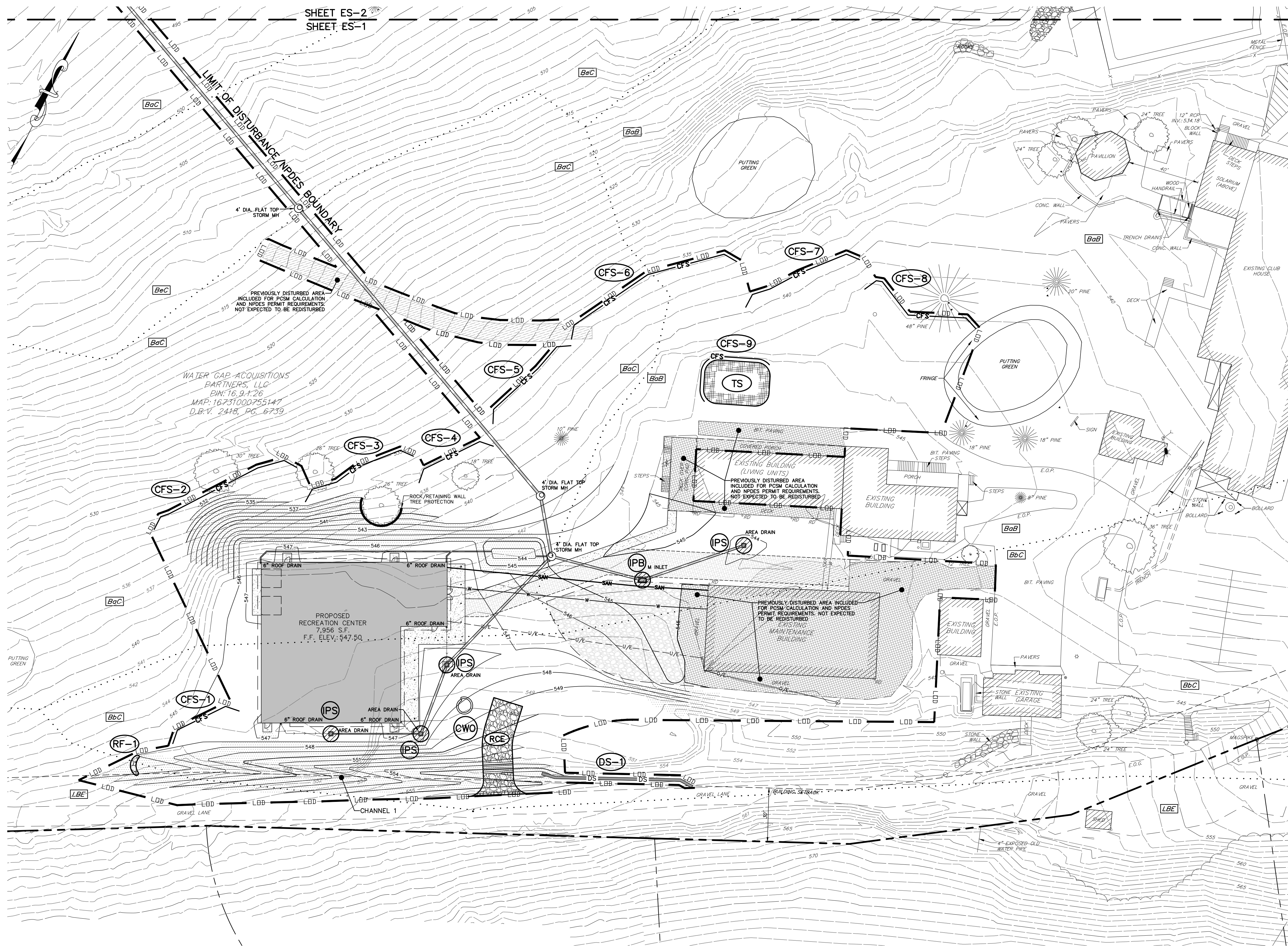
LANDSCAPING PLAN
WATER GAP WELLNESS RECREATION CENTER
WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

DATE: 8/26/2024	DSGN: TAL/CRS
SCALE: 1"=30'	CHK: CRS
DRAWN: TAL/DFG	APPRD: JPK
JOB: 1022419.004	P MGR: JPK

COPYRIGHT 2024

SHEET: 17 OF 27

LA-1



WATER GAP ACQUISITIONS
BARTNERS, LLC
PIN: 16.9.1.26
MAP: 16731000755147
D.B.V. 2418, PG. 6739

PREVIOUSLY DISTURBED AREAS

INCLUDED FOR PCSM CALCULATION AND NPDES PERMIT REQUIREMENTS, NOT EXPECTED TO BE REDISTURBED

AREA ADDED
AREA REMOVED

SOIL CLASSIFICATIONS

BaB BATH CHANNERY SILT LOAM - HSG C
3 TO 8 PERCENT SLOPES
BaC BATH CHANNERY SILT LOAM - HSG C
8 TO 15 PERCENT SLOPES
BbB BATH CHANNERY SILT LOAM - HSG C
0 TO 8 PERCENT SLOPES, EXTREMELY STONY
BbC BATH CHANNERY SILT LOAM - HSG C
8 TO 25 PERCENT SLOPES, EXTREMELY STONY
BcC BENSON-ROCK OUTCROP COMPLEX - HSG D
8 TO 25 PERCENT SLOPES
CnB CHIPPEWA AND NORWICH SOIL - HSG D
0 TO 8 PERCENT SLOPES, EXTREMELY STONY
LbE LACKAWANNA AND BATH SOILS - HSG D
STEEP, RUBBLY
MbB MARDIN VERY STONY SILT LOAM - HSG D
0 TO 8 PERCENT SLOPES

ANY EXCESS OR UNSUITABLE MATERIAL SHALL BE TAKEN OFFSITE TO A LOCATION WITH AN APPROVED AND VALID NPDES PERMIT AND EROSION & SEDIMENTATION CONTROL PLAN. IMPORTED FILL SHALL ONLY BE RECEIVED FROM A LOCATION WITH AN APPROVED AND VALID NPDES PERMIT AND EROSION & SEDIMENTATION CONTROL PLAN. CONTRACTOR IS RESPONSIBLE FOR INSURING THAT THE SITE OF ALL IMPORT/EXPORT HAS AN APPROVED AND VALID NPDES PERMIT AND EROSION & SEDIMENTATION CONTROL PLAN. ANY EXCESS MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL AND MUST BE MANAGED IN ACCORDANCE WITH DEP MUNICIPAL OR RESIDUAL USAGE REGULATIONS. REFERENCE THE CLEAN FILL NOTES ON THE EROSION AND SEDIMENT CONTROL DETAIL SHEET FOR ADDITIONAL INFORMATION.

LIMIT OF DISTURBANCE: 3.15 ACRES

NPDES BOUNDARY: 3.15 ACRES

RECEIVING WATERS
UNT TO CHERRY CREEK - CWF, MF
IMPAIRED FOR PATHOGENS

STABILIZE ALL DISTURBED SLOPES 3:1
OR STEEPER AND ALL DISTURBED AREAS
WITHIN 50' OF A WATERCOURSE WITH
NAG S75 MATTING OR EQUIVALENT

TOPSOIL SHALL BE PLACED ACROSS
THE LAWN AND LANDSCAPE AREAS AT
A MINIMUM THICKNESS OF 6 INCHES

REFER TO SHEETS ESD-1 & ESD-2
FOR EROSION & SEDIMENT CONTROL
NOTES & DETAILS

PROPERTY BOUNDARY
LOT LINE
BUILDING SETBACK
LEGAL RIGHT-OF-WAY
EASEMENT
BUILDING
CONCRETE
GRAVEL
EMERGENCY ACCESS DRIVE
SOIL BOUNDARY
UTILITY POLE
OVERHEAD ELECTRIC
WATER MAIN & VALVE
SANITARY LINE, MANHOLE,
& CLEANOUT

EXISTING
PROPOSED

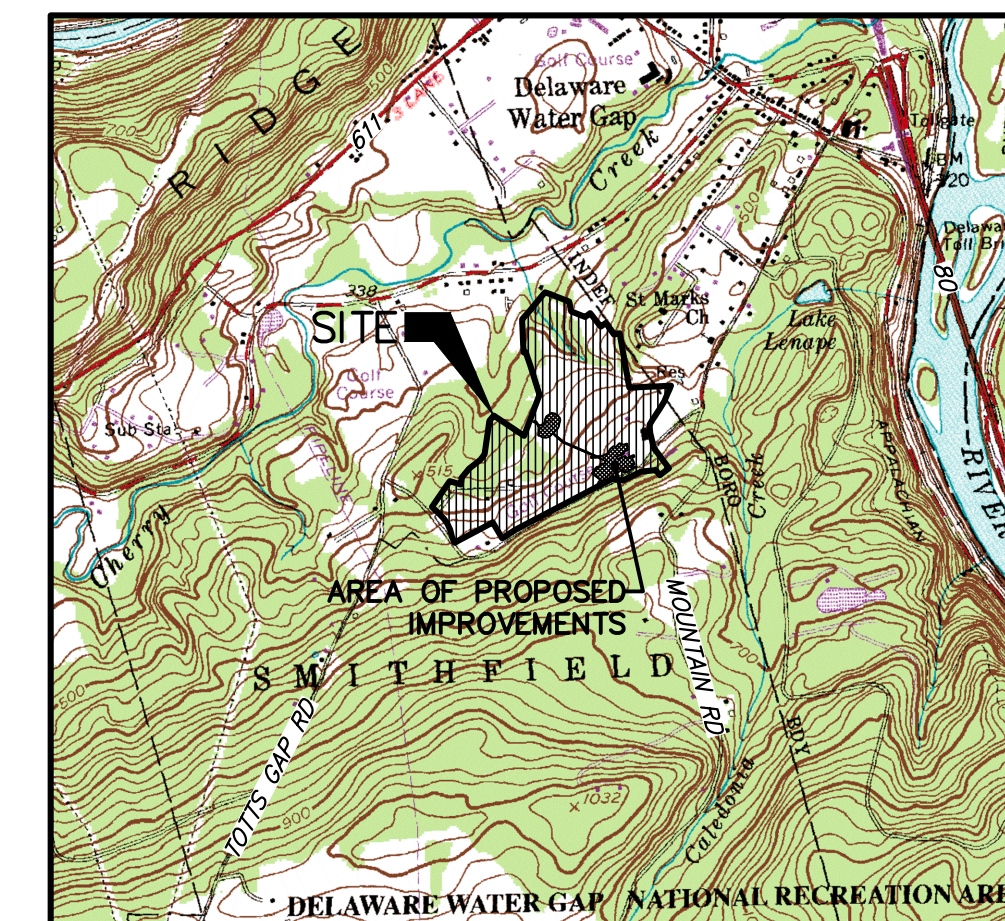
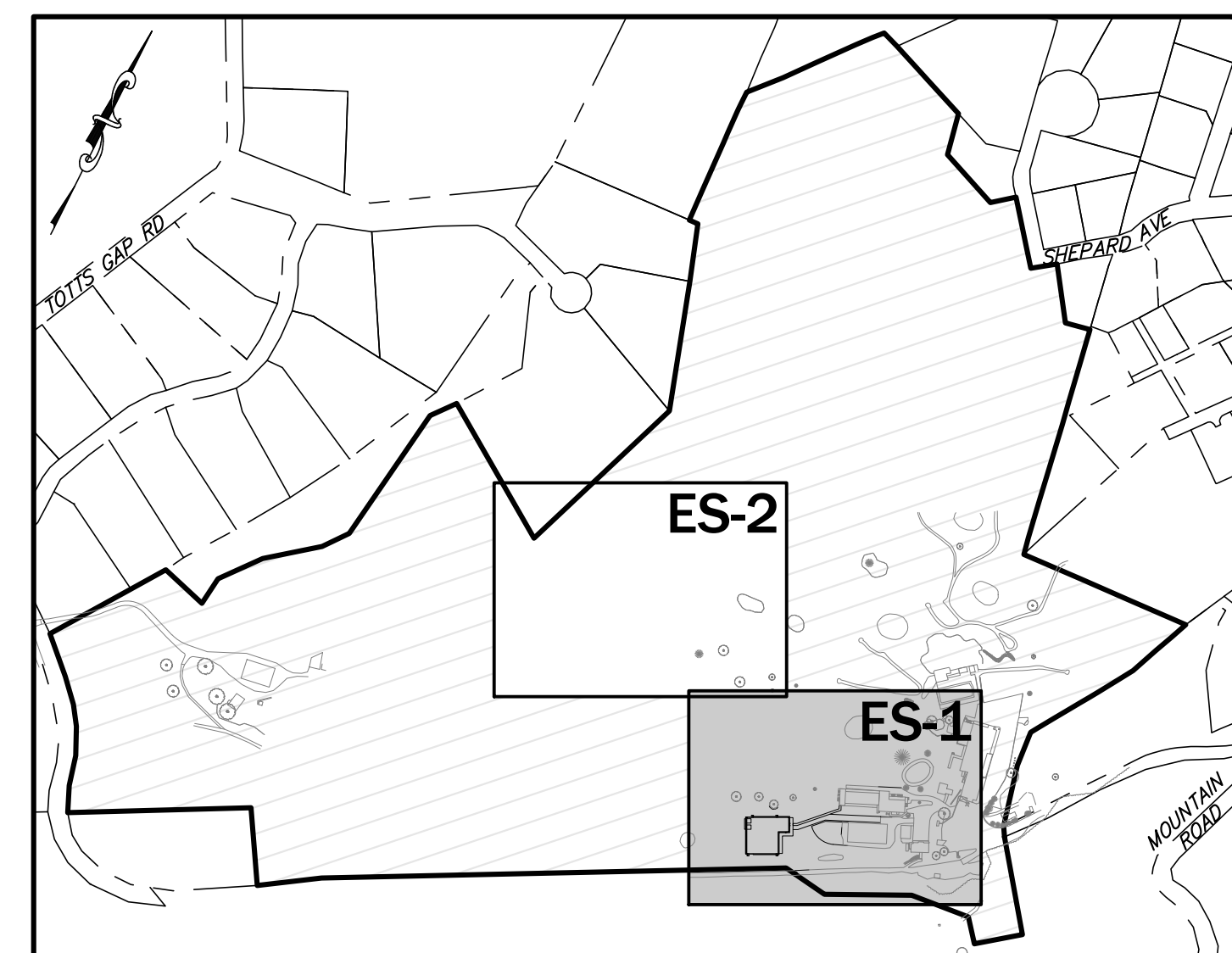
LEGEND

STORM LINE, MANHOLE, & INLET
DECIDUOUS TREE
EVERGREEN TREE
TREE ROW
CONTOUR
SPOT ELEVATION
STREAM
WETLANDS
EDGE OF PAVEMENT
EDGE OF GRAVEL
BITUMINOUS
FINISHED FLOOR
DOOR SILL

EROSION & SEDIMENT CONTROL MEASURES LEGEND

(SEE E&S DOCUMENT FOR DESCRIPTIONS AND USES)

COMPOST FILTER SOCK **CFS-#**
ORANGE CONSTRUCTION FENCE
RIP-RAP OUTLET PROTECTION
INLET PROTECTION-STONE BERM
INLET PROTECTION-FILTER BAG
ROCK FILTER
CONCRETE WASHOUT
ROCK CONSTRUCTION ENTRANCE WITH WASH RACK
TOPSOIL STOCKPILE
DIVERSION SOCK
LIMIT OF DISTURBANCE & NPDES BOUNDARY
NAG S75 EROSION CONTROL MATTING



USGS: STROUDSBURG QUADRANGLE
SCALE: 1"=2000'

EROSION & SEDIMENT CONTROL PLAN

WATER GAP WELLNESS RECREATION CENTER

WATER GAP ACQUISITIONS PARTNERS, LLC

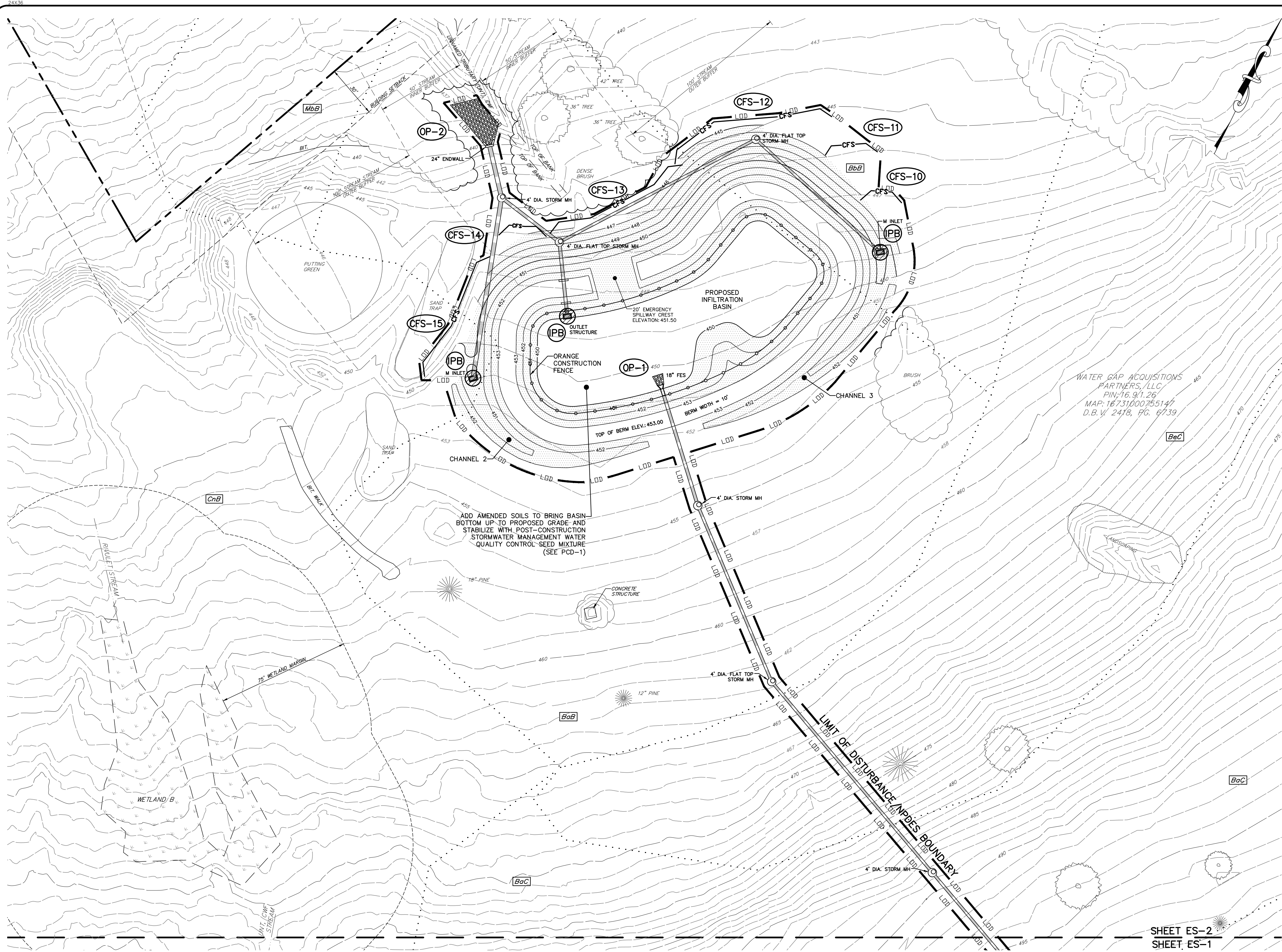
SMITHFIELD TOWNSHIP

MONROE COUNTY, PA

DATE: 8/28/2024
SCALE: 1"=30'
DRAWN: TAL/DFG
JOB: 1022419.004
COPYRIGHT 2024
SHEET: 19 OF 27

DSGN: TAL/CRS
CHK: CRS
APPRD: JPK
P MGR: JPK

ES-1



SHEET ES-2
SHEET ES-1

SOIL CLASSIFICATIONS	
BaB	BATH CHANNERY SILT LOAM - HSG C 3 TO 8 PERCENT SLOPES
BaC	BATH CHANNERY SILT LOAM - HSG C 8 TO 15 PERCENT SLOPES
BaD	BATH CHANNERY SILT LOAM - HSG C 0 TO 8 PERCENT SLOPES, EXTREMELY STONY
BaE	BATH CHANNERY SILT LOAM - HSG C 8 TO 25 PERCENT SLOPES, EXTREMELY STONY
BaF	BATH CHANNERY SILT LOAM - HSG C 8 TO 25 PERCENT SLOPES, EXTREMELY STONY
BaG	BATH CHANNERY SILT LOAM - HSG C 8 TO 25 PERCENT SLOPES, EXTREMELY STONY
BaH	BATH CHANNERY SILT LOAM - HSG C 8 TO 25 PERCENT SLOPES, EXTREMELY STONY
BaI	BATH CHANNERY SILT LOAM - HSG C 8 TO 25 PERCENT SLOPES, EXTREMELY STONY
BaJ	BATH CHANNERY SILT LOAM - HSG C 8 TO 25 PERCENT SLOPES, EXTREMELY STONY
BaK	BATH CHANNERY SILT LOAM - HSG C 8 TO 25 PERCENT SLOPES, EXTREMELY STONY
BaL	BATH CHANNERY SILT LOAM - HSG C 8 TO 25 PERCENT SLOPES, EXTREMELY STONY
BaM	BATH CHANNERY SILT LOAM - HSG C 8 TO 25 PERCENT SLOPES, EXTREMELY STONY
BaN	BATH CHANNERY SILT LOAM - HSG C 8 TO 25 PERCENT SLOPES, EXTREMELY STONY
BaO	BATH CHANNERY SILT LOAM - HSG C 8 TO 25 PERCENT SLOPES, EXTREMELY STONY
BaP	BATH CHANNERY SILT LOAM - HSG C 8 TO 25 PERCENT SLOPES, EXTREMELY STONY
BaQ	BATH CHANNERY SILT LOAM - HSG C 8 TO 25 PERCENT SLOPES, EXTREMELY STONY
BaR	BATH CHANNERY SILT LOAM - HSG C 8 TO 25 PERCENT SLOPES, EXTREMELY STONY
BaS	BATH CHANNERY SILT LOAM - HSG C 8 TO 25 PERCENT SLOPES, EXTREMELY STONY
BaT	BATH CHANNERY SILT LOAM - HSG C 8 TO 25 PERCENT SLOPES, EXTREMELY STONY
BaU	BATH CHANNERY SILT LOAM - HSG C 8 TO 25 PERCENT SLOPES, EXTREMELY STONY
BaV	BATH CHANNERY SILT LOAM - HSG C 8 TO 25 PERCENT SLOPES, EXTREMELY STONY
BaW	BATH CHANNERY SILT LOAM - HSG C 8 TO 25 PERCENT SLOPES, EXTREMELY STONY
BaX	BATH CHANNERY SILT LOAM - HSG C 8 TO 25 PERCENT SLOPES, EXTREMELY STONY
BaY	BATH CHANNERY SILT LOAM - HSG C 8 TO 25 PERCENT SLOPES, EXTREMELY STONY
BaZ	BATH CHANNERY SILT LOAM - HSG C 8 TO 25 PERCENT SLOPES, EXTREMELY STONY

ANY EXCESS OR UNSUITABLE MATERIAL SHALL BE TAKEN OFFSITE TO A LOCATION WITH AN APPROVED AND VALID NPDES PERMIT AND EROSION & SEDIMENTATION CONTROL PLAN. IMPORTED FILL SHALL ONLY BE RECEIVED FROM A LOCATION WITH AN APPROVED AND VALID NPDES PERMIT AND EROSION & SEDIMENTATION CONTROL PLAN. CONTRACTOR IS RESPONSIBLE FOR INSURING THAT THE SITE OF ALL IMPORT/EXPORT HAS AN APPROVED AND VALID NPDES PERMIT AND EROSION & SEDIMENTATION CONTROL PLAN. ANY EXCESS MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL AND MUST BE MANAGED IN ACCORDANCE WITH DEP MUNICIPAL OR RESIDUAL USAGE REGULATIONS. REFERENCE THE CLEAN FILL NOTES ON THE EROSION AND SEDIMENT CONTROL DETAIL SHEET FOR ADDITIONAL INFORMATION.

LIMIT OF DISTURBANCE: 3.15 ACRES

NPDES BOUNDARY: 3.15 ACRES

RECEIVING WATERS
UNT TO CHERRY CREEK - CWF, MF
IMPAIRED FOR PATHOGENS

STABILIZE ALL DISTURBED SLOPES 3:1
OR STEEPER AND ALL DISTURBED AREAS
WITHIN 50' OF A WATERCOURSE WITH
NAG S75 MATTING OR EQUIVALENT

TOPSOIL SHALL BE PLACED ACROSS
THE LAWN AND LANDSCAPE AREAS AT
A MINIMUM THICKNESS OF 6 INCHES

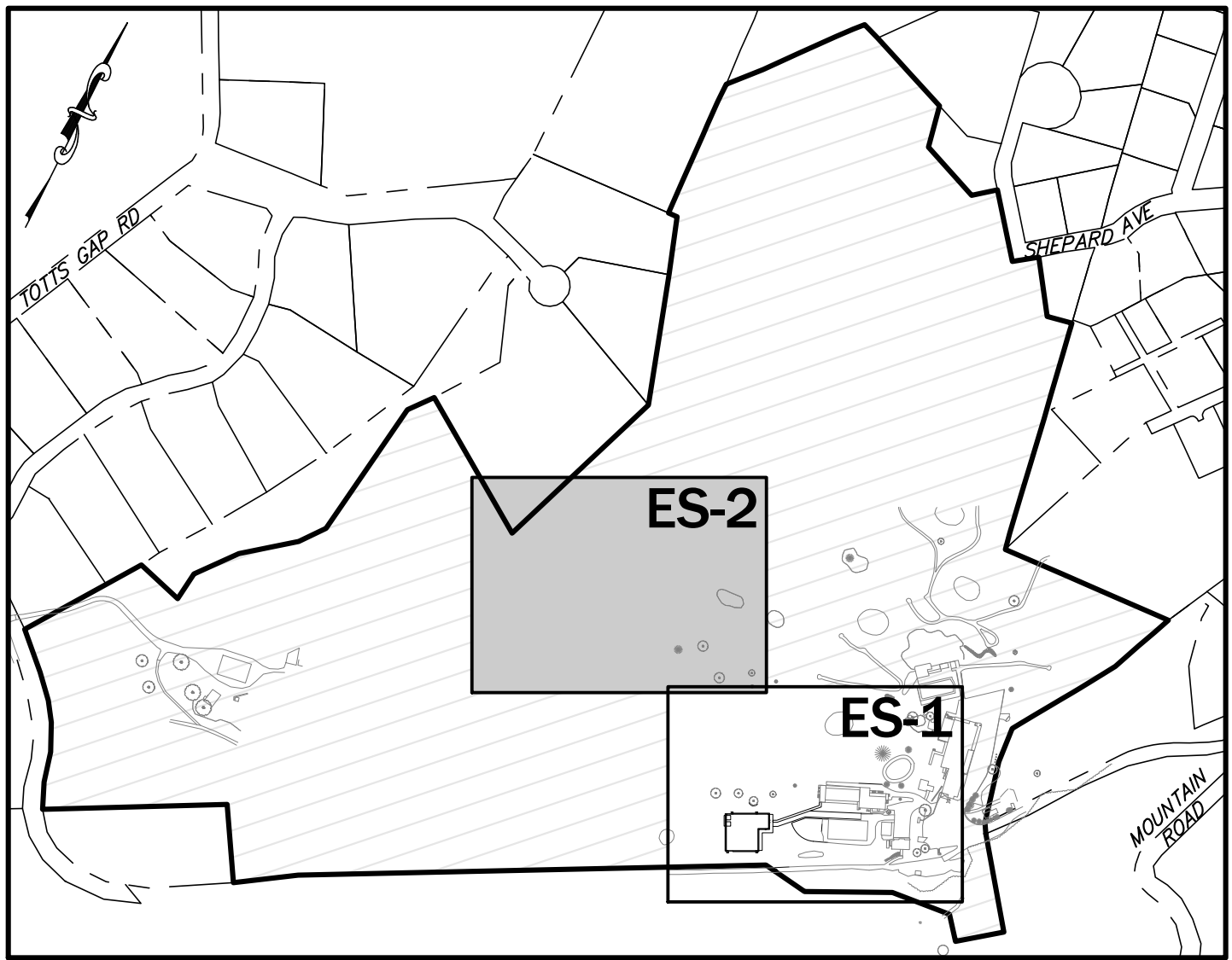
REFER TO SHEETS ESD-1 & ESD-2
FOR EROSION & SEDIMENT CONTOL
NOTES & DETAILS

EXISTING	PROPOSED
PROPERTY BOUNDARY	
LOT LINE	
BUILDING SETBACK	
LEGAL RIGHT-OF-WAY	
EASEMENT	
BUILDING	
CONCRETE	
GRAVEL	
EMERGENCY ACCESS DRIVE	
SOIL BOUNDARY	
UTILITY POLE	
OVERHEAD ELECTRIC	
WATER MAIN & VALVE	
SANITARY LINE, MANHOLE, & CLEANOUT	

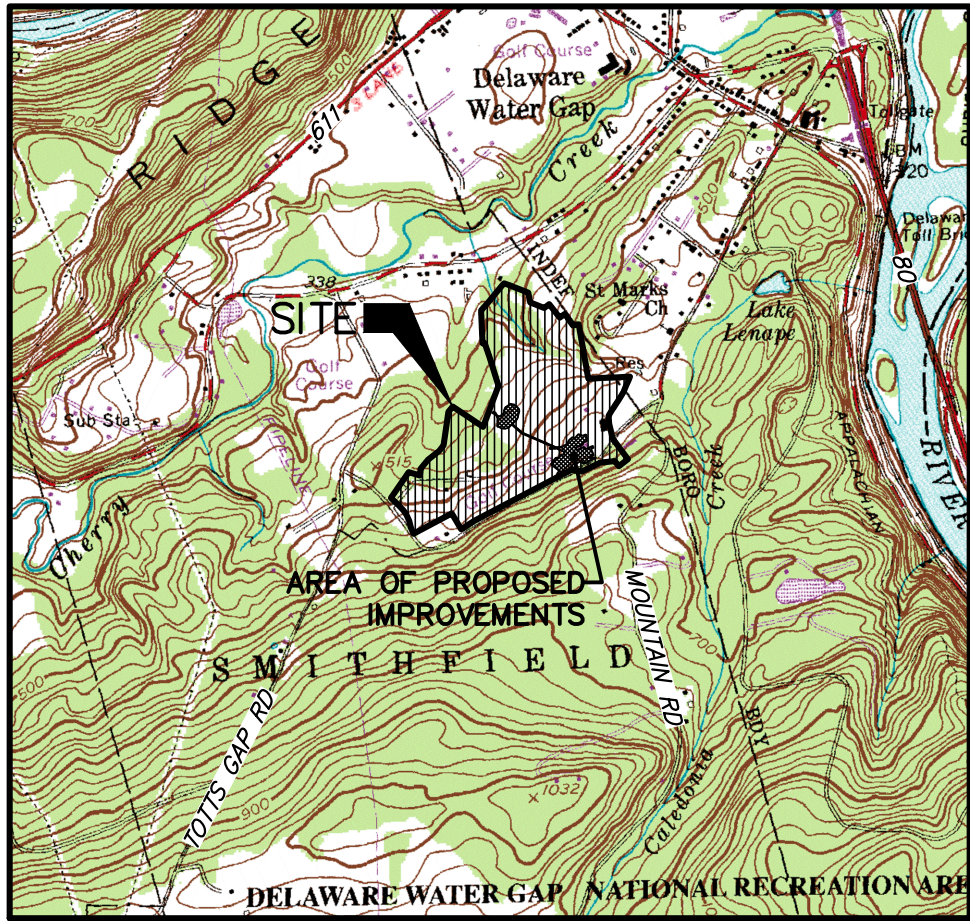
EXISTING	PROPOSED
STORM LINE, MANHOLE, & INLET	
DECIDUOUS TREE	
EVERGREEN TREE	
TREE ROW	
CONTOUR	
SPOT ELEVATION	
STREAM	
WETLANDS	
EDGE OF PAVEMENT	
EDGE OF GRAVEL	
BITUMINOUS	
TYPICAL	
FINISHED FLOOR	
DOOR SILL	

NOTE:
VERTICAL TEXT INDICATES PROPOSED FEATURES
SLANTED TEXT INDICATES EXISTING FEATURES

0 30' 60' 90'
SCALE: 1"=30'



KEY MAP
SCALE: 1"=400'



LOCATION MAP
USGS: STROUDSBURG QUADRANGLE
SCALE: 1"=2000'

EROSION & SEDIMENT CONTROL MEASURES LEGEND (SEE E&S DOCUMENT FOR DESCRIPTIONS AND USES)

COMPOST FILTER SOCK	CFS-1	CFS
ORANGE CONSTRUCTION FENCE	OP-1	
RIP-RAP OUTLET PROTECTION	IPS	
INLET PROTECTION-STONE BERM	IPB	
INLET PROTECTION-FILTER BAG	RF-1	
ROCK FILTER	CWO	
CONCRETE WASHOUT	RCE	
ROCK CONSTRUCTION ENTRANCE WITH WASH RACK	TS	
TOPSOIL STOCKPILE	DS-1	
DIVERSION SOXX	DS	
LIMIT OF DISTURBANCE & NPDES BOUNDARY	LDD	
NAG S75 EROSION CONTROL MATTING		

LEGEND

811
Know what's below.
Call before you dig.
SITE SERIAL #20240651009

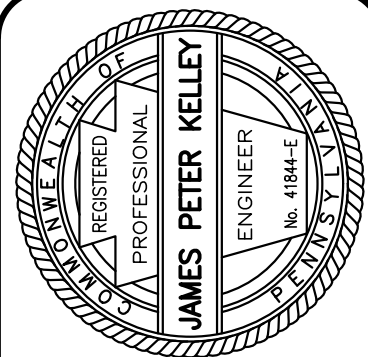
EROSION & SEDIMENT CONTROL PLAN
WATER GAP WELLNESS RECREATION CENTER
WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

DATE:	8/26/2024	DSGN:	TAL/CRS
SCALE:	1"=30'	CHK:	CRS
DRAWN:	TAL/DFG	APPRD:	JKP
JOB:	1022419.004	P MGR:	JKP

COPYRIGHT 2024
SHEET: 20 OF 27

ES-2

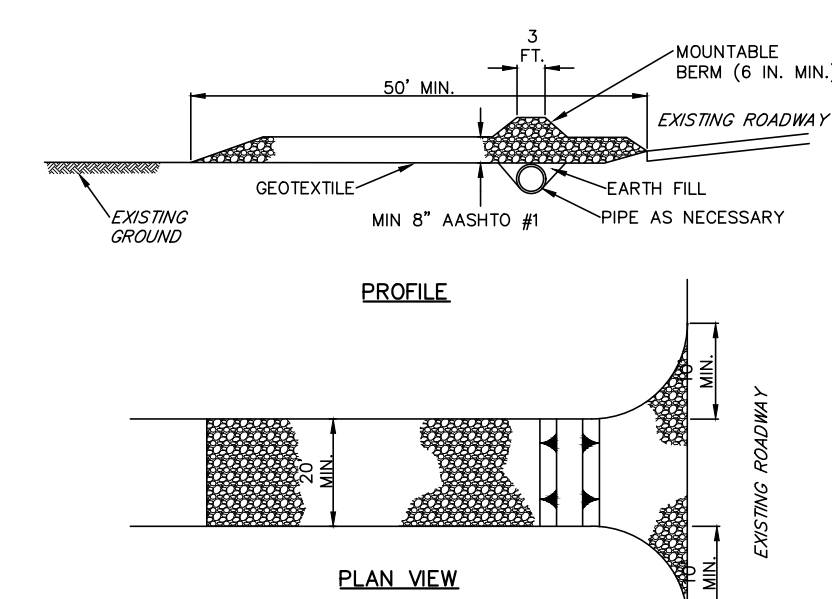
BY:	TAL
DATE:	11/25/24
REVISIONS:	1. TOWNSHIP COMMENTS 2. MCD COMMENTS 3. TOWNSHIP COMMENTS



272.200.2050
baryisett.com
525 Main Street, Suite 200
Stroudsburg, PA 18360

**BARRY
ISETT &
Associates**
MULTIDISCIPLINARY ENGINEERS AND CONSULTANTS

FILENAME: C:\Users\jpetkel\OneDrive\Work\Projects\1022419_004_WW_Accessory_Bldgs_LDP\Project_Files\1022419_004-11_E&S_Plan.dwg - March 28, 2025 11:27 AM



NOTES:

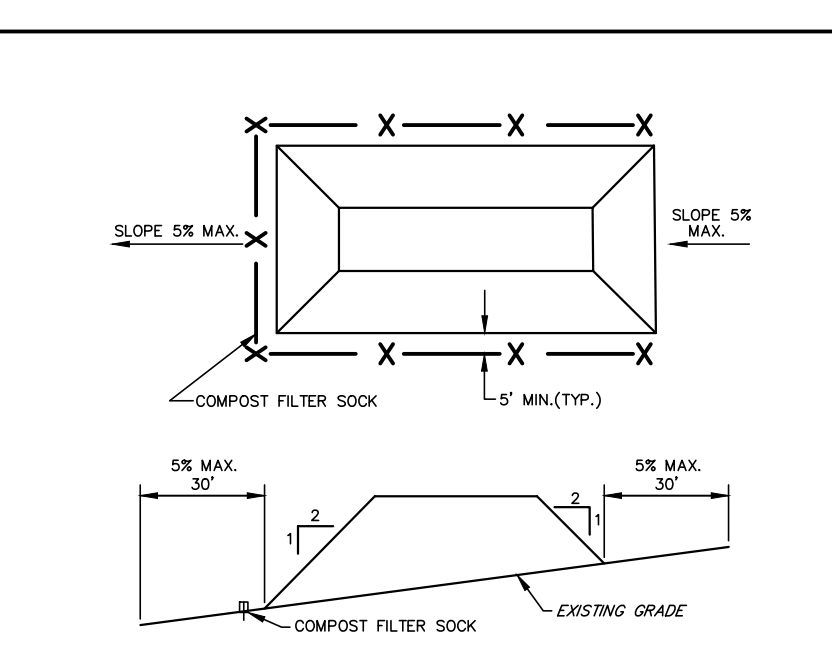
REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.

RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.

MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND COVER PIPE COVER NOT SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

STANDARD CONSTRUCTION DETAIL #3-1 ROCK CONSTRUCTION ENTRANCE



NOTES:

1. PLACE STOCKPILES AT LOCATIONS SHOWN ON PLAN.

2. STOCKPILE TO BE IMMEDIATELY SEEDED WITH A TEMPORARY SEED MIXTURE.

3. SIDE SLOPES SHALL NOT EXCEED 1" VERTICAL TO 2" HORIZONTAL.

4. 4 INCH MIN TOPSOIL STOCKPILE HEIGHT TO 20 INCHES.

TOPSOIL STOCKPILE

SEEDING SCHEDULE

SPECIFICATION: THE FOLLOWING SPECIFICATION SHALL BE USED FOR THIS PROJECT UNLESS OTHERWISE NOTED. Penn State College of Agriculture Sciences, EROSION CONTROL, AND CONSERVATION PLANTINGS ON NONCROPLAND by Peter Landschoot, 1997 or as revised.

PRIOR TO STARTING EARTH DISTURBANCE, CONTRACTOR SHALL SAMPLE THE SITE TOPSOIL AND OBTAIN A SOIL TEST FROM A REPUTABLE LABORATORY. AT A MINIMUM, THE TEST SHALL INCLUDE SOIL pH, COMPOSITION, AND % ORGANICS. BEFORE PLACING TOPSOIL, PREPARE SUBGRADE TO A DEPTH 6" BELOW FINAL GRADE. SCARIFY SUBGRADE WITH DEEP TIE PLOW, SCREEN TOPSOIL, AND UNIFORM BLENDED IN 20-25% BY VOLUME LEAF MULD OR PROCESSED MUSHROOM SUBSTRATE. SPREAD AMENDED/SCREENED TOPSOIL OVER SUBGRADE TO OBTAIN FINISHED GRADE. COMPACT SURFACE TO 80-85% COMPACTION. DO NOT OVER COMPACT.

TEMPORARY COVER FOR EROSION CONTROL

INITIAL PROTECTION: APPLY TEMPORARY SEEDING WHEN PERMANENT SEEDING IS DELAYED OR OUT OF PLANTING SEASON.

SITE PREPARATION: INCORPORATE LIME AND FERTILIZER (RATE BASED ON SOIL TEST) INTO THE TOP 4-6" OF TOPSOIL. IF SOIL TESTS ARE NOT AVAILABLE, APPLY ONE TON PER ACRE OF AGRICULTURAL LIMESTONE AND 10-10 TO 10 FERTILIZER AT 500 LB PER ACRE.

METHOD: APPLY SEED USING SURFACE BROADCASTING OR HYDROSEEDING.

SEASON	SPECIES	RATE (LB./ACRE)
SPRING (MARCH 15 TO JUNE 15)	ANNUAL RYEGRASS or SPRING OATS	40 96
SUMMER (JUNE 16 TO AUGUST 15)	ANNUAL RYEGRASS	40
FALL (AUGUST 16 TO NOVEMBER 1)	ANNUAL RYEGRASS or WINTER RYE	40 168

MULCHING: APPLY THREE TONS PER ACRE OF STRAW TO ACHIEVE A LOOSE LAYER 3/4"-1" DEEP. USE JUTE MATTING RATHER THAN STRAW ON STEEP SLOPES. APPLY CELLULOSE FIBER TACKLER OVER STRAW MULCH AT A RATE OF 800-1000 LBS. PER ACRE. HYDROMULCHING IS ACCEPTABLE WHEN BLOWING OF STRAW IS A CONCERN.

PERMANENT COVER FOR STABILIZATION

PERMANENT: ALL DISTURBED AREAS TO BE PREPARED AND SEEDED WITH THE FOLLOWING SPECIES AT THE NOTED SEEDING RATE FOLLOWING FINAL GRADING:

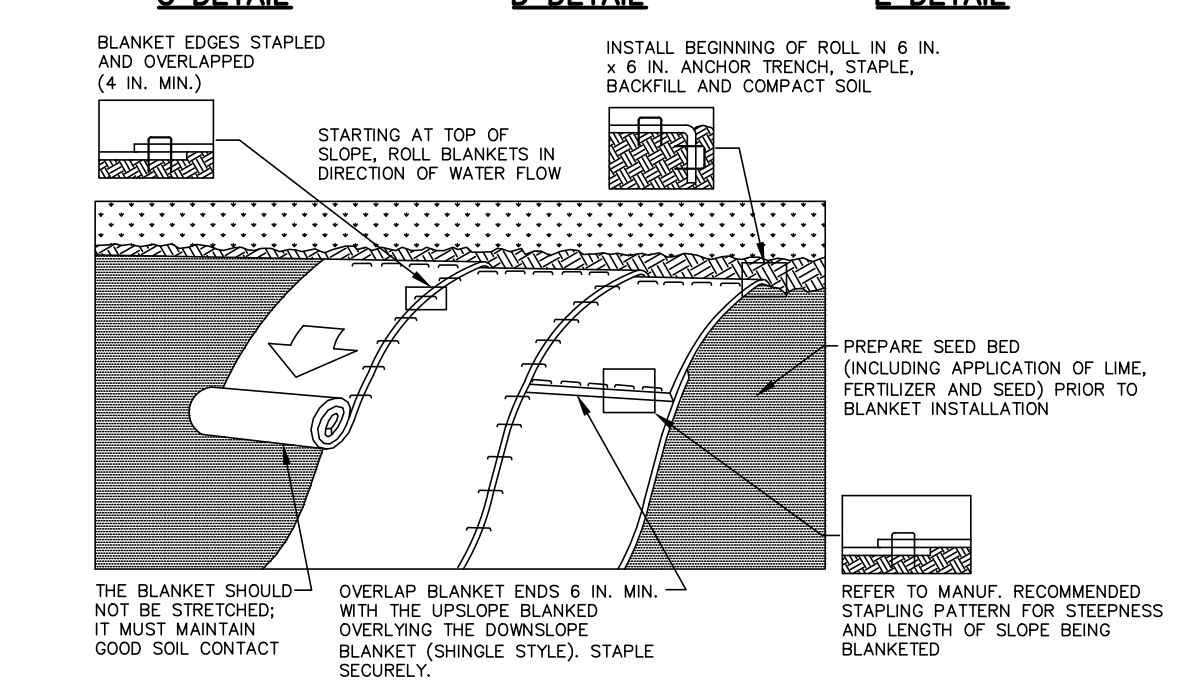
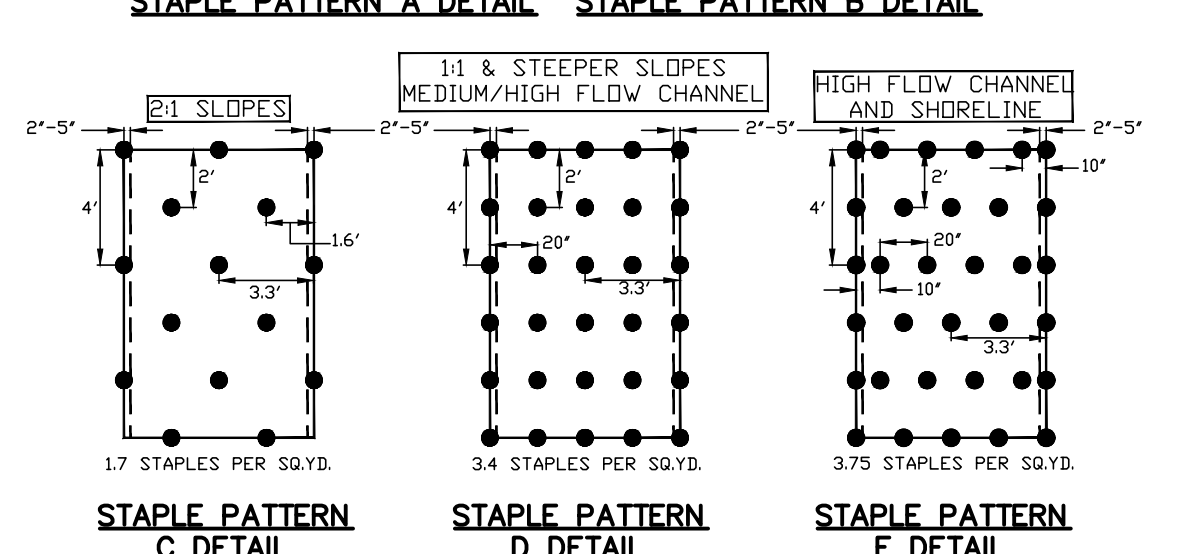
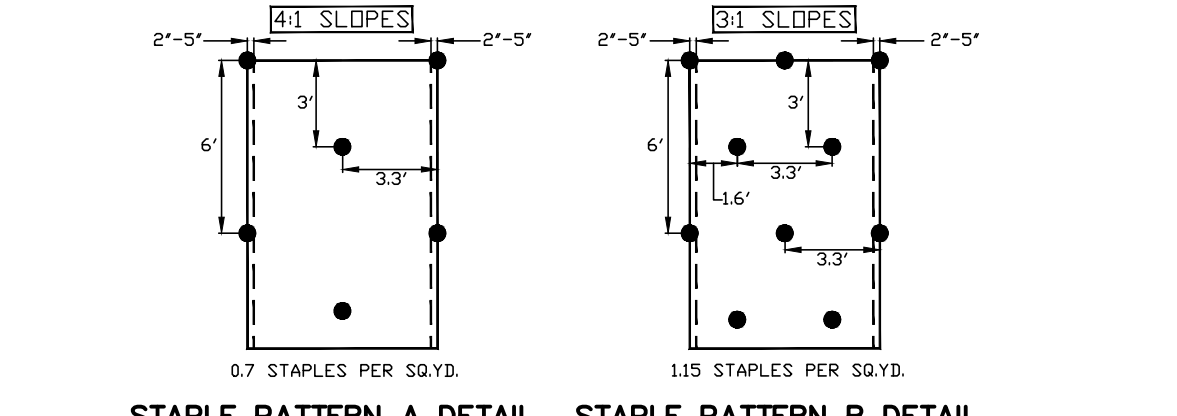
SEEDING DATES: MARCH 15 - MAY 15
AUGUST 15 - OCTOBER 15

SITE PREPARATION: INCORPORATE LIME AND FERTILIZER (RATE BASED ON SOIL TEST) INTO THE TOP 6" OF TOPSOIL. IF SOIL TESTS ARE NOT AVAILABLE, APPLY SIX TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 10-20 TO 20 FERTILIZER AT 1,000 LB PER ACRE.

MULCHING: APPLY THREE TONS PER ACRE OF STRAW TO ACHIEVE A LOOSE LAYER 3/4"-1" DEEP. USE JUTE MATTING RATHER THAN STRAW ON STEEP SLOPES. APPLY CELLULOSE FIBER TACKLER OVER STRAW MULCH AT A RATE OF 800-1000 LBS. PER ACRE. HYDROMULCHING IS ACCEPTABLE WHEN BLOWING OF STRAW IS A CONCERN.

METHOD: APPLY SEED USING DRILL FITTED WITH A DEPTH BAND AND PACKER WHEEL. PLANT GRASS SEEDS AT 0.2 TO 0.5 INCHES DEEP. WHEAT, RYE, AND OATS MAY BE PLANTED AT 1 TO 1.5 INCHES DEEP. BROADCAST SEEDING PERMITTED WITH IMMEDIATE MULCH COVER. HYDROSEEDING OF PERMANENT SEEDING IS NOT PERMITTED.

SEED SPECIES BY SITE	RATE (LB./1,000 SQ. FT.)
LAWNS	
KENTUCKY BLUEGRASS (POA PRATENSIS) and TURF-TYPE PERENNIAL RYEGRASS (LOLIUM PERENNE) and FINE (RED or CHEWING) FESCUE (FESTUCA RUBRA RUBRA/COMMUTATA)	4 1.5
SLOPES AND BANKS	
CHEWINGS FESCUE (FESTUCA RUBRA COMMUTATA) and BLUE FESCUE (FESTUCA RUBRA ALBA) and HARD FESCUE (FESTUCA RUBRA DURICOLLA) and CREEPING RED FESCUE (FESTUCA RUBRA RUBRA) and SLIPPER FESCUE (FESTUCA RUBRA TROCHILLOIDES) and DAWSON RED FESCUE (FESTUCA RUBRA DAWSON) and ANNUAL RYEGRASS (FESTUCA MULTIFLORUM)	2 2 2 1 0.5
DRAINAGE DITCHES, DETENTION BASIN (MOWED)	
ANNUAL RYEGRASS and REDTOP (AGROSTIS ALBA) and TALL FESCUE (FESTUCA ARUNDINACEA) and SWITCHGRASS (PANICUM VIRGATUM)	2 0.5 2
* ALL SEED TO BE MIN. 98% PURE LIVE SEED.	
UNDESIRABLE SPECIES	
FINE FESCUE - RELIANT II, SR3100, DISCOVERY, OSPREY TALL FESCUE - VIKING, VIKING II, VIKING III, VIKING IV WINTER RYE - ARKOSTOCK OR BALBO TYPE KENTUCKY BLUEGRASS - SR 2105, NORTH STAR, BLACKSBURG, BRILLIANT	- - - -



NOTES:

ALL EROSION CONTROL BLANKETS SHALL BE NORTH AMERICAN GREEN PHOTODEGRADABLE BLANKET S75 UNLESS OTHERWISE NOTED FOR SPILLWAYS OR BERM STABILIZATION.

SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.

PROVIDE ANCHOR TRENCH AT TIDE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.

SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.

BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.

THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

MODIFIED CONSTRUCTION DETAIL #11-1 EROSION CONTROL BLANKET INSTALLATION

N.T.S.

PLAN PREPARER CONTACT INFORMATION

JAMES P. KELLEY, P.E.
BARRY ISETT & ASSOCIATES, INC.
1444 E. LACKAWANNA AVE., SUITE 214
OLYPHANT, PA 18447
PHONE: (570) 285-8183
EMAIL: JKELLEY@BARRYISETT.COM

PLANNING AND DESIGN

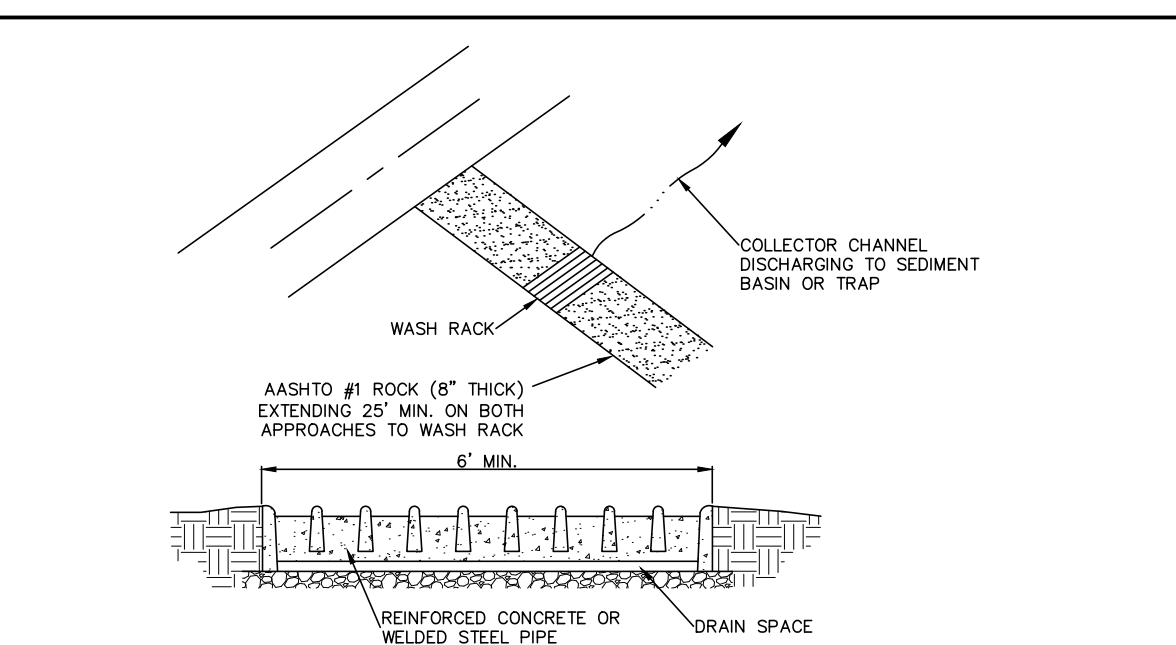
THE EARTH CONSTRUCTION ACTIVITIES, PROPOSED BY THIS PLAN, HAVE BEEN PLANNED AND IMPLEMENTED TO THE MAXIMUM EXTENT PRACTICABLE, IN ACCORDANCE WITH THE FOLLOWING:

1. MINIMIZE THE EXTENT AND DURATION OF THE EARTH DISTURBANCE.
2. MAXIMIZE PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION.
3. MINIMIZE SOIL COMPACTION.
4. UTILIZE OTHER MEASURES OR CONTROLS THAT PREVENT OR MINIMIZE THE GENERATION OF INCREASED STORMWATER RUNOFF.

FLOODPLAIN MAPPING

THE PROJECT AREA WAS REVIEWED USING THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) NATIONAL FLOOD HAZARD LAYER (NFHL). THE NFHL IS A COMPILATION OF GIS DATA THAT COMPRISES A NATIONWIDE DIGITAL FLOOD INSURANCE RATE MAP. THE GIS DATA AND SERVICES ARE DESIGNED TO PROVIDE THE USER WITH THE ABILITY TO DETERMINE THE FLOOD ZONE, BASE FLOOD ELEVATION, AND FLOODWAY STATUS FOR A PARTICULAR LOCATION.

THE PROJECT AREA IS 42089C0432E, HAVING AN EFFECTIVE DATE OF 05/2/2013.



NOTES:

WASH RACK SHALL BE 20 FEET (MIN.) WIDE OR TOTAL WIDTH OF ACCESS.

WASH RACK SHALL BE DESIGNED AND CONSTRUCTED TO ACCOMMODATE ANTICIPATED CONSTRUCTION VEHICULAR TRAFFIC.

A WATER SUPPLY SHALL BE MADE AVAILABLE TO WASH THE WHEELS OF ALL VEHICLES EXITING THE SITE.

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE OF ROCK MATERIAL SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. DRAIN SPACES UNDER WASH RACK SHALL BE KEPT OPEN AT ALL TIMES. DAMAGE TO THE WASH RACK SHALL BE REPAIRED PRIOR TO FURTHER USE OF THE RACK. ALL SEDIMENT DEPOSITED ON ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

STANDARD CONSTRUCTION DETAIL #3-2 ROCK CONSTRUCTION ACCESS WITH WASH RACK

NOT TO SCALE

SOILS RESOURCES

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
BaB	Bath channery silt loam, 3 to 8 percent slopes	9.4	11.6%
BaC	Bath channery silt loam, 8 to 15 percent slopes	20.9	25.6%
BaD	Bath channery silt loam, 15 to 25 percent slopes	3.2	3.9%
BbB	Bath channery silt loam, 0 to 8 percent slopes, extremely stony	2.5	3.0%
BbC	Bath channery silt loam, 8 to 25 percent slopes, extremely stony	2.7	3.3%
BcC	Benson-Rock outcrop complex, 8 to 25 percent slopes	14.6	17.8%
BeF	Benson-Rock outcrop complex, 25 to 70 percent slopes	1.6	2.0%
CnB	Chippewa and Norwich soils, 0 to 8 percent slopes, extremely stony	12.4	15.1%
LBE	Lackawanna and Bath soils, steep, rubby	4.8	5.9%
MbB	Mardin very stony silt loam, 0 to 8 percent slopes	6.4	7.9%
ReA	Rexford gravelly silt loam, 0 to 3 percent slopes	3.2	3.9%
Totals for Area of Interest		81.7	100.0%

SOILS LIMITATIONS & RESOLUTIONS SHEET

CHARACTERISTICS	LIMITATIONS	RESOLUTIONS	COMMENTS
HYDRIC	WETLANDS	DELINEATE WETLANDS PROTECT WETLANDS OBTAIN PERMITS REVISE DESIGN - RELOCATE	SEE SOIL EROSION PLAN SHEET COPIES OF PERMITS NOT ALWAYS POSSIBLE
DEPTH TO BEDROCK	POOR	NO DISTURBANCE UNLESS ALLOWED BY DEP. PERMITS RESERVOR AREAS DIVERSIONS WATERWAYS TERRACES UTILITIES BUILDING SITES VEGETATIVE STABILIZATION EMBANKMENTS HIGH ACIDITY LOW FERTILITY EXCESSIVE UNIFORMITY EXCESSIVE WEEDNESS	SEE SEEDING WORKSHEETS AND DETAIL SHEET NOTES
TOPSOIL	POOR	NO JUST SOILS IMPLMENTS AS NOTED	SEE SEEDING WORKSHEETS AND DETAIL SHEET NOTES
WET	HIGH WATER TABLE	SELECT FILL MATERIAL FROM OTHER AREA OF SITE SELECT APPROPRIATE PLANT MIXTURE PROVIDE PUMPED WATER SEDIMENT REMOVAL FACILITY DRAINAGE CHANNELS - UNDERPASS IMPORT BORROW MATERIAL FROM OFFSITE	SEE SEEDING WORKSHEETS AND DETAIL SHEET NOTES
WINTER GRADING FROST ACTION	POOR COMPACTION	LIMIT DATES OF EARTH MOVING SELECT FILL MATERIAL FROM OTHER AREA OF SITE IMPORT BORROW MATERIAL FROM OFFSITE	SEE CONSTRUCTION SCHEDULE

CONSTRUCTION SCHEDULE

ANTICIPATED START OF CONSTRUCTION: START DATE: MARCH 2025
ANTICIPATED END OF CONSTRUCTION: END DATE: AUGUST 2025

AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE MONROE COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.

AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED BY THE MONROE COUNTY CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION. EACH STEP OF THE SEQUENCE SHALL BE COMPLETED BEFORE PROCEEDING TO THE NEXT STEP, EXCEPT WHERE NOTED.

IMMEDIATELY STABILIZE ALL DISTURBED AREAS UPON TEMPORARY CESSATION OF WORK (4 DAYS OR LONGER) OR AS SOON AS ANY GRADED AREA REACHES FINAL GRADE.

NO AREA EXCEEDING 15,000 SQUARE FEET, WHICH IS TO BE STABILIZED BY VEGETATION, SHOULD REACH FINAL GRADE WITHOUT BEING SEEDED AND MULCHED.

ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS. ALL PUMPING OF SEDIMENT LAIDEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS.

REFER TO THE SPECIFIC BMP SEQUENCES OF CONSTRUCTION ON THE PCSM PLANS FOR THE INSTALLATION OF PCSM BMP'S ON STEPS 5 AND 6 OF THE CONSTRUCTION SEQUENCE BELOW:

1. DRY DAY WITH NO PRECIPITATION ANTICIPATED, BEGIN THE INSTALLATION OF THE PROPOSED STORM SEWER RUN FROM DEEP-19 TO MH-24 TO MH-20, AND THE BASIN OUTLET PIPE. INSTALL PROPOSED STORM SEWER RUNS FROM DOWNSTREAM TO UPSTREAM. IMMEDIATELY INSTALL INLET PROTECTION ON INSTALLED INLETS. INSTALL RIPRAP PROTECTION AT OUTLET OF STORM PIPING.
2. REMOVE SITE FEATURES DESIGNATED AS TBR. STRIP TOPSOIL AND STOCKPILE AT THE LOCATION SPECIFIED ON THE PLANS BEFORE BEGINNING EXCAVATION OR GRADING.
3. BEGIN ROUGH GRADING. INSTALL SLOPE PROTECTION MATTING ON AREAS OF STEEP SLOPES.
4. INSTALL PROPOSED ROCK/RETAINING WALL TREE PROTECTION BEFORE GRADING UPSLOPE AREAS.
5. CRITICAL STAGE: BEGIN CONSTRUCTION OF PROPOSED INFILTRATION BASIN. REFER TO PCSM PLAN SET FOR CONSTRUCTION SEQUENCE, AND FURTHER DETAILS AND INFORMATION. AT NO POINT SHALL EQUIPMENT TRAVERSE WITHIN THE ORANGE CONSTRUCTION FENCING OR OVERTOP THE PROPOSED BASIN BOTTOM.
6. CRITICAL STAGE: INSTALL AMENDED SOILS IN INFILTRATION BASIN TO BRING BOTTOM UP TO GRADE. INFILTRATION TESTING SHALL BE PERFORMED DURING AND AFTER CONSTRUCTION TO VERIFY INFILTRATION RATES OF AMENDED SOILS.
7. BEGIN INSTALLATION OF THE PROPOSED STORM SEWER RUN FROM FES-19 TO MH-10. INSTALL PROPOSED STORM SEWER RUNS FROM DOWNSTREAM TO UPSTREAM. INSTALL RIPRAP PROTECTION AT OUTLET OF STORM PIPING.
8. BEGIN INSTALLATION OF THE PROPOSED STORM SEWER RUN FROM MH-10 TO AD-12 AND FROM MH-10 TO DEPRESSION. IMMEDIATELY INSTALL INLET PROTECTION ON INSTALLED INLETS.
9. BEGIN INSTALLATION OF THE PROPOSED STORM SEWER RUN FROM MH-10 TO AD-2 AND FROM DEPRESSION TO RD-7. IMMEDIATELY INSTALL INLET PROTECTION ON INSTALLED INLETS.
10. BEGIN CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
11. INSTALL SITE LIGHTING.
12. FINAL GRADE, SPREAD TOPSOIL, RAKE, AND SEED ALL DISTURBED AREAS. TOPSOIL SHALL BE REPLACED ACROSS LAWN AREAS AT A MINIMUM THICKNESS OF 6 INCHES.
13. AFTER ALL DISTURBED AREAS ACHIEVE FINAL STABILIZATION, REMOVE ALL E&S CONTROLS. REPAIR, SEED, AND STABILIZE ANY AREAS DISTURBED DURING THE REMOVAL OF THE EROSION CONTROLS.
14. CRITICAL STAGE: FIELD VERIFY TRIBUTARY AREAS TO PCSM BMPS.
15. AFTER THE PROJECT IS COMPLETED, THE NPDES NOTICE OF TERMINATION PAPERWORK AND AS-BUILT PLANS SHALL BE COMPLETED AND SUBMITTED TO MONROE COUNTY CONSERVATION DISTRICT.

NOTES:

1. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70 PERCENT PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITIES. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINISHED GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
2. TEMPORARY EROSION CONTROL MEASURES MAY ONLY BE REMOVED AFTER APPROVAL BY THE MONROE COUNTY CONSERVATION DISTRICT. AFTER THE CONSTRUCTION AREA AND RETAINED SILT ARE STABILIZED AND AFTER LAWN AREAS ARE ESTABLISHED.

OPERATION AND MAINTENANCE PROGRAM

THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE, AND MAINTAIN ALL EROSION AND SEDIMENT POLLUTION CONTROL (E&S) BEST MANAGEMENT PRACTICES (BMPs) IDENTIFIED HEREIN. E&S BMPs SHALL BE MAINTAINED IN ACCORDANCE WITH THIS E&S PLAN AND THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL (E&S MANUAL), MARCH 2012.

E&S BMPs SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF, UNLESS OTHERWISE INDICATED. THE CONTRACTOR SHALL KEEP RECORD OF ALL INSPECTIONS USING THE VISUAL SITE INSPECTION REPORT FORM (FORM 3150-FM-BWEW0083). E&S BMPs WHICH NEED REPAIR OR REPLACEMENT, SHALL BE REMEDIATED IMMEDIATELY. DISPOSAL OF MATERIALS REMOVED FROM THE BMPs SHALL BE PERFORMED IN ACCORDANCE WITH THE RECYCLING OR DISPOSAL OF MATERIALS NOTES HEREIN.

RECYCLING OR DISPOSAL OF MATERIALS

CONSTRUCTION WASTES FROM LAND DISTURBANCE AND DEVELOPMENT SHALL BE DISPOSED OF BY THE CONTRACTOR IN AREAS SUITABLE FOR SUCH WASTES IN ACCORDANCE WITH PA DEP REGULATIONS. EXCESS SOIL/ROCK SHALL BE UTILIZED ON SITE TO IMPROVE FINAL GRADING OF LOW AREA LOTS. THESE WASTES INCLUDE, BUT ARE NOT LIMITED TO, EXCESS SOIL MATERIALS, BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, ETC. THAT COULD ADVERSELY IMPACT WATER QUALITY. MEASURES SHOULD BE PLANNED AND IMPLEMENTED FOR HOUSEKEEPING, MATERIALS MANAGEMENT, AND LITTER CONTROL. WHEREVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL.

THE OPERATOR SHALL ASSURE THAT AN E&S CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE GOVERNING CONSERVATION DISTRICT, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL/ROCK SPOIL AND BORROW AREAS, REGARDLESS OF THEIR LOCATIONS.

RECYCLING OR DISPOSAL OF MATERIALS ASSOCIATED WITH OR FROM THIS PROJECT SITE WILL BE UNDERTAKEN IN ACCORDANCE WITH PA DEP RULES AND REGULATIONS.

SEDIMENT REMOVED FROM ESPCP CONTROLS AND FACILITIES SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED OR PLACED IN TOPSOIL STOCKPILES.

- ANTICIPATED CONSTRUCTION WASTES INCLUDE, BUT MAY NOT BE LIMITED TO, THE FOLLOWING:
- SEDIMENT
 - TRASH/DEBRIS
 - VEGETATION CLIPPINGS AS MAY RESULT FROM MAINTENANCE
 - PACKAGING MATERIAL
 - FORMWORK ASSOCIATED WITH CONCRETE FOUNDATIONS.

CLEAN FILL NOTES

THE OPERATOR MUST USE ENVIRONMENTAL DUE DILIGENCE TO ENSURE THAT ALL FILL MATERIAL ASSOCIATED WITH THE PROJECT QUALIFIES AS CLEAN FILL.

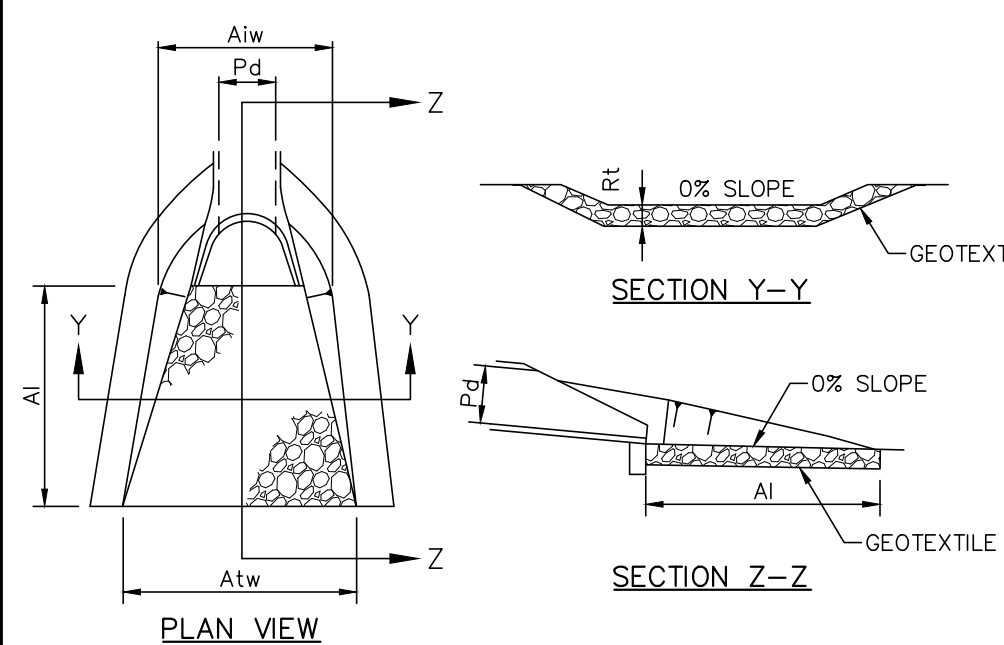
CLEAN FILL IS DEFINED AS UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIALS. THE TERM INCLUDES SOIL, ROCK, STONE, CRUSHED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH OR UNDER THE TERM "USED ASPHALT" DOES NOT INCLUDE USED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)

ENVIRONMENTAL DUE DILIGENCE TO ENSURE ALL FILL IS "CLEAN", AS DEFINED ABOVE, SHALL INCLUDE, BUT NOT BE LIMITED TO, INVESTIGATIVE TECHNIQUES SUCH AS VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANDBOX MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITING ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. ALL TESTING SHALL BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY OF "MANAGEMENT OF FILL."

STANDARD E&S PLAN NOTES

1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
2. AT LEAST 7 DAYS PRIOR TO EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LAND OWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
3. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THE SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.
5. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
6. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S PLAN PREPARER IS RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION. EACH STEP OF THE SEQUENCE SHALL BE COMPLETED BEFORE PROCEEDING TO THE NEXT STEP, EXCEPT WHERE NOTED.
7. AT NO TIMES SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAP(S). THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
8. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE OWNER MAP(S) OR THE PLAN MAP(S). THESE AREAS MUST BE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
9. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
10. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET. SEQ., 271.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
11. ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
12. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM PP-001 MUST BE RETAINED BY THE PROPERTY OWNER OF ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BY QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
13. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
14. VEHICLES AND EQUIPMENT MAY NEITHER ENTER DIRECTLY NOR EXIT DIRECTLY FROM THE SITE ONTO THE ADJACENT ROADWAY UNLESS USING THE CONSTRUCTION ENTRANCE.
15. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
16. A LOG SHOWING DATES THAT E&S BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
17. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEP INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
18. ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
19. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES - 6 TO 12 INCHES ON COMPACTED SOILS - PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
20. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDING FOUNDATIONS AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
21. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
22. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
23. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
24. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
25. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
26. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN AN AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
27. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
28. E&S BMPs SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
29. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
30. FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE EROSION, SLIDING, OR OTHER MOVEMENTS, MAY RESULT IN CIVIL AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.

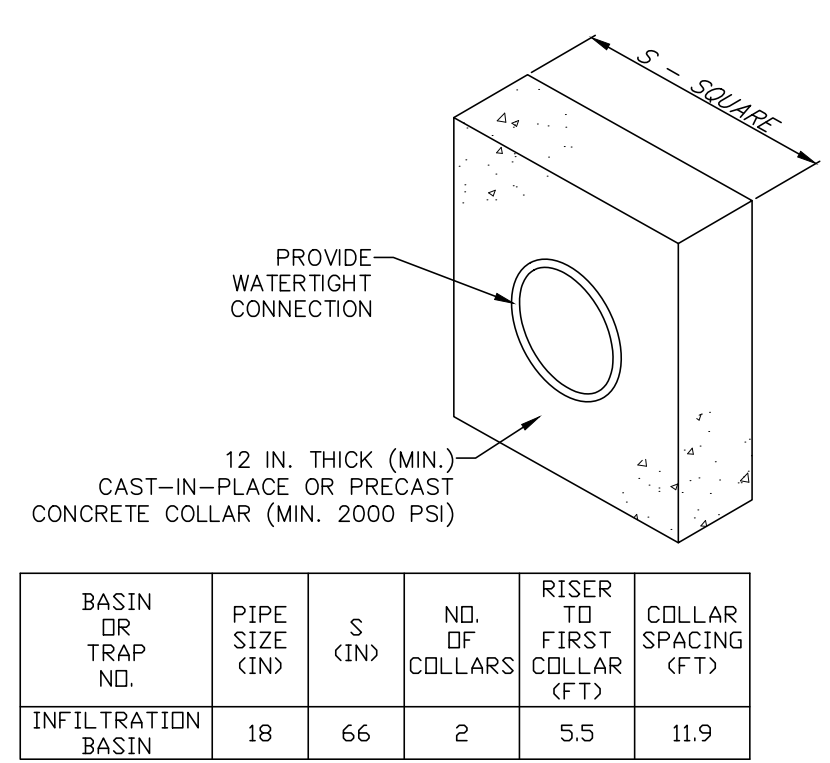
DATE	BY	TAL	TAL	TAL
11/28/24				
11/28/24				
11/28/24				



OUTLET NO.	STRUCTURE LABEL	PIPE DIA Pd (IN)	RIPRAP SIZE R- (IN)	THICK. R- (IN)	LENGTH L (FT)	INITIAL WIDTH Aiw (FT)	TERMINAL WIDTH Atw (FT)
DP-1	FES-19	18	3	9	7	4.5	7.3
DP-2	EW-25	24	7	45	28	6.0	34

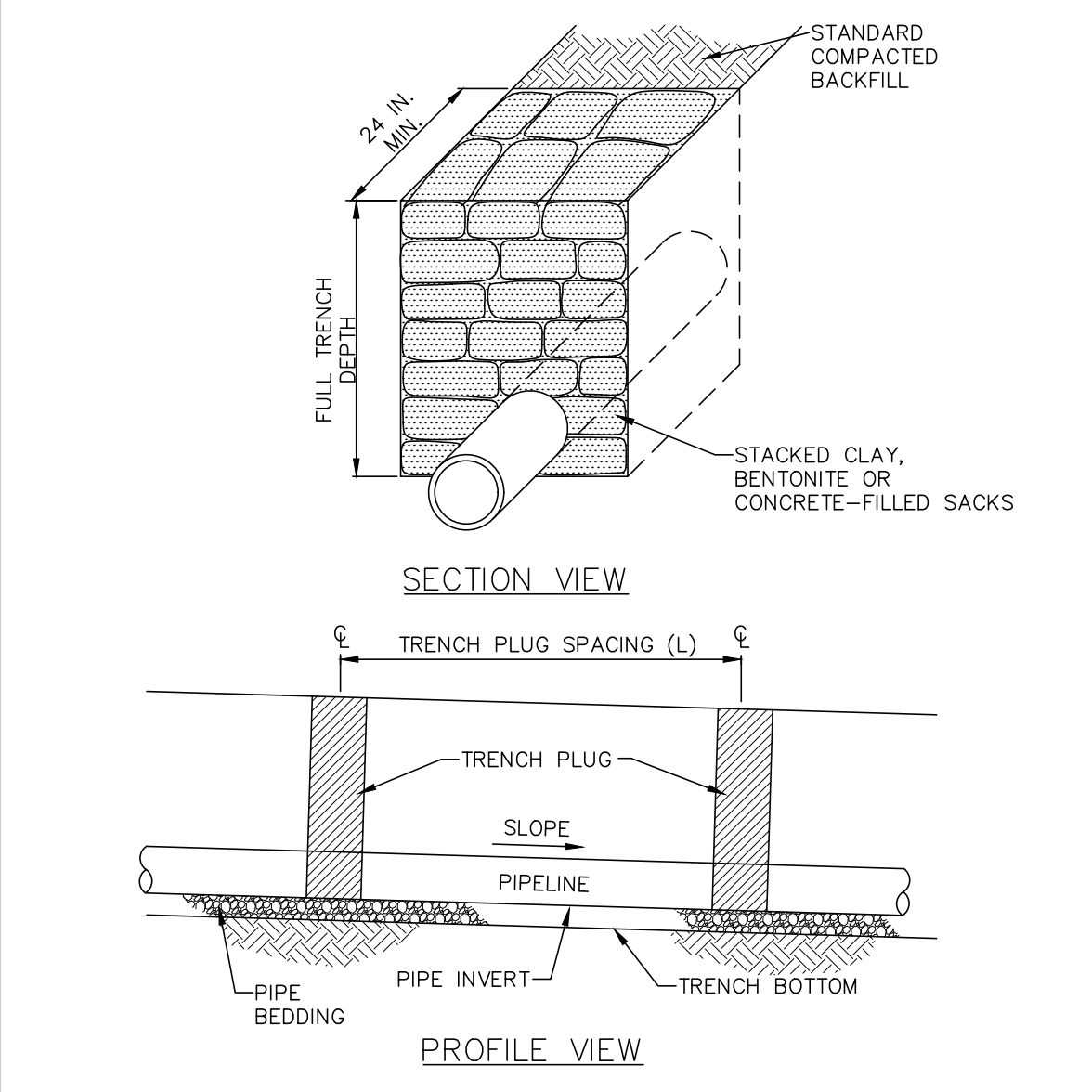
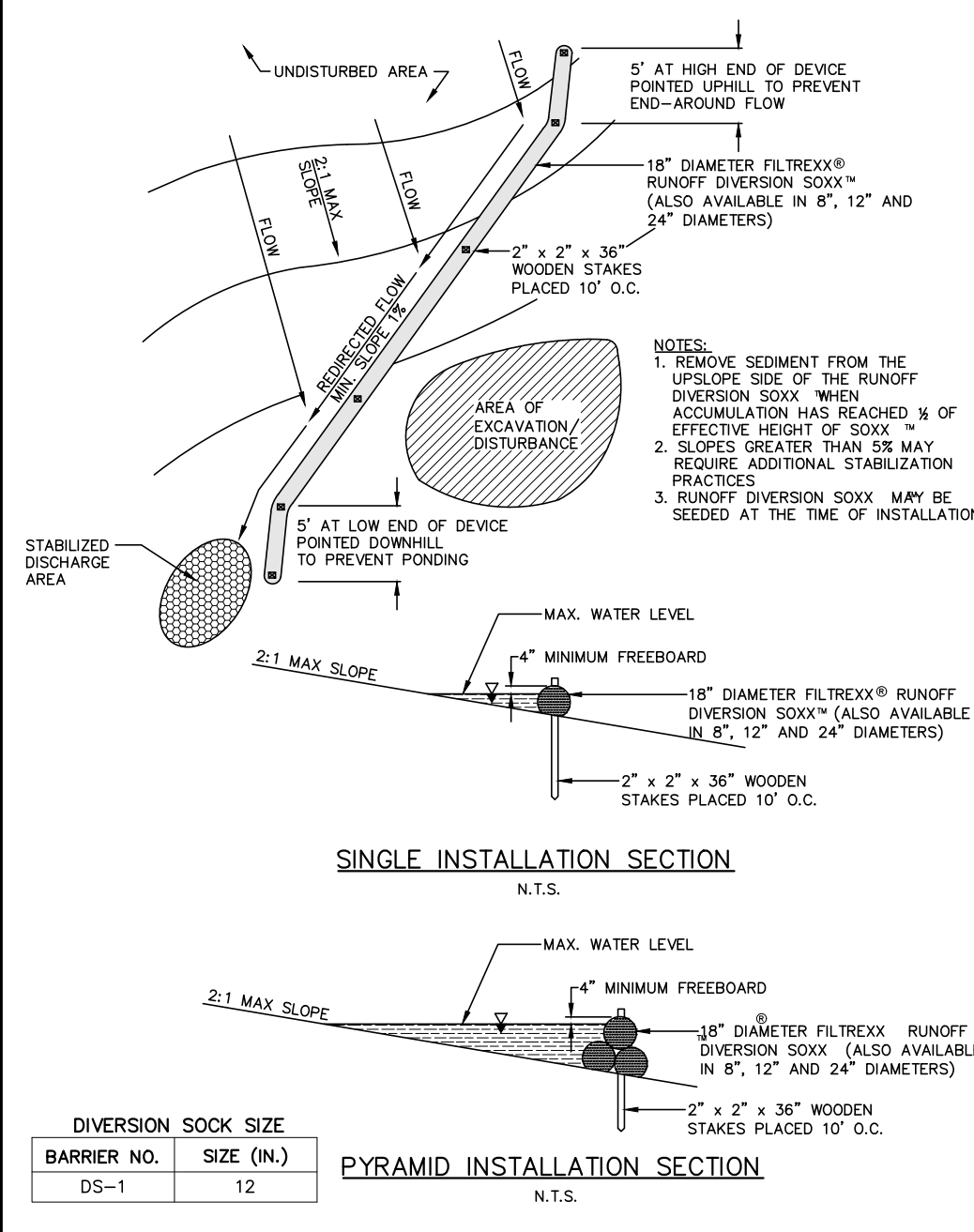
NOTES:
ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.
ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

STANDARD CONSTRUCTION DETAIL #9-1
RIPRAP APRON AT PIPE OUTLET
WITH FLARED END SECTION OR ENDWALL
NOT TO SCALE



NOTES:
ALL COLLARS SHALL BE INSTALLED SO AS TO BE WATER TIGHT.
COLLAR SIZE AND SPACING SHALL BE AS INDICATED WITHIN TABLE.

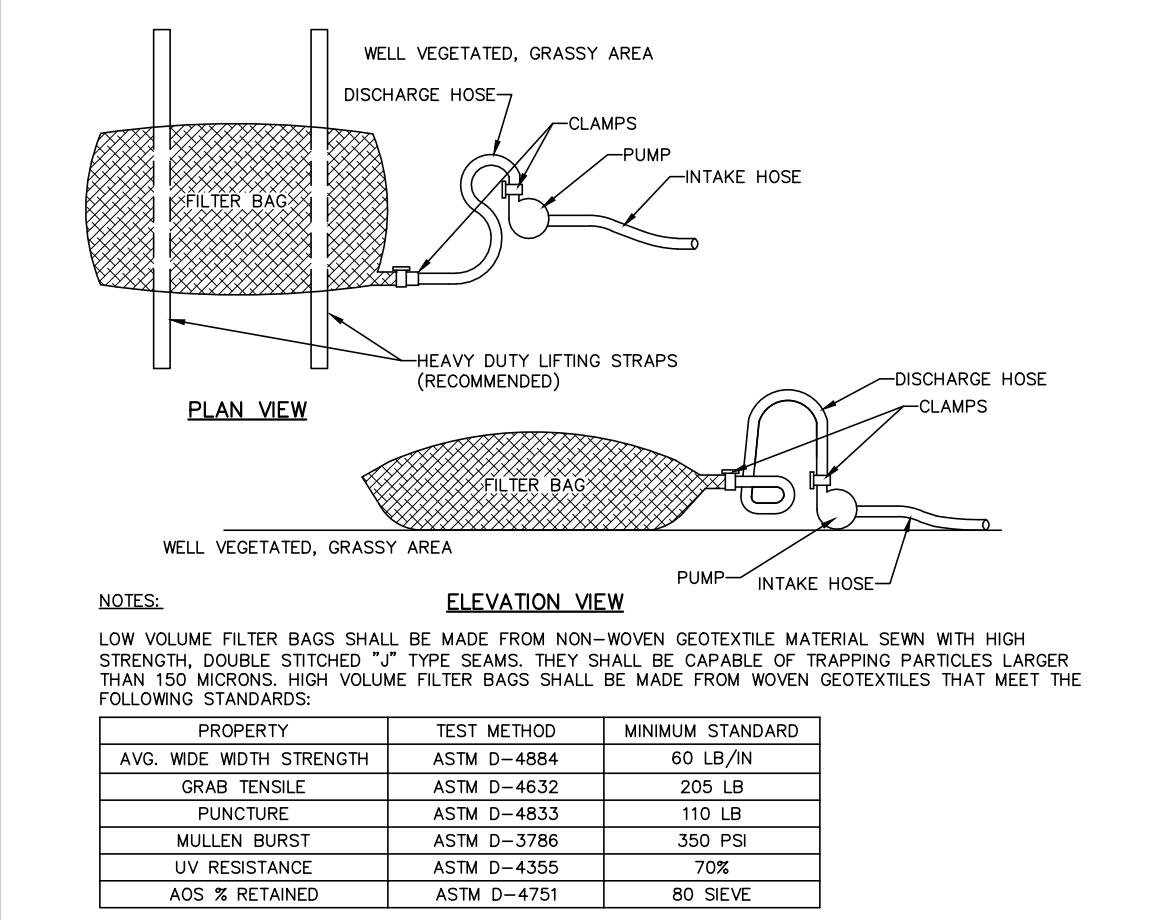
STANDARD CONSTRUCTION DETAIL #7-16
CONCRETE ANTI-SEEP COLLAR FOR
PERMANENT BASINS OR TRAPS
NOT TO SCALE



PA DEP EROSION CONTROL MANUAL TABLE 13.1
MAXIMUM SPACING AND MATERIALS FOR TRENCH PLUGS

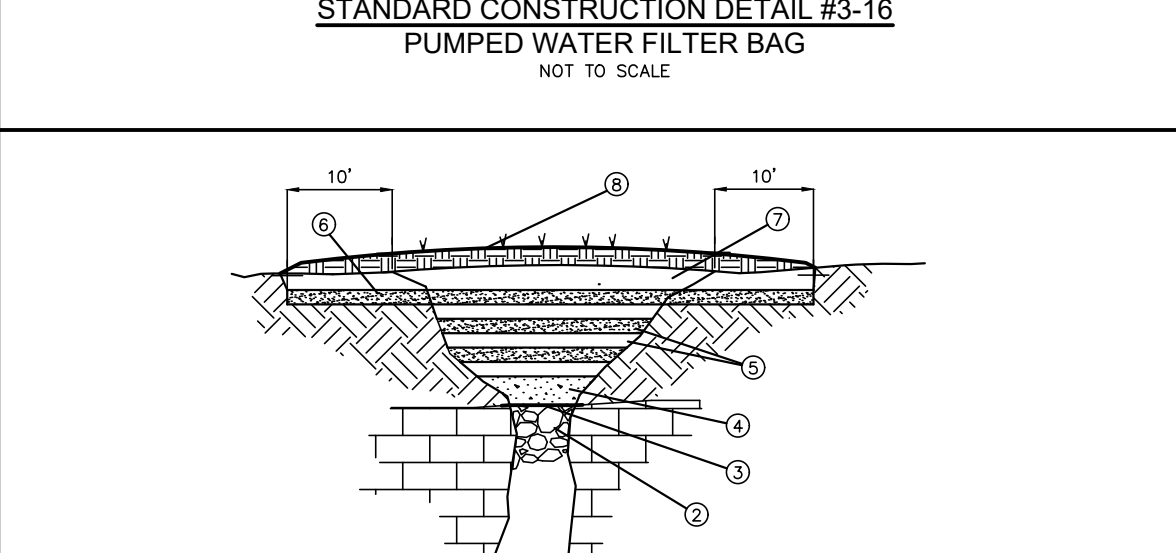
TRENCH SLOPE (%)	SPACING L (FT)	PLUG MATERIAL
< 5	1000	* CLAY, BENTONITE, OR CONCRETE FILLED SACKS
5 - 15	500	* CLAY, BENTONITE, OR CONCRETE FILLED SACKS
15 - 25	300	* CLAY, BENTONITE, OR CONCRETE FILLED SACKS
25 - 35	200	* CLAY, BENTONITE, OR CONCRETE FILLED SACKS
35 - 100	100	* CLAY, BENTONITE, OR CONCRETE FILLED SACKS
> 100	50	* CEMENT BAGS (WETTED) OR MORTARED STONE

NOTES:
IMPERVIOUS TRENCH PLUGS ARE REQUIRED FOR ALL STREAM, RIVER, WETLAND, OR OTHER WATER BODY CROSSINGS.
STANDARD CONSTRUCTION DETAIL #13-4
TRENCH PLUG INSTALLATION
NOT TO SCALE

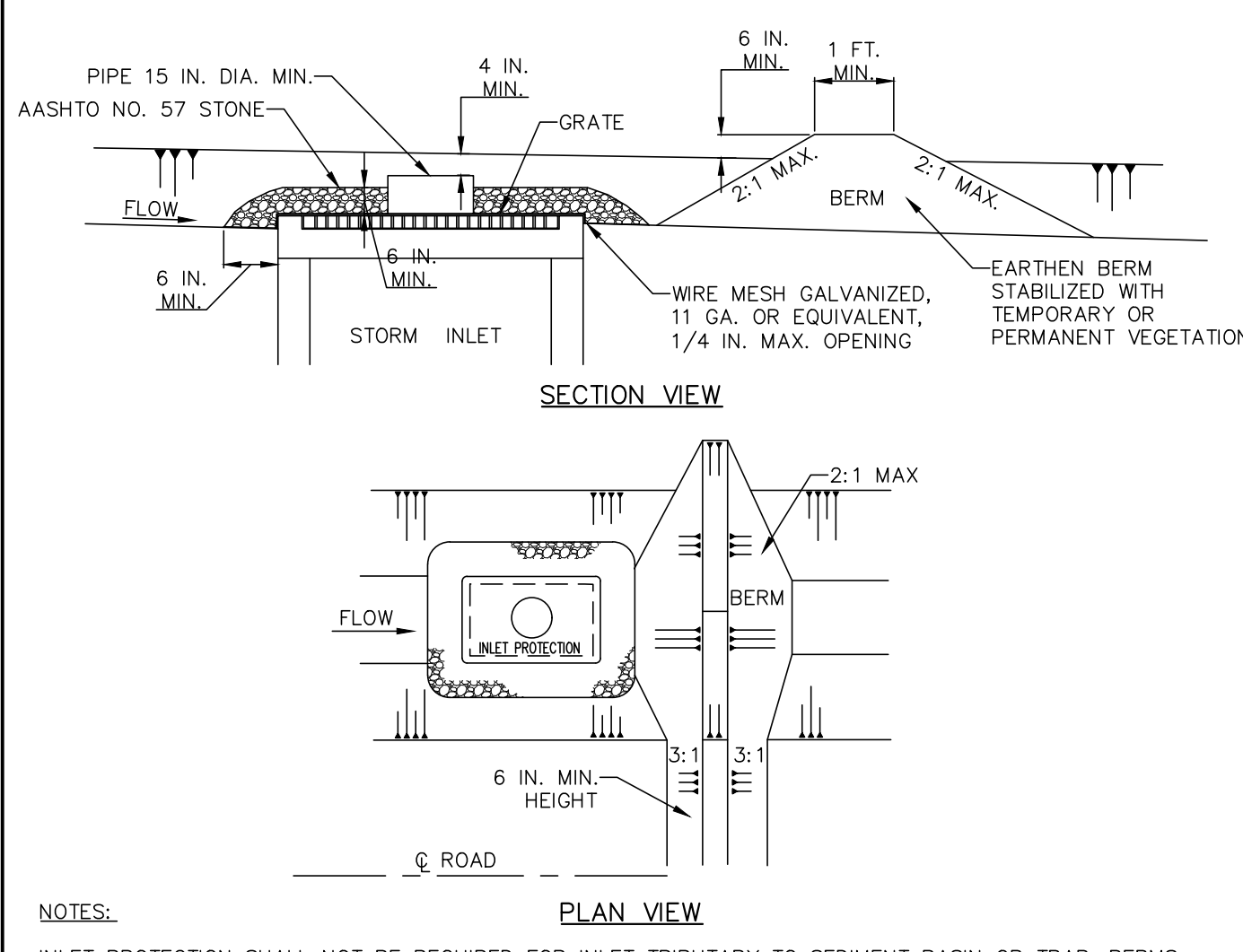


NOTES:
LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH DOUBLE STITCHED 2" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM NON-GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

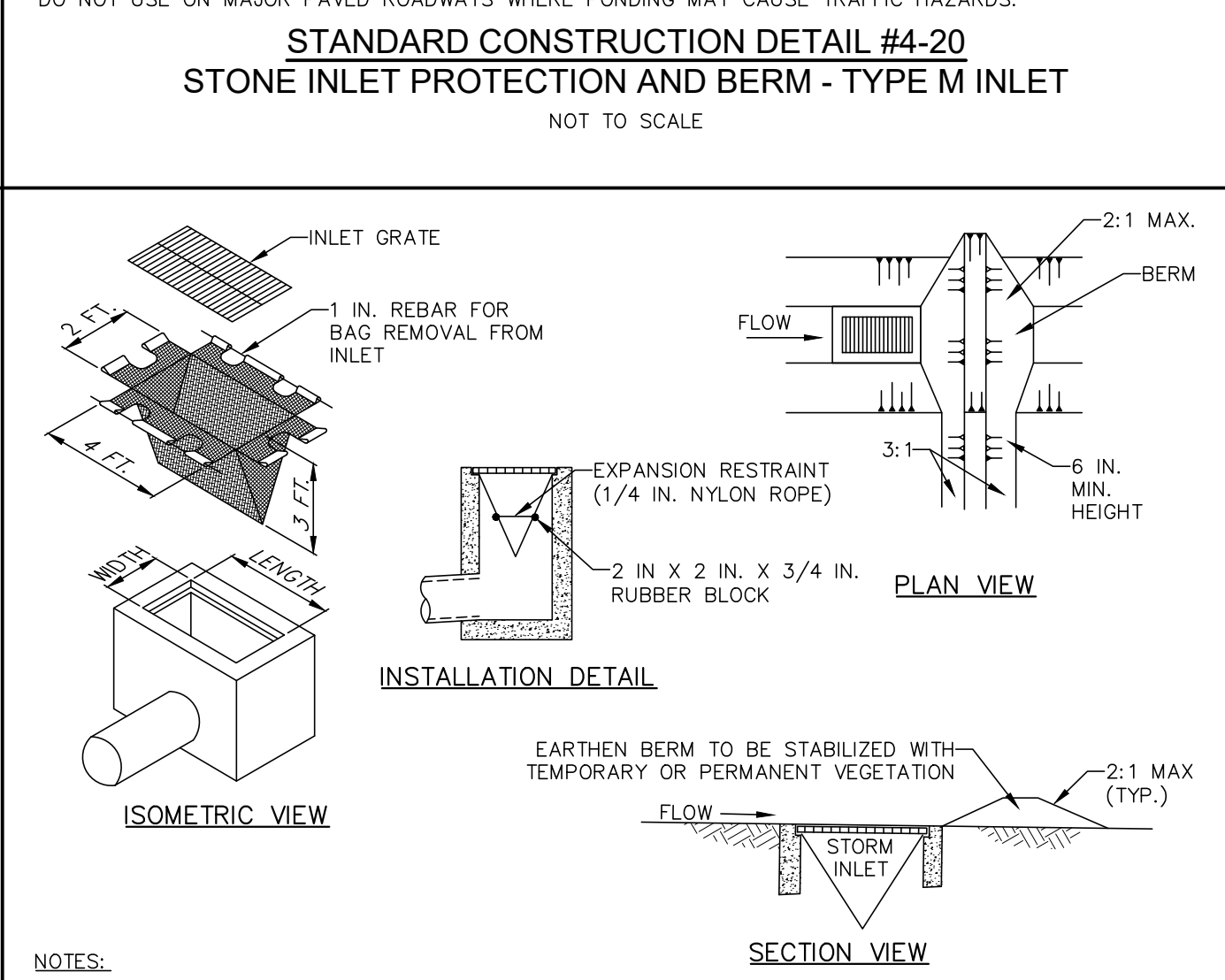
PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4933	110 LB
MULLEN BURST	ASTM D-3786	350 PSF
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE



NOTES:
1. OVER EXCAVATE SINKHOLE THROAT TO REMOVE ALL SOIL AND LOOSE ROCK.
2. PLACE ROCK(S) TO PLUG SINKHOLE THROAT. ROCKS SHALL BE SIZED SO THEY CANNOT GO THROUGH THE THROAT. FILL SMALL VOIDS WITH SMALLER ROCK TO LEVEL THE PLUG. PLACE A THIN LIFT OF BENTONITE CLAY TO LEVEL THE ROCK PLUG. PLACE GEOTEXTILE DRAINAGE FABRIC OVER THE DISTURBED AREA, EMBEDDING ON ALL EDGES. FABRIC TO HAVE TENSILE STRENGTH OF 90 LBS. AND AN EQUIVALENT OPENING SIZE OF SIEVE #200 MINIMUM.
3. LARGER OPENINGS MAY REQUIRE A CONCRETE PLUG, 18"-24" THICK.
4. PLACE 4" OF TOPSOIL RESEED OR SOD TO STABILIZE.
5. ALL STABILIZATION WORK SHOULD BE DONE UNDER SUPERVISION OF A GEOLOGIST OR ENGINEER FAMILIAR WITH SITE AND FOUNDATION CONDITIONS.
SINKHOLE MITIGATION DETAIL
N.T.S.

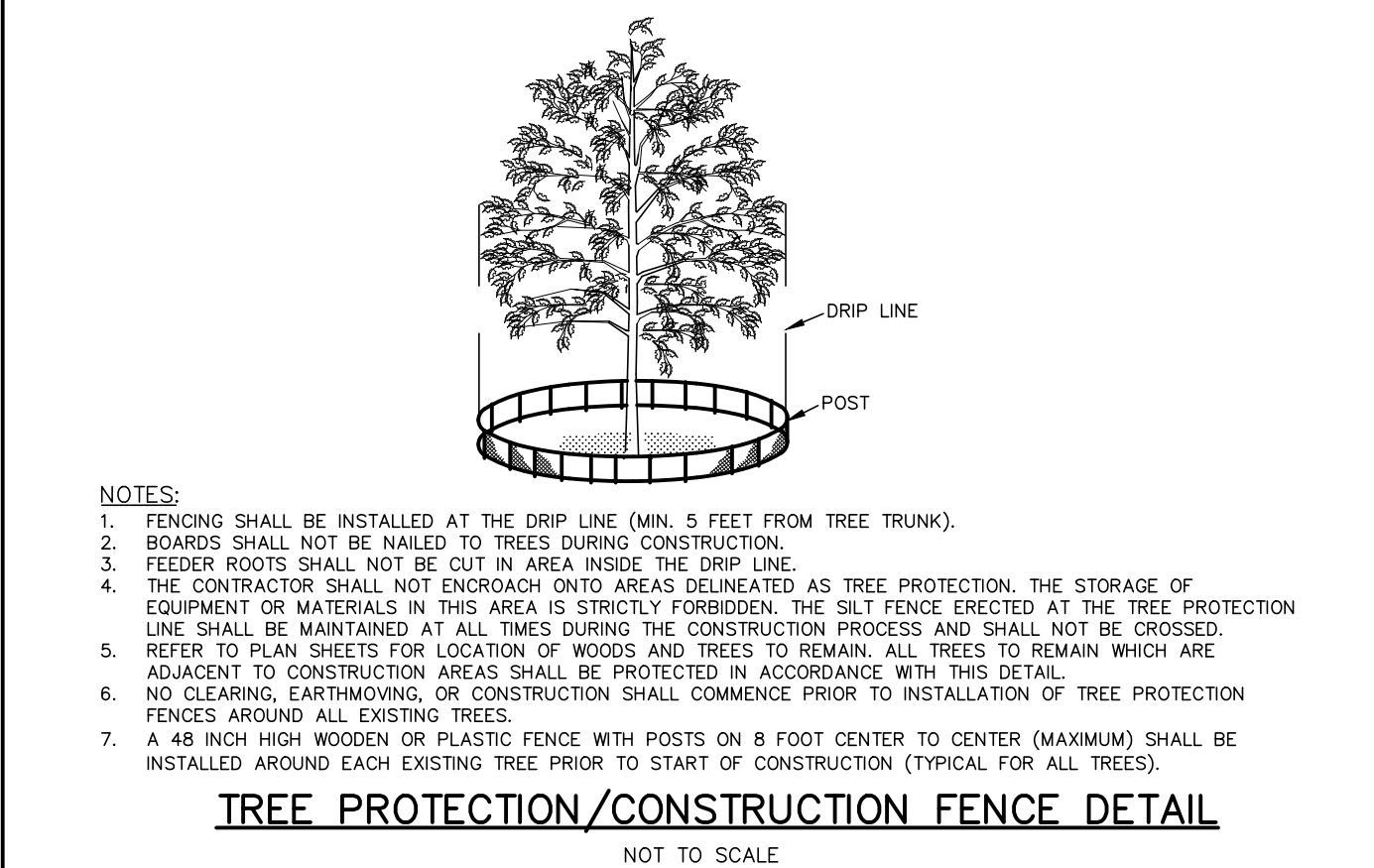


NOTES:
INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS NOT LOCATED AT A LOW POINT.
ROLLED EARTHEN BERM IN ROADWAY SHALL BE PROVIDED AND MAINTAINED IMMEDIATELY DOWN GRADIENT OF THE PROTECTED INLET UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR TO REMAIN PERMANENTLY.
STONE INLET PROTECTION AND BERM FOR A TYPE M INLET CAN BE USED IN ONE ACRE MAXIMUM DRAINAGE AREA WITH 15 IN. OVERFLOW PIPE AND 4 IN. HEAD. A PERFORATED PLATE WELDED TO A METAL RISER MAY NOT BE SUBSTITUTED FOR THE WIRE MESH. A SLOTTED PLATE WELDED TO THE RISER MAY BE USED IN CONJUNCTION WITH THE WIRE MESH IF CALCULATIONS ARE PROVIDED TO SHOW SUFFICIENT CAPACITY OF THE INLET TO ACCEPT THE PEAK RUNOFF FOR A 2-YEAR STORM EVENT FROM THE TRIBUTARY DRAINAGE AREA. TOP OF PIPE SHALL BE AT LEAST 6 INCHES BELOW ADJACENT ROADWAY IF PONDED WATER WOULD POSE A SAFETY HAZARD TO TRAFFIC. EARTHEN BERM SHALL BE ROLLED.
SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE HEIGHT OF THE STONE. DAMAGED OR CLOGGED INSTALLATIONS SHALL BE REPAIRED OR REPLACED IMMEDIATELY.
FOR SYSTEMS DISCHARGING TO HQ OR EV SURFACE WATER, A 6 IN. THICK COMPOST LAYER SHALL BE SECURELY ANCHORED ON OUTSIDE AND OVER TOP OF STONE. COMPOST SHALL MEET THE STANDARDS IN TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.
DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

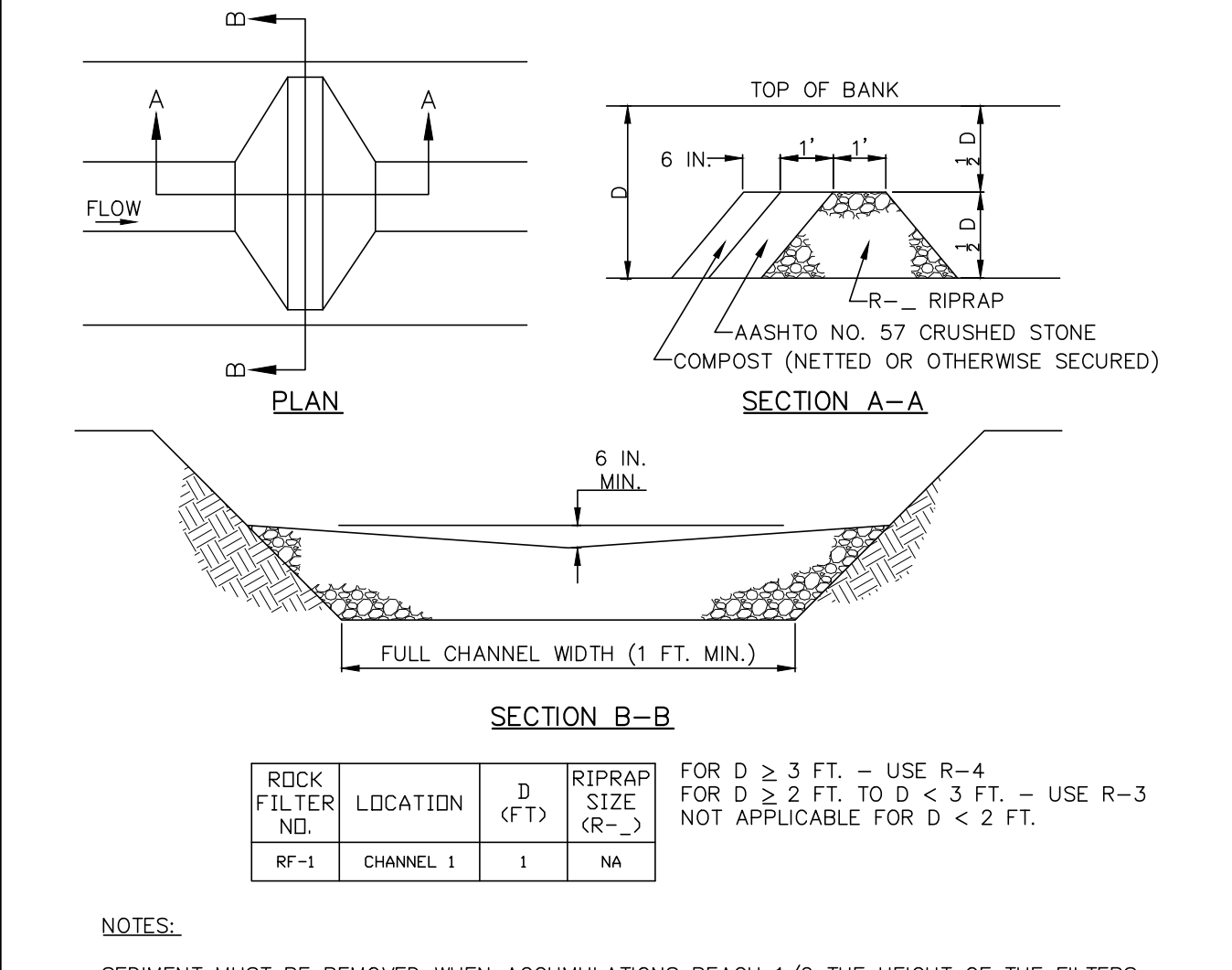


NOTES:
MAXIMUM DRAINAGE AREA = 1/2 ACRE.
INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.
ROLLED EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY.
AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS., A MINIMUM BURST STRENGTH OF 200 PSF, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.
INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.
DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

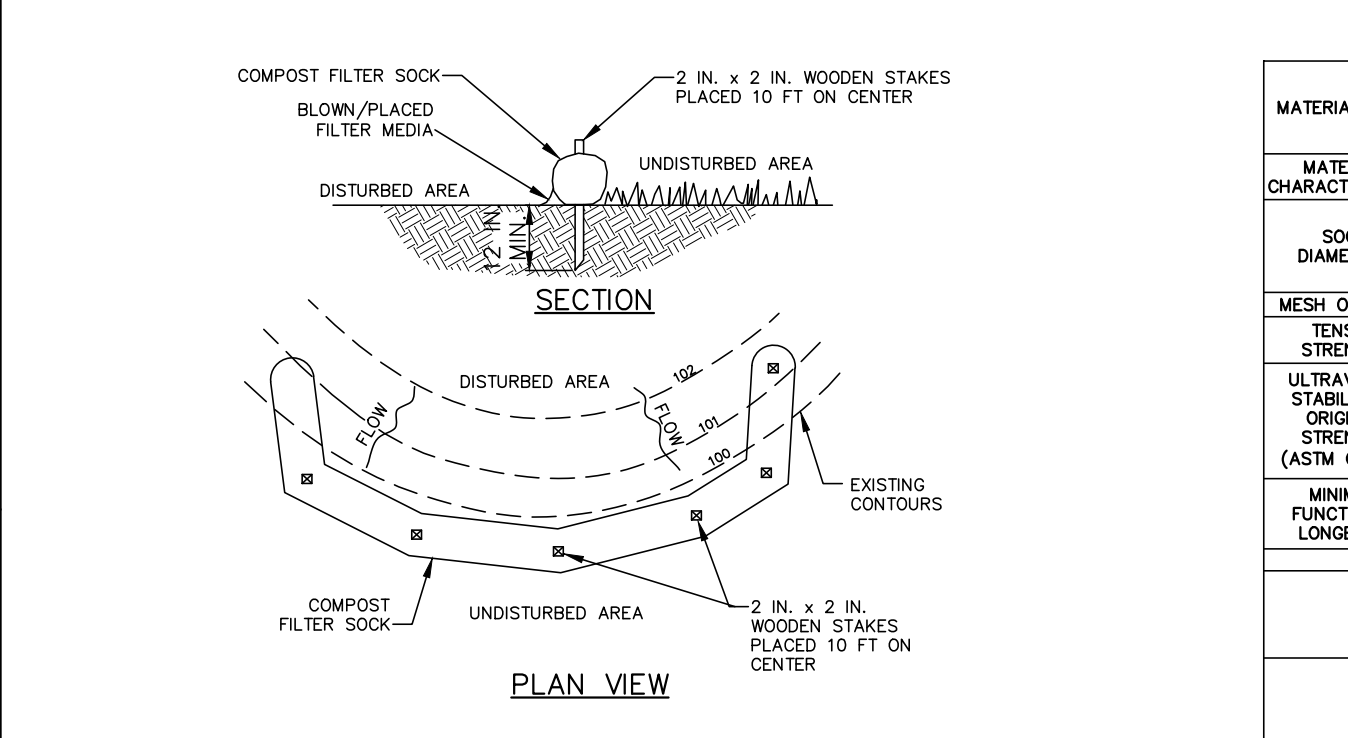
STANDARD CONSTRUCTION DETAIL #4-16
FILTER BAG INLET PROTECTION - TYPE M INLET
NOT TO SCALE



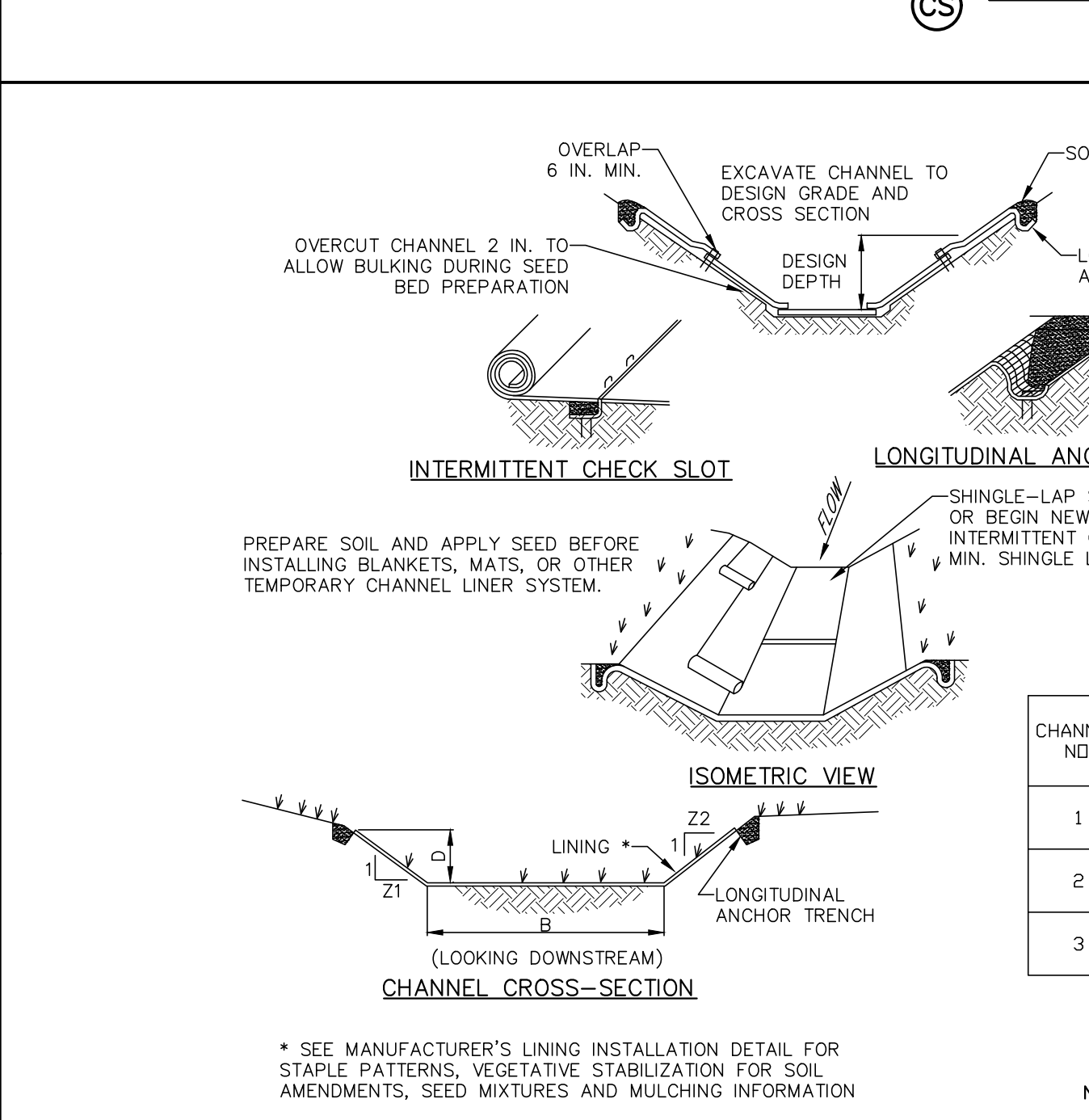
NOTES:
1. FENCING SHALL BE INSTALLED AT THE DRIP LINE (MIN. 5 FEET FROM TREE TRUNK).
2. BOARDS SHALL NOT BE NAILED TO TREES DURING CONSTRUCTION.
3. FEEDER ROOTS SHALL NOT BE CUT IN AREA INSIDE THE DRIP LINE.
4. THE CONTRACTOR SHALL NOT ENCROACH ONTO AREAS DELINEATED AS TREE PROTECTION. THE STORAGE OF EQUIPMENT OR MATERIALS IN THIS AREA IS STRICTLY FORBIDDEN. THE SILT FENCE ERECTED AT THE TREE PROTECTION LINE SHALL BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PROCESS AND SHALL NOT BE CROSSED.
5. REFER TO PLAN SHEETS FOR LOCATION OF WOODS AND TREES TO REMAIN. ALL TREES TO REMAIN WHICH ARE ADJACENT TO CONSTRUCTION AREAS SHALL BE PROTECTED IN ACCORDANCE WITH THIS DETAIL.
6. NO CLEARING, EARTHMOVING, OR CONSTRUCTION SHALL COMMENCE PRIOR TO INSTALLATION OF TREE PROTECTION FENCES AROUND ALL EXISTING TREES.
7. A 48 INCH HIGH WOODEN OR PLASTIC FENCE WITH POSTS ON 8 FOOT CENTER TO CENTER (MAXIMUM) SHALL BE INSTALLED AROUND EACH EXISTING TREE PRIOR TO START OF CONSTRUCTION (TYPICAL FOR ALL TREES).
TREE PROTECTION/CONSTRUCTION FENCE DETAIL
NOT TO SCALE



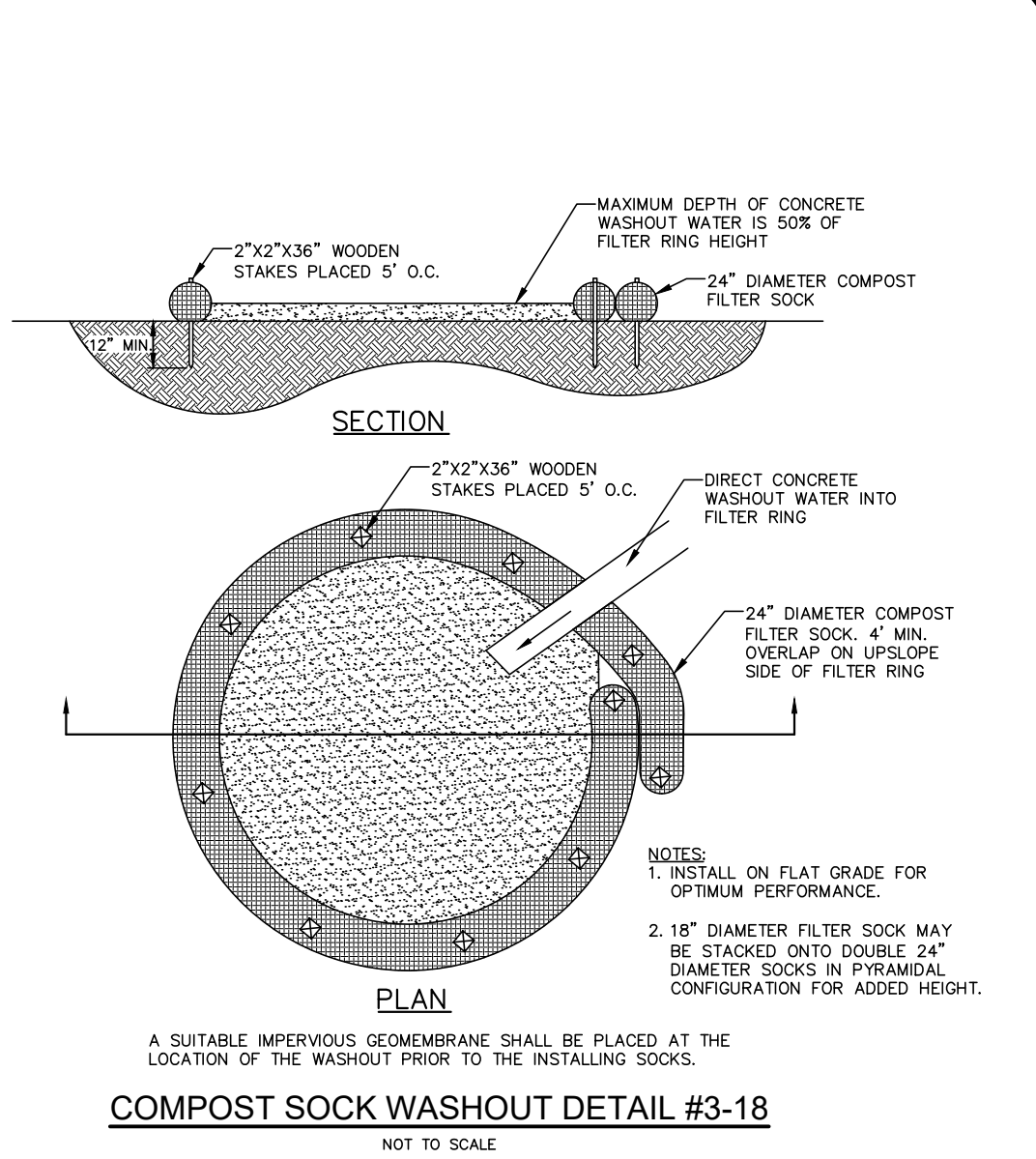
NOTES:
SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE HEIGHT OF THE FILTERS. IMMEDIATELY UPON STABILIZATION OF EACH CHANNEL, REMOVE ACCUMULATED SEDIMENT. REMOVE ROCK FILTER, AND STABILIZE DISTURBED AREAS.
STANDARD CONSTRUCTION DETAIL #4-14
ROCK FILTER
NOT TO SCALE



BARRIER NO.	LOCATION	SLOPE %	SLOPE LENGTH ABOVE BARRIER (FT)	SIZE (IN)
CFS-1	SW OF RECREATION CENTER	6	165	12
CFS-2	NW OF RECREATION CENTER	13	205	18
CFS-3	N OF RECREATION CENTER	11	189	18
CFS-4	NE OF RECREATION CENTER	10	185	18
CFS-5	NW OF PROJECT SITE	8	233	18
CFS-6	NW OF SOIL STOCKPILE	9	103	12
CFS-7	N OF PROJECT SITE	7	89	12
CFS-8	NE OF MAIN PROJECT SITE	4	77	12
CFS-9	DOWNSLOPE OF SOIL STOCKPILE	30	20	12
CFS-10	N OF CHANNEL 4	20	31	12
CFS-11	NE OF BASIN	5	96	12
CFS-12	N OF BASIN	7	192	12
CFS-13	N OF BASIN SPILLWAY	4	151	12
CFS-14	N OF CHANNEL 3	7	121	12
CFS-15	W OF CHANNEL 3	6	134	12



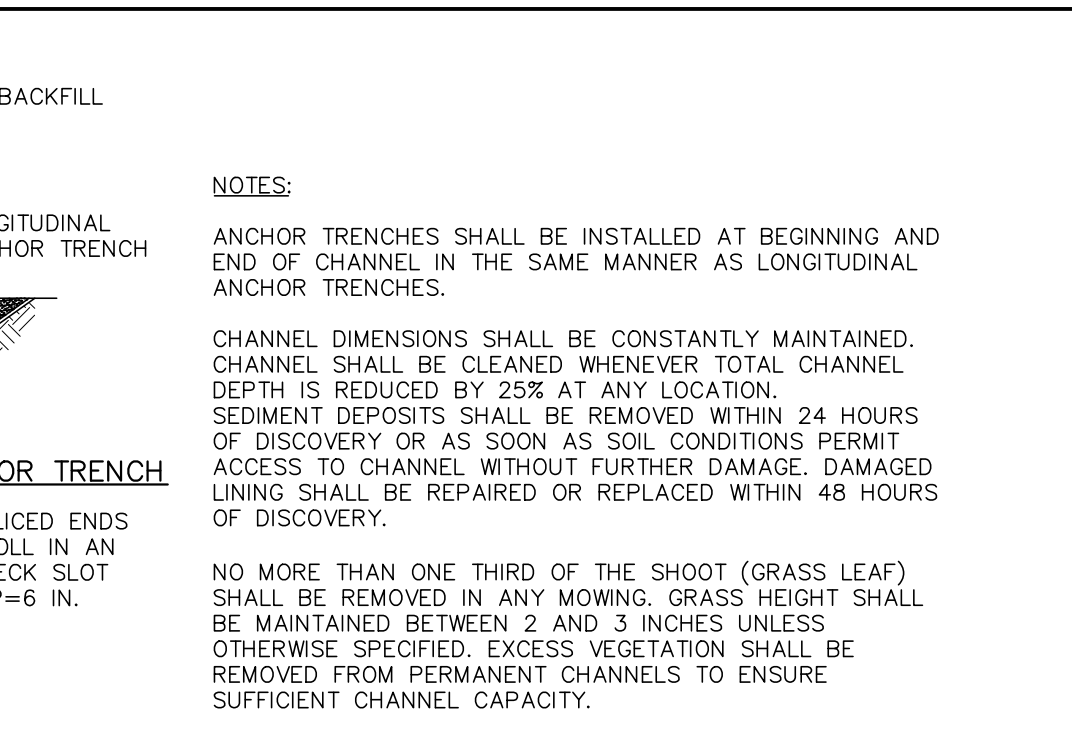
NOTES:
* SEE MANUFACTURER'S LINING INSTALLATION DETAIL FOR STAPLE PATTERNS, VEGETATIVE STABILIZATION FOR SOIL AMENDMENTS, SEED MIXTURES AND MULCHING INFORMATION
MODIFIED STANDARD CONSTRUCTION DETAIL #6-1
VEGETATED CHANNEL
NOT TO SCALE



COMPOST SOCK WASHOUT DETAIL #3-18
NOT TO SCALE

MATERIAL TYPE	3 MIL HDPE	5 MIL HDPE	5 MIL HDPE	MULTI-FILAMENT POLYPROPYLENE (MPPF)	HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE (HMPP)
MATERIAL CHARACTERISTICS	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	BIO-DEGRADABLE	PHOTO-DEGRADABLE
SOCK DIAMETERS	12", 18"	12", 18", 24", 32"	12", 18", 24", 32"	12", 18", 24", 32"	12", 18", 24", 32"
MESH OPENING	3/8"	3/8"	3/8"	3/8"	1/8"
TENSILE STRENGTH	26 PSI	26 PSI	44 PSI	202 PSI	202 PSI
ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM G-155)	23% AT 1000 HR.	23% AT 1000 HR.	100% AT 1000 HR.	100% AT 1000 HR.	100% AT 1000 HR.
MINIMUM FUNCTIONAL LONGEVITY	6 MONTHS	9 MONTHS	6 MONTHS	1 YEAR	2 YEARS

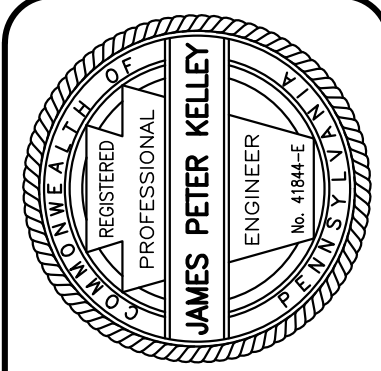
NOTES:
COMPOST FILTER SOCK SHALL MEET STANDARDS OF TABLE 4.1, AS INDICATED. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2.
COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.
TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.
ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
COMPOST FILTER SOCKS SHALL BE REPLACED AFTER THE MINIMUM FUNCTIONAL LONGEVITY, AS INDICATED IN TABLE 4.1, HAS PASSED. UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STATES SHALL BE REMOVED. THE MESH SHALL BE CUT OPEN AND REMOVED. THE MESH CAN BE SPREAD AS A SOIL SUPPLEMENT IN VEGETATED AREAS.



CHANNEL NO.	LOCATION	BOTTOM WIDTH B (FT)	DEPTH D (FT)	TOP WIDTH T (FT)	Z1 (FT)	Z2 (FT)	LINING	STAPLE PATTERN
1	SOUTH OF REC. CENTER	1	1.50	10.0	3	3	NAG-S75/VEGETATED	D
2	WEST OF BASIN	3	2	19	4	4	NAG-S75/VEGETATED	D
3	EAST OF BASIN	3	1.25	13	4	4	NAG-S75/VEGETATED	D

NOTE: PUMP ANY PONDING WATER ON SITE TO A PUMPED WATER FILTER BAG.
MODIFIED STANDARD CONSTRUCTION DETAIL #6-1
VEGETATED CHANNEL
NOT TO SCALE

BY	TAL
DATE	11/29/24
REVISIONS	1. TOWNSHIP COMMENTS 2. NCCO COMMENTS 3. TOWNSHIP COMMENTS



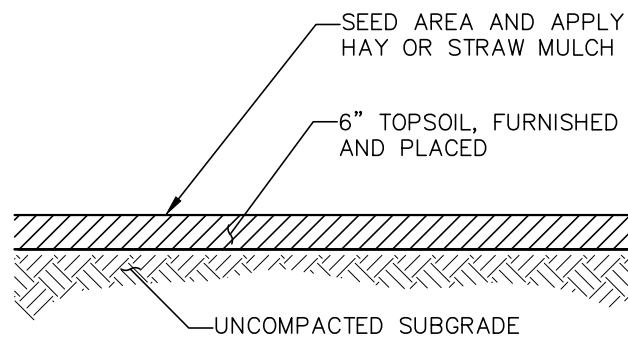
272.200.2050
barrisset.com
525 Main Street, Suite 200
Stroudsburg, PA 18360



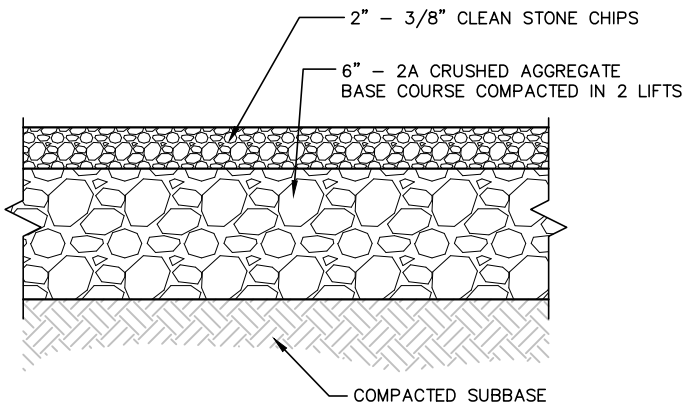
EROSION & SEDIMENT CONTROL DETAILS
WATER GAP WELLNESS RECREATION CENTER
WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

DATE	8/28/2024	DSGN	TAL/CRS
SCALE	AS NOTED	CHK	CRS
DRAWN	TAUD/GF	APPRD	JKP
JOB#	1022419.004	P MGR	JKP
COPYRIGHT 2024			
SHEET: 22 OF 27			

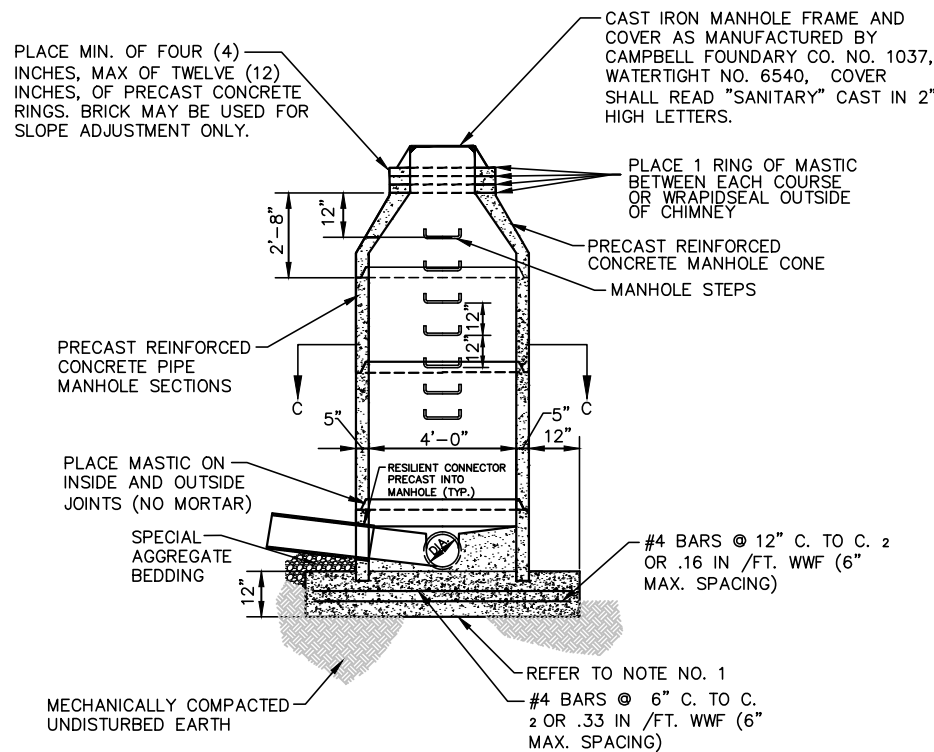
ESD-2



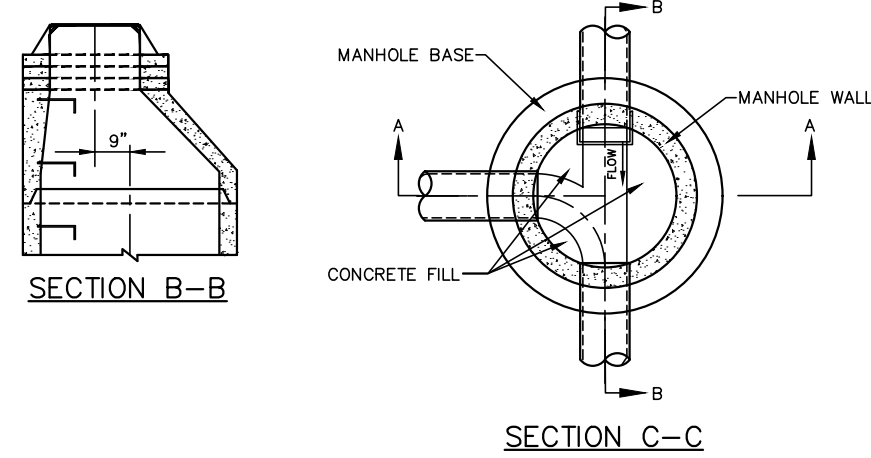
LAWN RESTORATION
N.T.S.
NOTES:
REFER TO SEEDING SCHEDULE



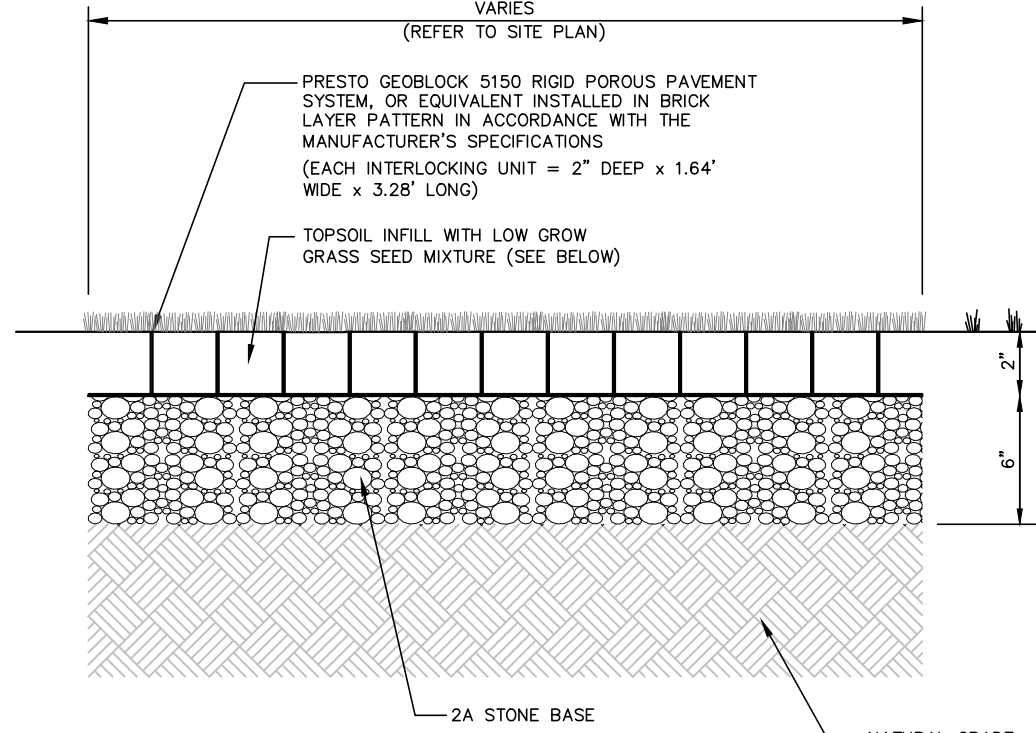
GRAVEL AREA
N.T.S.



SECTION A-A
SANITARY SEWER
STANDARD PRECAST CONCRETE PIPE MANHOLE
N.T.S.

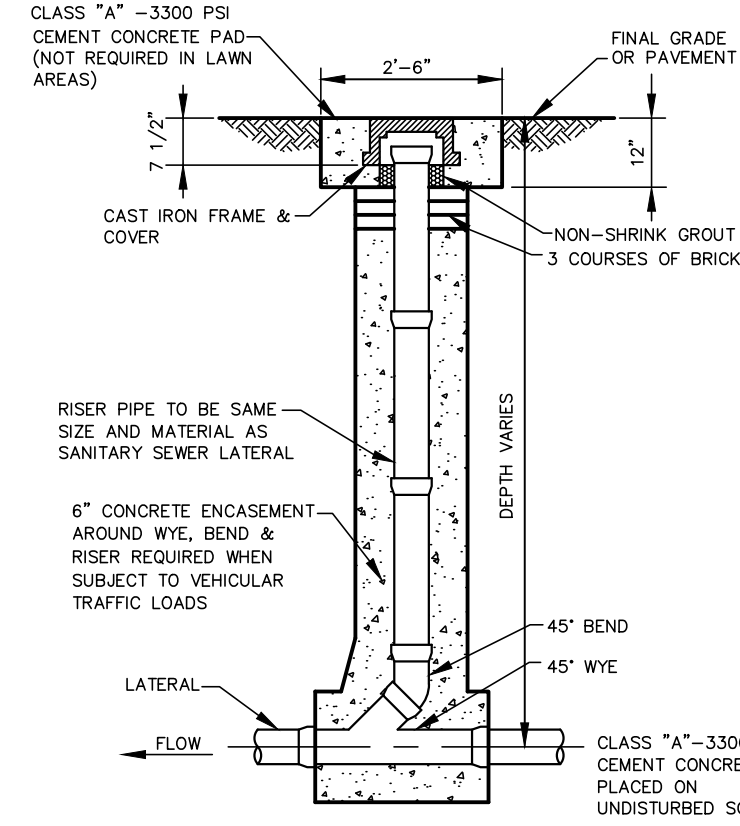


SECTION B-B
SECTION C-C
NOTES:
1. PRECAST BASE MAY BE USED IF PLACED ON A 9" INCH FOUNDATION OF PennDOT NO. 2A SUBBASE.
2. PROVIDE FLEXIBLE GASKET IN MACHINED GROOVE IN LID.
3. PAINT ENTIRE OUTER SURFACE OF MANHOLE WITH ONE (1) COAT OF AN APPROVED BITUMASTIC MATERIAL.
4. STEPS TO BE INSTALLED IN PLASTIC STEP INSERT COMPATIBLE WITH THE STEP.
5. STEP AND STEP INSTALLATION SHALL MEET ALL REQUIREMENTS OF ASTM C-478 AND C497 FOR DIMENSIONS, LOAD RATING, AND PULLOUT RESISTANCE.
6. STEP DIMENSIONS AND CONFIGURATION SHALL BE IN ACCORDANCE WITH PennDOT STANDARDS, (RC-39).

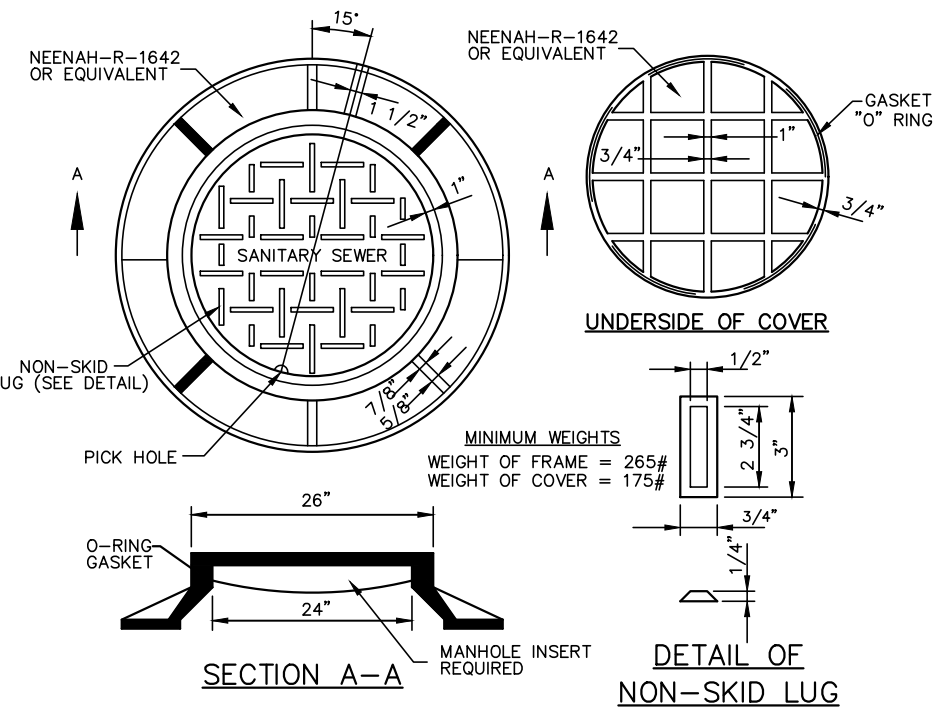


Botanical Name	Root	Notes
Uniform Cover (mechanical broadcast)		
andropogon virginicus	seed	24/1000 SF
andropogon virginicus	seed	18/1000 SF
penium virgatum	seed	0.58/1000 SF
dichanthium scoparium	seed	0.25/1000 SF
carex tribuloides	seed	0.25/1000 SF
torium multiflorum	seed	0.58/1000 SF
festuca rubra commutata	seed	24/1000 SF
festuca ovina glauca	seed	24/1000 SF

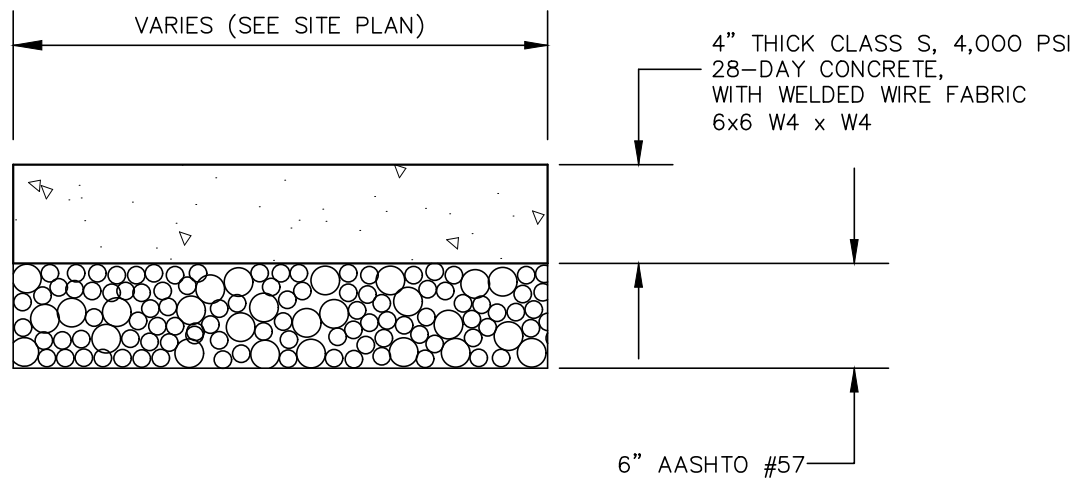
STABILIZED PERVIOUS EMERGENCY ACCESS DETAIL
PRESTO GEOBLOCK 5150 (OR EQUIVALENT)
N.T.S.



SECTION A-A
SANITARY SEWER CLEAN-OUT DETAIL
N.T.S.

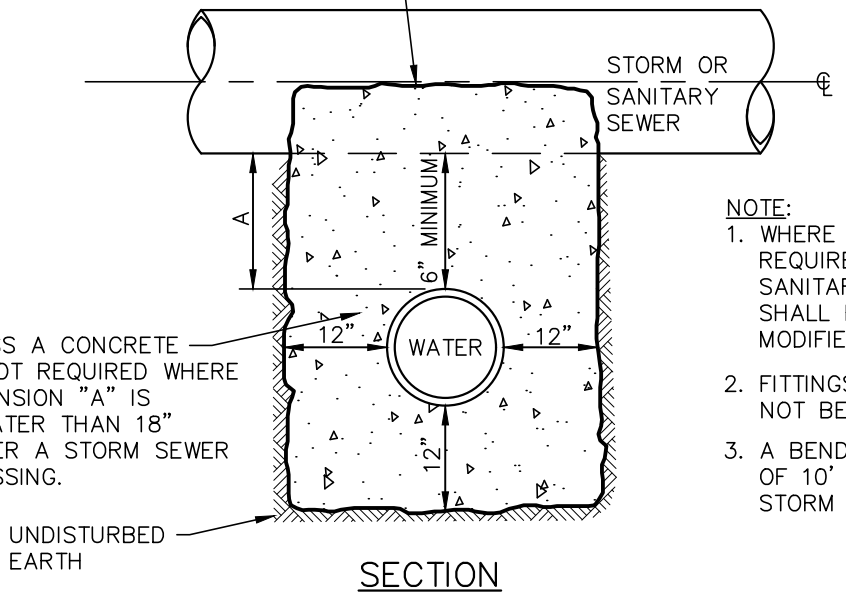
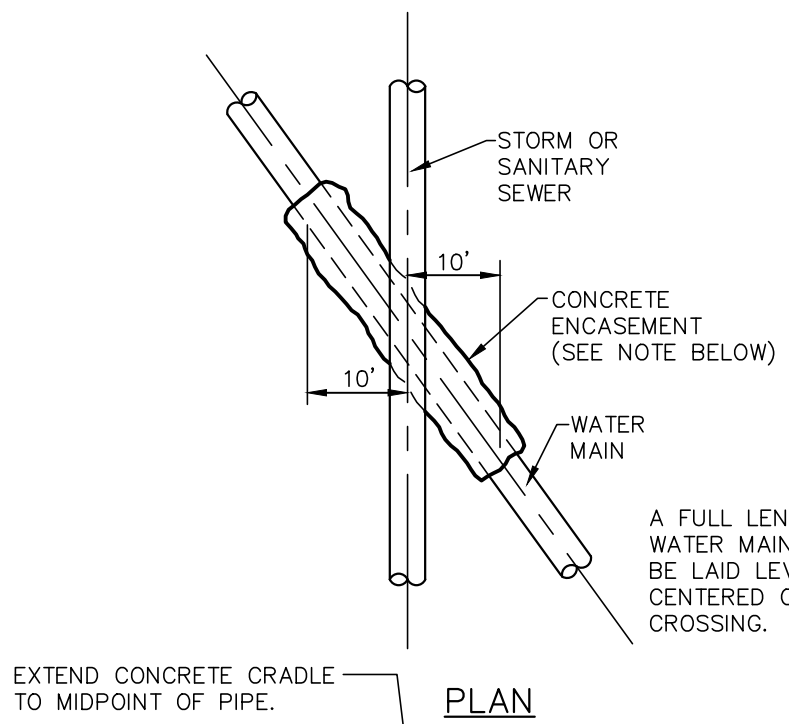


SECTION A-A
STANDARD MANHOLE FRAME AND COVER
N.T.S.



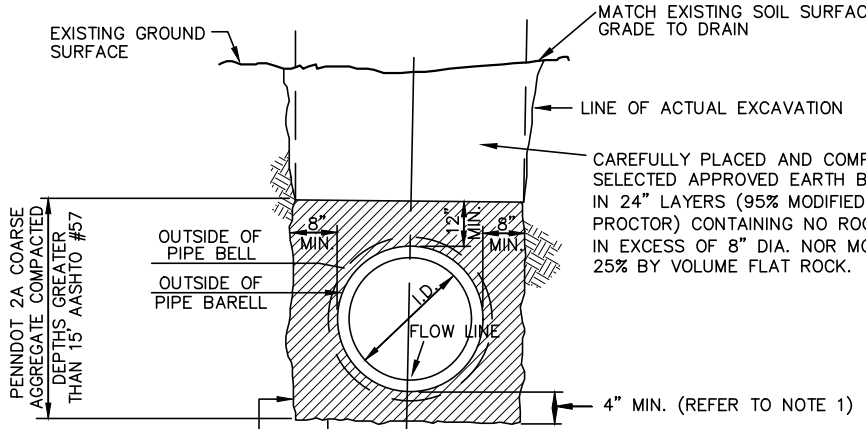
- NOTES:
- CONCRETE SHALL BE CLASS S, 4,000 PSI 28-DAY WITH A 5" SLUMP (MAX.).
 - TRANSVERSE CONTRACTION JOINTS SHALL BE 1/8" WIDE AND 1/4 THE CONCRETE THICKNESS AT THE DIRECTION OF THE TOWNSHIP ENGINEER OR HIS/HER REPRESENTATIVE IN FIELD.
 - EXPANSION JOINTS WITH 3/4" PRE-MOLDED MATERIAL SHALL BE PLACED A MAXIMUM OF 20 FEET ON-CENTER TO FULL DEPTH.
 - ALL EDGES TO BE ROUNDED WITH A 1/4" TOOL.
 - WEATHER PROTECTION AND CURING COMPOUNDS SHALL BE USED IN ACCORDANCE WITH PENNDOT SPECIFICATION PUB. 408 CURRENT EDITION.
 - CURING COMPOUND SHALL BE AASHTO M 148, TYPE 2.
 - ACCESSIBLE ROUTES SHALL HAVE WALKING SURFACES WITH A RUNNING SLOPE NOT STEEPER THAN 1:20. THE CROSS SLOPE OF ACCESSIBLE ROUTES SHALL NOT BE STEEPER THAN 1:48 IN ACCORDANCE WITH ANSI 403.3

TYPICAL SIDEWALK
N.T.S.
REFER TO PENNDOT PUB 408, LATEST EDITION

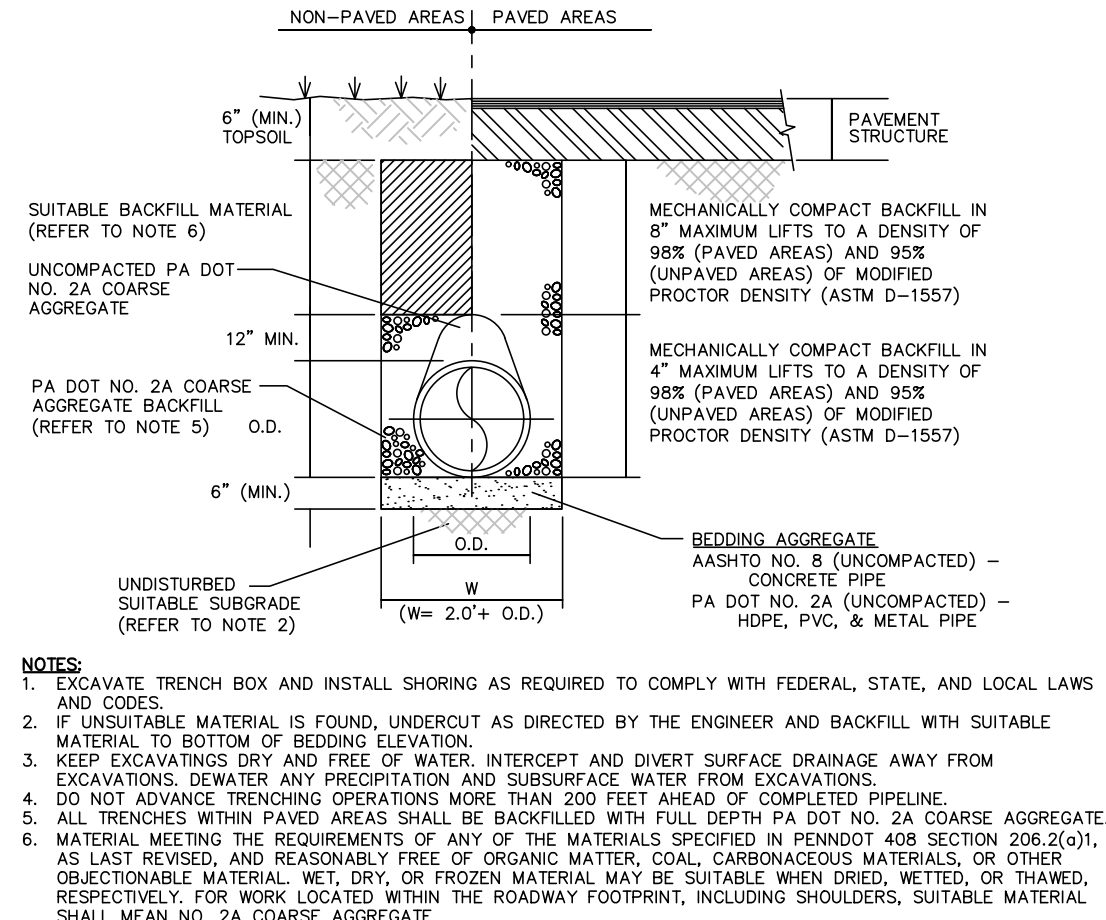


WATER MAIN CROSSING UNDER
STORM OR SANITARY SEWER
N.T.S.

SEPARATION NOTE
THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A 10' HORIZONTAL OR A 18" VERTICAL SEPARATION WITH SANITARY AND STORM SEWER LINES. IF SEPARATION CAN'T BE MAINTAINED SANITARY AND STORM SEWER LINES SHALL BE CONCRETE ENCASED FOR A DISTANCE OF 10' ON EACH SIDE OF THE WATERLINE. IF THE SEWER CROSSES ABOVE A WATER LINE, THE SEWER MUST BE CONCRETE ENCASED REGARDLESS OF THE AMOUNT OF VERTICAL SEPARATION, AND A FULL LENGTH OF WATER PIPE MUST BE CENTERED ON THE SEWER PIPE AT ANY SEWER CROSSING. AND PVC LINER

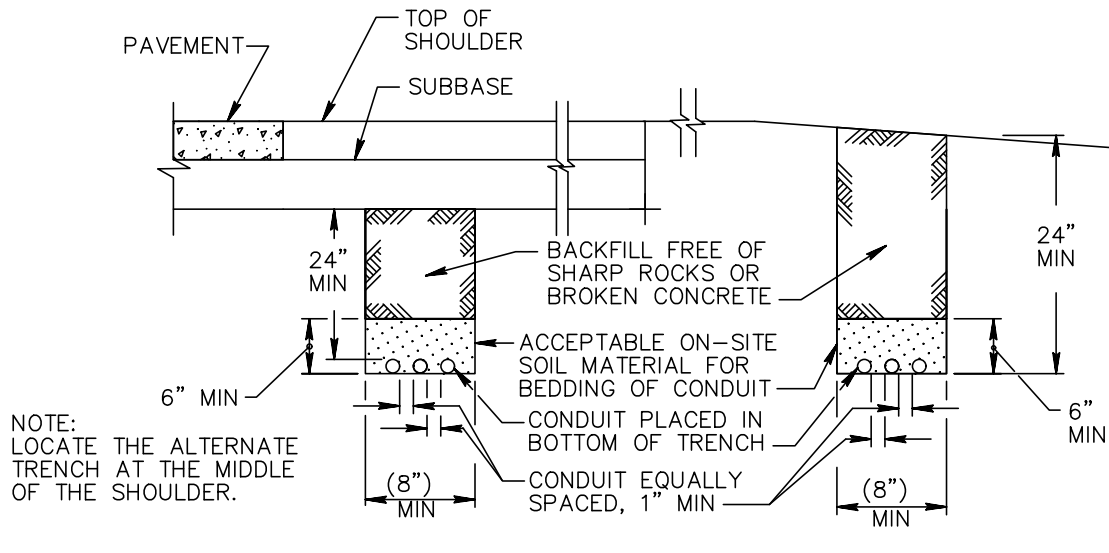


EXCAVATION FOR SANITARY LINES AND
TRENCH BACKFILL WITHIN EXISTING EARTHEN/
VEGETATED AREAS
N.T.S.



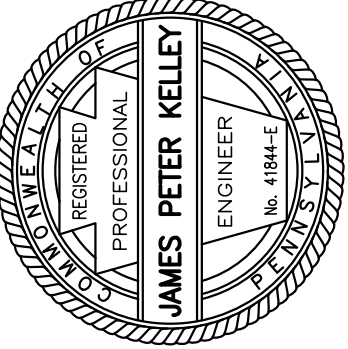
TYPICAL WATER MAIN TRENCH
& BACKFILL
N.T.S.

- NOTES FOR UNDERGROUND
CABLE AND CONDUIT
- TRENCH ALONG THE GENERAL LINE SHOWN ON THE PLANS.
 - DO NOT TRENCH IN GUIDE RAIL LINE.
 - LOCATE UNDERGROUND CABLE AND CONDUIT WITH TEMPORARY PLASTIC MARKERS OR OTHER APPROVED METHODS WHERE THERE IS A POSSIBILITY OF DISTURBANCE BY GUIDE RAIL ERECTION OR SIMILAR CONSTRUCTION. VERIFY GUIDE RAIL LOCATIONS SHOWN ON THE LIGHTING PLANS.
 - HAVE ALTERNATE TRENCH LINE, OTHER THAN AS SHOWN ON THE PLANS, APPROVED BY THE ENGINEER. IN NO CASE APPROVE AN ALTERNATE TRENCH LINE WHICH RESULTS IN INCREASING THE CIRCUIT LENGTH MORE THAN 5%.
 - INSTALL CONDUIT TO PERMIT DRAINAGE TOWARDS NEAREST EARTH JUNCTION BOX AS APPLICABLE.
 - PROVIDE PERMANENT MARKING TAPE IN THE LAST LIFT FOR THE ENTIRE TRENCH LENGTH.



ALTERNATE TREATMENT
PREFERRED TREATMENT
UNDERGROUND CABLE AND CONDUIT
TYPICAL ELECTRIC TRENCH DETAIL
N.T.S.

BY	TAL
DATE	11/25/24
REVISIONS	1. TOWNSHIP COMMENTS 2. MCCD COMMENTS 3. TOWNSHIP COMMENTS

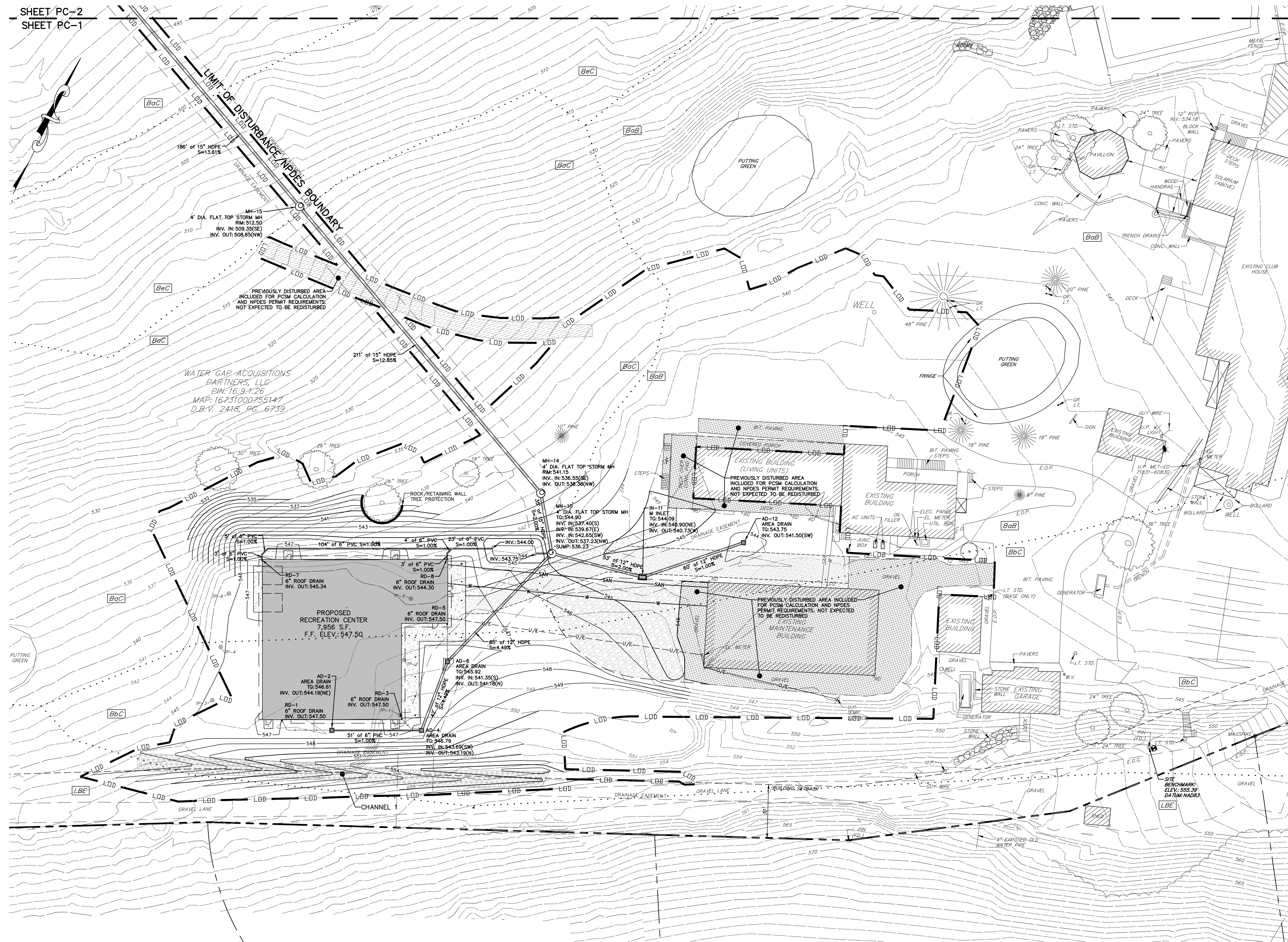


272.200.2050
baryisett.com
525 Main Street, Suite 200
Stroudsburg, PA 18360



CONSTRUCTION DETAILS
WATER GAP WELLNESS RECREATION CENTER
WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

DATE:	8/28/2024	DSGN:	TAL/CRS
SCALE:	AS NOTED	CHK:	CRS
DRAWN:	TAL/DFG	APPRD:	JKP
JOB:	1022419.004	P MGR:	JKP
COPYRIGHT 2024			
SHEET: 23 OF 27			



WATER GAP ACQUISITIONS
BARTNERS, LLC
BIN: 16.9.1.26
MAP: 16731000755147
D.B.V. 2418, PG. 6739

STORMWATER STATEMENT

COMMONWEALTH OF PENNSYLVANIA, COUNTY OF _____
ON THIS _____ DAY OF _____, 20____, BEFORE ME, A NOTARY PUBLIC,
PERSONALLY APPEARED _____ OF _____
PENNSYLVANIA, WHO ACKNOWLEDGED HIMSELF/HERSELF
TO BE THE _____ OF _____
AND THAT HE/SHE AS SUCH OFFICER BEING AUTHORIZED TO DO SO, DEPOSES AND
SAYS THAT THE STORMWATER MANAGEMENT SYSTEM SHOWN ON THE APPROVED
PLANS IS A PERMANENT FEATURE THAT CAN BE ALTERED OR REMOVED ONLY AFTER
PRIOR APPROVAL OF A REVISED PLAN BY SMITHFIELD TOWNSHIP.

SIGNATURE OF OFFICER _____ TITLE _____

THE UNDERSIGNED HEREBY CERTIFIED THAT TO THE BEST OF HIS/HER KNOWLEDGE AND BELIEF THE INFORMATION AND STATEMENTS GIVEN ABOVE ARE TRUE AND CORRECT.

SIGNATURE OF OFFICER: _____

SIGNATURE OF NOTARY PUBLIC: _____

MY COMMISSION EXPIRES: _____, 20____

DRAINAGE PLAN STATEMENT

I HEREBY ACKNOWLEDGE THAT ANY REVISION TO THE APPROVED DRAINAGE PLAN MUST BE APPROVED BY THE TOWNSHIP AND THAT A REVISED EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO THE CONSERVATION DISTRICT FOR A DETERMINATION OF ADEQUACY.

SIGNATURE OF APPLICANT _____

PRINT NAME _____ DATE: _____

STORMWATER CERTIFICATION - DESIGN ENGINEER

I, JAMES P. KELLEY, P.E., ON THIS DATE _____, 20____, HAVE PREPARED AND HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF SMITHFIELD TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

INDIVIDUAL RESPONSIBLE FOR OPERATION AND MAINTENANCE OF POST CONSTRUCTION STORMWATER MANAGEMENT BMP'S.

LANCE PULSE _____ FACILITY DIRECTOR

P.O. BOX 244 DELAWARE WATERGAP, PA 18327

ADDRESS _____

LPULSE@WATERGAPWELLNESS.COM 570-269-8977

EMAIL _____ PHONE _____

PCSM PLAN INDEX

PLAN DESIGNATION	PLAN TITLE
PC-1	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
PC-2	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
PCD-1	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS
PCD-2	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS

*ALL PLANS TO BE RECORDED

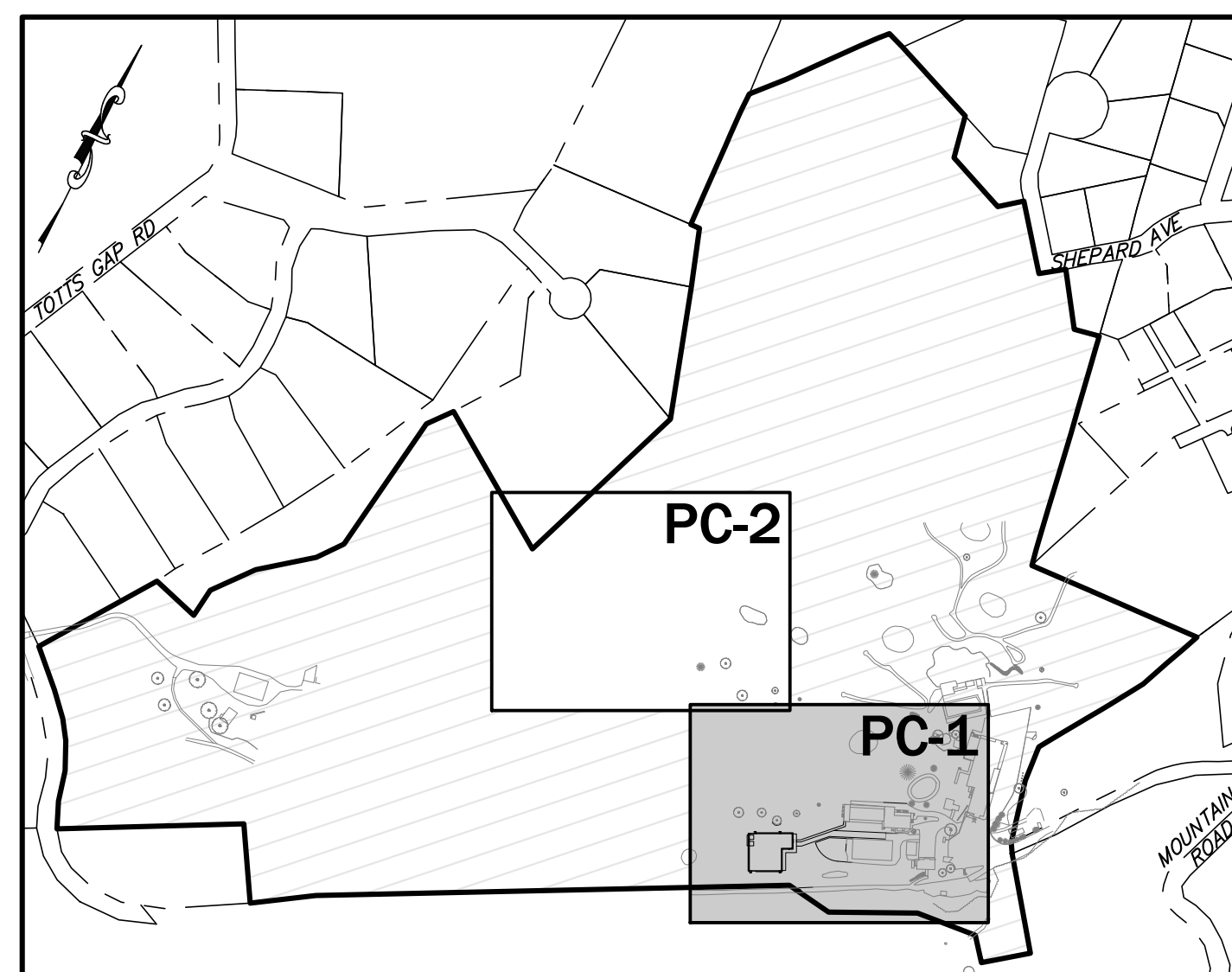
PREVIOUSLY DISTURBED AREAS

INCLUDED FOR PCSM CALCULATION AND NPDES PERMIT REQUIREMENTS, NOT EXPECTED TO BE REDISTURBED

AREA ADDED	
AREA REMOVED	

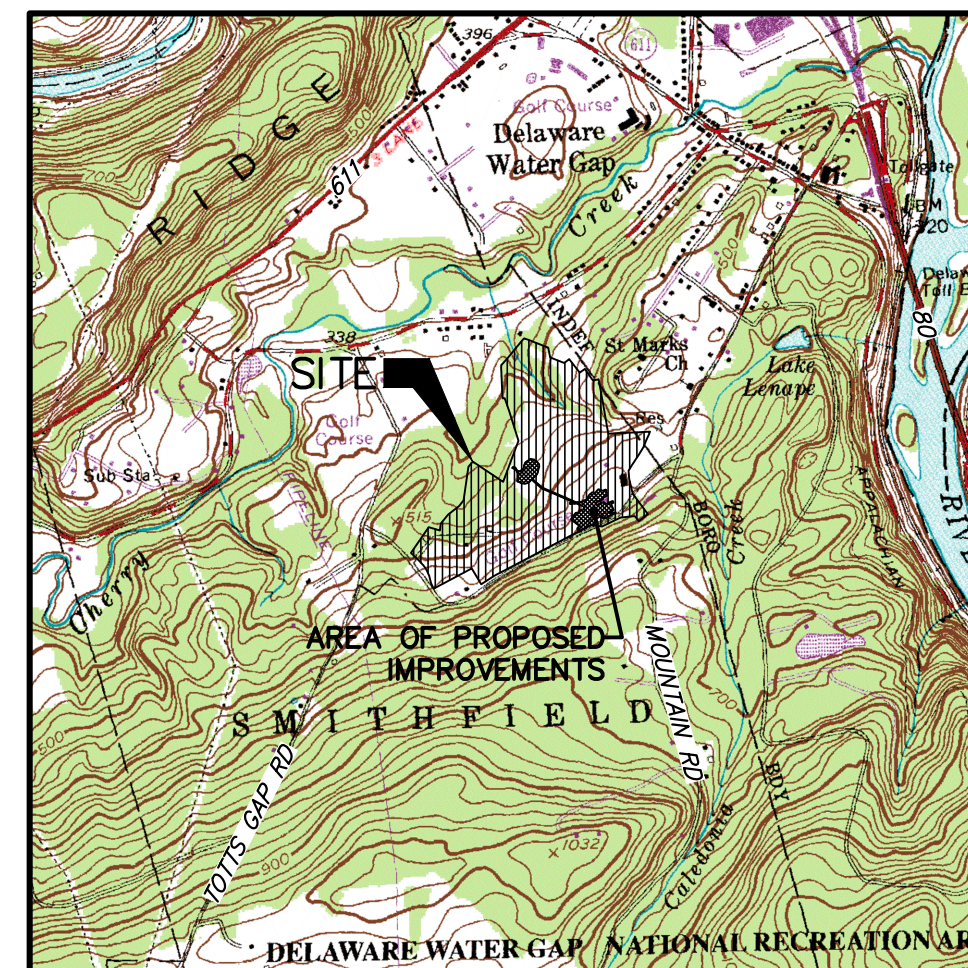
PCSM BMP LIST

- BMP #1 - INFILTRATION BASIN
- BMP #2 - VEGETATED SWALE
- BMP #3 - VEGETATED SWALE



KEY MAP

SCALE: 1"=400'



LOCATION MAP

USGS: STROUBURG QUADRANGLE

SCALE: 1"=2000'

SOIL CLASSIFICATIONS

BaB	BATH CHANNERY SILT LOAM - HSG C
BaC	BATH CHANNERY SILT LOAM - HSG C
BaD	BATH CHANNERY SILT LOAM - HSG C
BaE	BATH CHANNERY SILT LOAM - HSG C
BaF	BATH CHANNERY SILT LOAM - HSG C
BaG	BATH CHANNERY SILT LOAM - HSG C
BaH	BATH CHANNERY SILT LOAM - HSG C
BaI	BATH CHANNERY SILT LOAM - HSG C
BaJ	BATH CHANNERY SILT LOAM - HSG C
BaK	BATH CHANNERY SILT LOAM - HSG C
BaL	BATH CHANNERY SILT LOAM - HSG C
BaM	BATH CHANNERY SILT LOAM - HSG C
BaN	BATH CHANNERY SILT LOAM - HSG C
BaO	BATH CHANNERY SILT LOAM - HSG C
BaP	BATH CHANNERY SILT LOAM - HSG C
BaQ	BATH CHANNERY SILT LOAM - HSG C
BaR	BATH CHANNERY SILT LOAM - HSG C
BaS	BATH CHANNERY SILT LOAM - HSG C
BaT	BATH CHANNERY SILT LOAM - HSG C
BaU	BATH CHANNERY SILT LOAM - HSG C
BaV	BATH CHANNERY SILT LOAM - HSG C
BaW	BATH CHANNERY SILT LOAM - HSG C
BaX	BATH CHANNERY SILT LOAM - HSG C
BaY	BATH CHANNERY SILT LOAM - HSG C
BaZ	BATH CHANNERY SILT LOAM - HSG C

LIMIT OF DISTURBANCE: 3.15 ACRES

NPDES BOUNDARY: 3.15 ACRES

RECEIVING WATERS
UNTIL TO CHERRY CREEK - CWF, MF
IMPAIRED FOR PATHOGENSREFER TO SHEET PCD-1 & PCD-2
FOR POST CONSTRUCTION STORMWATER
MANAGEMENT NOTES & DETAILS

PCSM LEGEND

LIMIT OF DISTURBANCE & NPDES BOUNDARY	---
SUBSURFACE TESTING LOCATION	⊕ TP-16
DISCHARGE POINT	DP001
CHANNEL LINING	
SPILLWAY MATTING	
AMENDED SOILS	

LEGEND

EXISTING	PROPOSED
STORM MH	NEW MH
INLET	NEW INLET
DECIDUOUS TREE	1 AR
EVERGREEN TREE	1 PS
TREE ROW	
CONTOUR	
SPOT ELEVATION	
STREAM	
WETLANDS	
EDGE OF PAVEMENT	
EDGE OF GRAVEL	
BUTIMINOUS	
TYPICAL	
FINISHED FLOOR	
DOOR SILL	

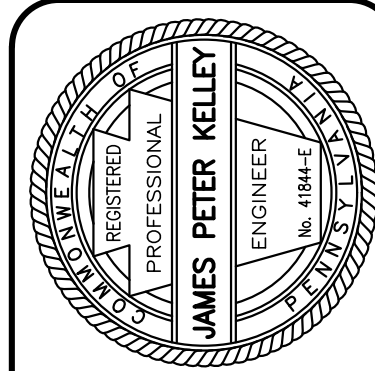
NOTE:
VERTICAL TEXT INDICATES PROPOSED FEATURES
SLANTED TEXT INDICATES EXISTING FEATURES

0 30' 60' 90'
SCALE: 1"=30'



Know what's below.
Call before you dig.
SITE SERIAL #20240651009

REVISIONS	DATE	BY
1. TOWNSHIP COMMENTS	11/29/24	TAL
2. MCO COMMENTS	3/4/25	TAL
3. TOWNSHIP COMMENTS	3/26/25	TAL



272.200.2050
baryrissett.com
525 Main Street, Suite 200
Stroudsburg, PA 18360

BARRY R. BARRY
R. BARRY
Associates, Inc.
MULTIDISCIPLINARY ENGINEERS AND CONSULTANTS

POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
WATER GAP WELLNESS RECREATION CENTER
WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

DATE:	8/26/2024	DSGN:	TAL/CRS
SCALE:	1"=30'	CHK:	CRS
DRAWN:	TAL/DFG	APPRD:	JKP
JOB:	1022419.004	P MGR:	JKP

COPYRIGHT 2024

SHEET: 24 OF 27

PC-1



SHEET PC-2
SHEET PC-1

REFER TO SHEET LA-1 FOR
PLANNING SCHEDULE,
CALCULATIONS, NOTES & DETAILS

PCSM BMP LIST

- BMP #1 - INFILTRATION BASIN
- BMP #2 - VEGETATED SWALE
- BMP #3 - VEGETATED SWALE

EXISTING	PROPOSED
PROPERTY BOUNDARY	PROPERTY BOUNDARY
LOT LINE	LOT LINE
BUILDING SETBACK	BUILDING SETBACK
LEGAL RIGHT-OF-WAY	LEGAL RIGHT-OF-WAY
EASEMENT	EASEMENT
BUILDING	BUILDING
CONCRETE	CONCRETE
GRAVEL	GRAVEL
EMERGENCY ACCESS DRIVE	EMERGENCY ACCESS DRIVE
SOIL BOUNDARY	SOIL BOUNDARY
UTILITY POLE	UTILITY POLE
OVERHEAD ELECTRIC	OVERHEAD ELECTRIC
WATER MAIN & VALVE	WATER MAIN & VALVE
SANITARY LINE, MANHOLE, & CLEANOUT	SANITARY LINE, MANHOLE, & CLEANOUT

LEGEND

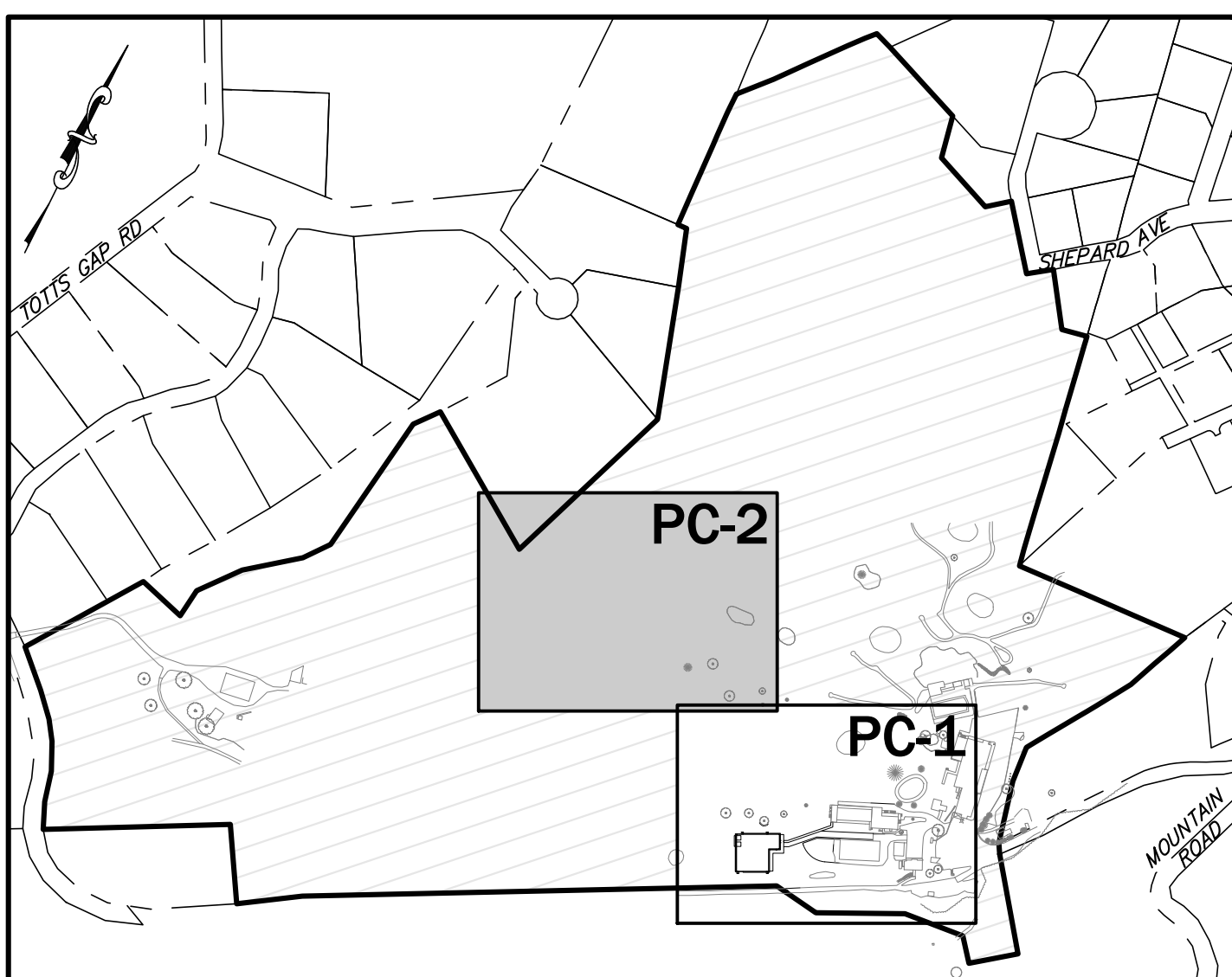
LIMIT OF DISTURBANCE & NPDES BOUNDARY	---
SUBSURFACE TESTING LOCATION	⊕ TP-16
DISCHARGE POINT	DP001
CHANNEL LINING	---
SPILLWAY MATING	---
AMENDED SOILS	---

PCSM LEGEND

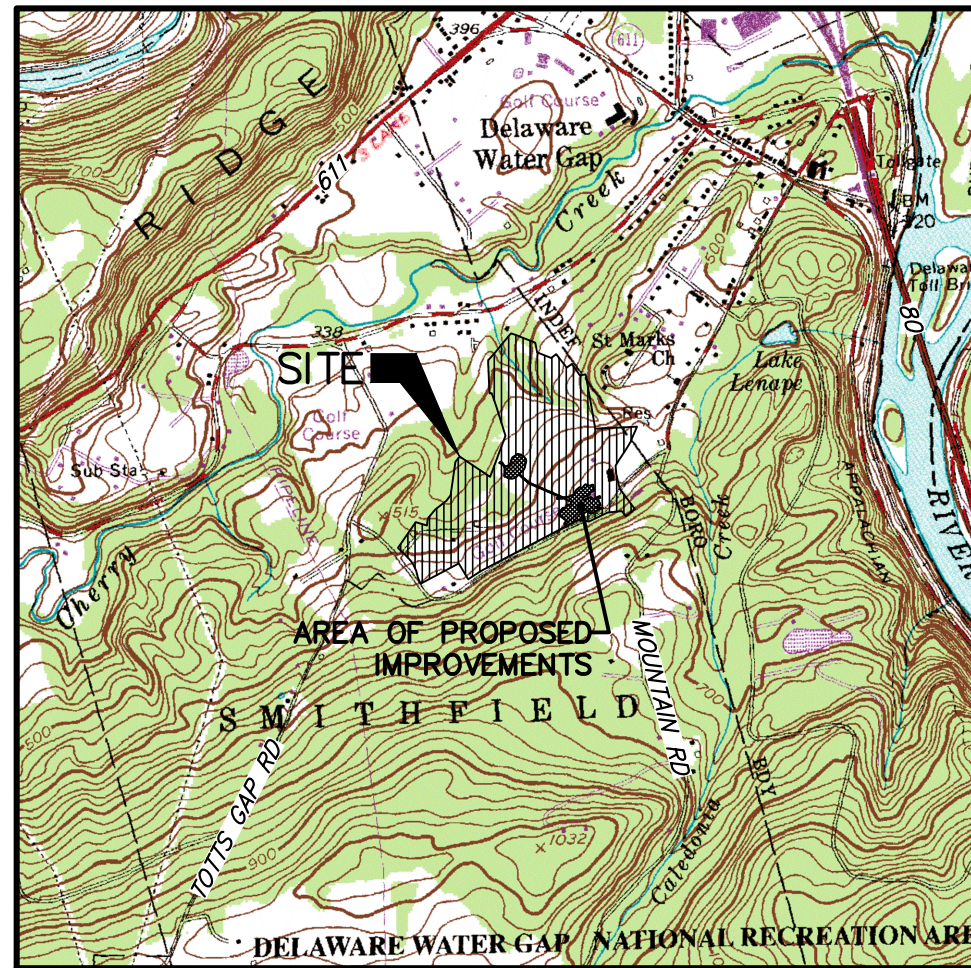
SOIL CLASSIFICATIONS

BaB	BATH CHANNERY SILT LOAM - HSG C
BaC	3 TO 8 PERCENT SLOPES
BaD	BATH CHANNERY SILT LOAM - HSG C
BaE	8 TO 15 PERCENT SLOPES
BaF	BATH CHANNERY SILT LOAM - HSG C
BaG	0 TO 8 PERCENT SLOPES, EXTREMELY STONY
BaH	BATH CHANNERY SILT LOAM - HSG C
BaI	8 TO 25 PERCENT SLOPES, EXTREMELY STONY
BaJ	BENSON-ROCK OUTCROP COMPLEX - HSG D
BaK	8 TO 25 PERCENT SLOPES
BaL	CHIPPEWA AND NORWICH SOIL - HSG D
BaM	0 TO 8 PERCENT SLOPES, EXTREMELY STONY
BaN	LACKAWANNA AND BATH SOILS - HSG D
BaO	STEEP, RUBBLY
BaP	MARDIN VERY STONY SILT LOAM - HSG D
BaQ	0 TO 8 PERCENT SLOPES

LIMIT OF DISTURBANCE: 3.15 ACRES
NPDES BOUNDARY: 3.15 ACRES
RECEIVING WATERS UNT TO CHERRY CREEK - CWF, MF IMPAIRED FOR PATHOGENS
REFER TO SHEET PCD-1 & PCD-2 FOR POST CONSTRUCTION STORMWATER MANAGEMENT NOTES & DETAILS



KEY MAP
SCALE: 1"=400'

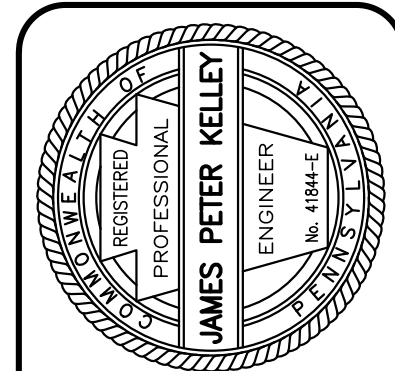


LOCATION MAP
USGS: STROUBURG QUADRANGLE
SCALE: 1"=2000'



Know what's below.
Call before you dig.
SITE SERIAL #20240651009

REVISIONS	DATE	BY
1. TOWNSHIP COMMENTS	11/25/24	TAL
2. MCO COMMENTS	3/4/25	TAL
3. TOWNSHIP COMMENTS	3/26/25	TAL



272.200.2050
baryisett.com
525 Main Street, Suite 200
Stroudsburg, PA 18360



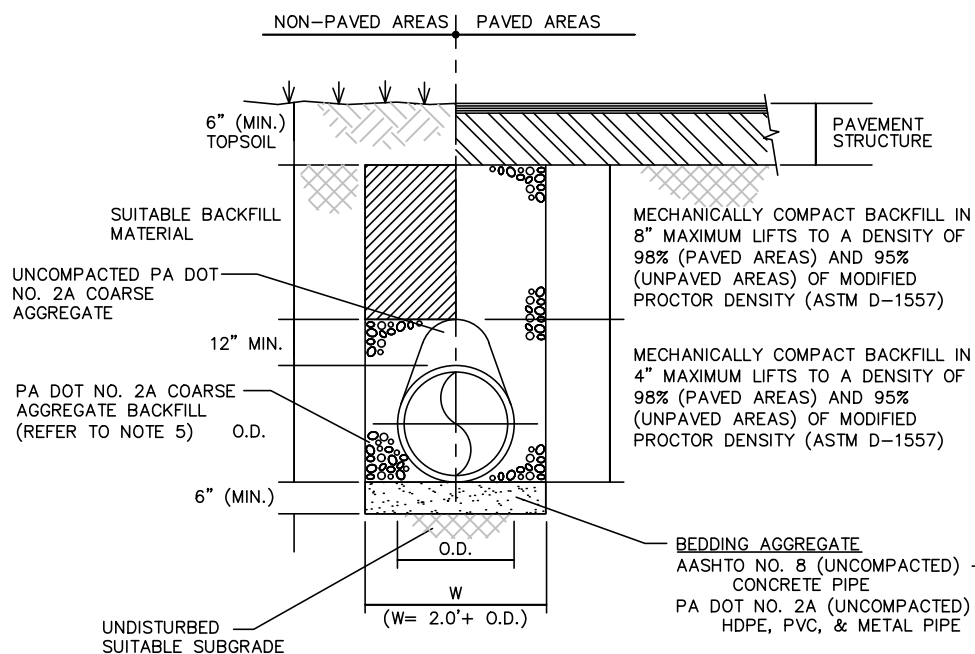
POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
WATER GAP WELLNESS RECREATION CENTER
WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

DATE:	8/26/2024	DSGN:	TAL/CRS
SCALE:	1"=30'	CHK:	CRS
DRAWN:	TAL/DFG	APPRD:	JKP
JOB:	1022419.004	P MGR:	JKP

COPYRIGHT 2024

SHEET: 25 OF 27

PC-2

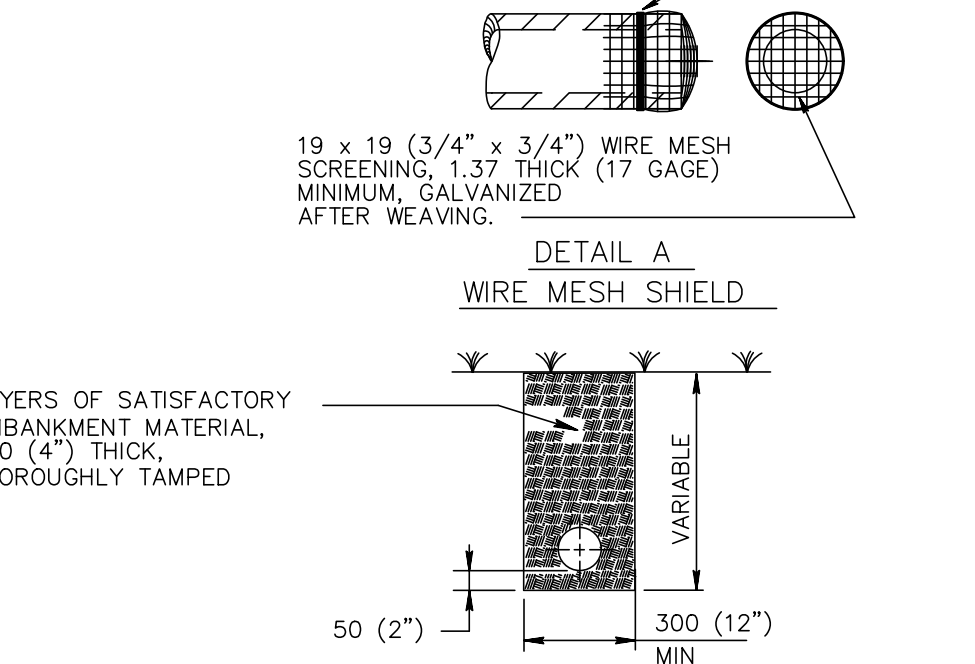


- NOTES:**
- EXCAVATE TRENCH BOX AND INSTALL SHORING AS REQUIRED TO COMPLY WITH FEDERAL, STATE, AND LOCAL LAWS AND CODES.
 - IF UNSUITABLE MATERIAL IS FOUND, UNDERGO AS DIRECTED BY THE ENGINEER AND BACKFILL WITH SUITABLE MATERIAL TO BOTTOM OF BEDDING ELEVATION.
 - KEEP EXCAVATIONS DRY AND FREE OF WATER. INTERCEPT AND DIVERT SURFACE DRAINAGE AWAY FROM EXCAVATIONS. DIVERT ANY PRECIPITATION AND SUBSURFACE WATER FROM EXCAVATIONS.
 - DO NOT ADVANCE TRENCHING OPERATIONS MORE THAN 200 FEET AHEAD OF COMPLETED PIPELINE.
 - ALL TRENCHES WITHIN PAVED AREAS SHALL BE BACKFILLED WITH FULL DEPTH PA DOT NO. 2A COARSE AGGREGATE.

TYPICAL STORM PIPE TRENCH & BACKFILL

N.T.S.

CRIMP AROUND OUTLET END OF PIPE AND SECURE TO PIPE WITH GALVANIZED STEEL WIRE OR OTHER ACCEPTABLE FASTENING METHODS. SEE NOTE 4.

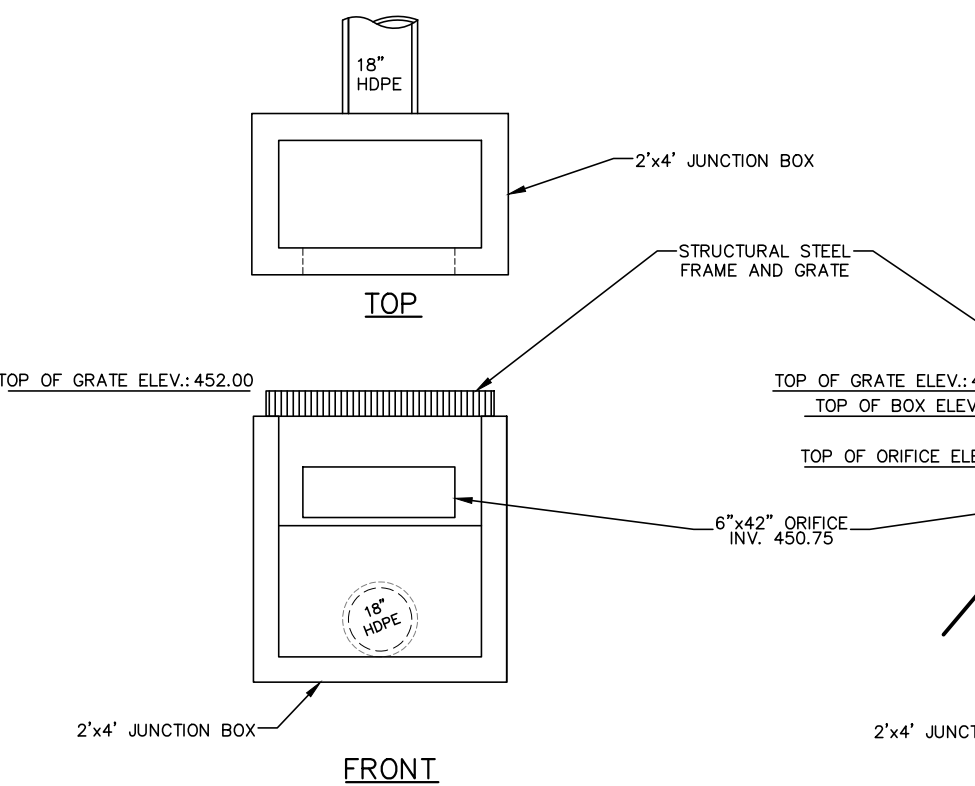


EXCAVATION OVER 900 (36") IN DEPTH AND FOR A MAXIMUM WIDTH OF 600 (24") IS PAYABLE AS CLASS 4 EXCAVATION. USE SUBSURFACE DRAIN OUTLETS FOR ALL PIPE UNDERDRAIN AND PAVEMENT BASE DRAINS.

SUBSURFACE DRAIN OUTLETS

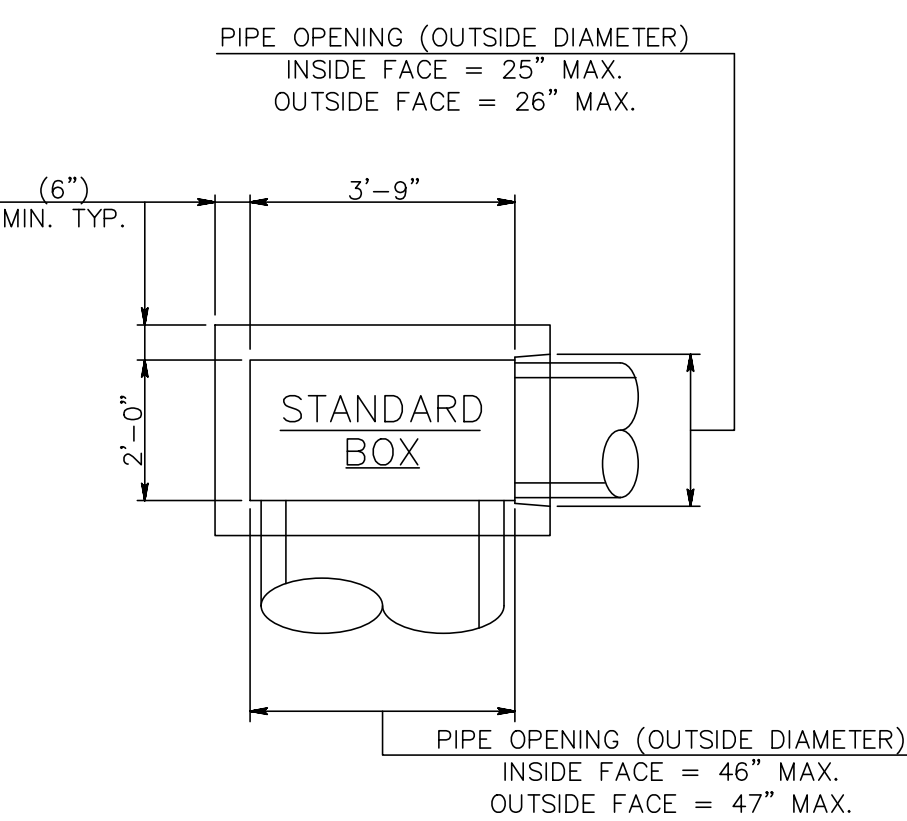
N.T.S.

REFER TO PENNDOT RC-30M, LATEST EDITION



OUTLET STRUCTURE DETAIL

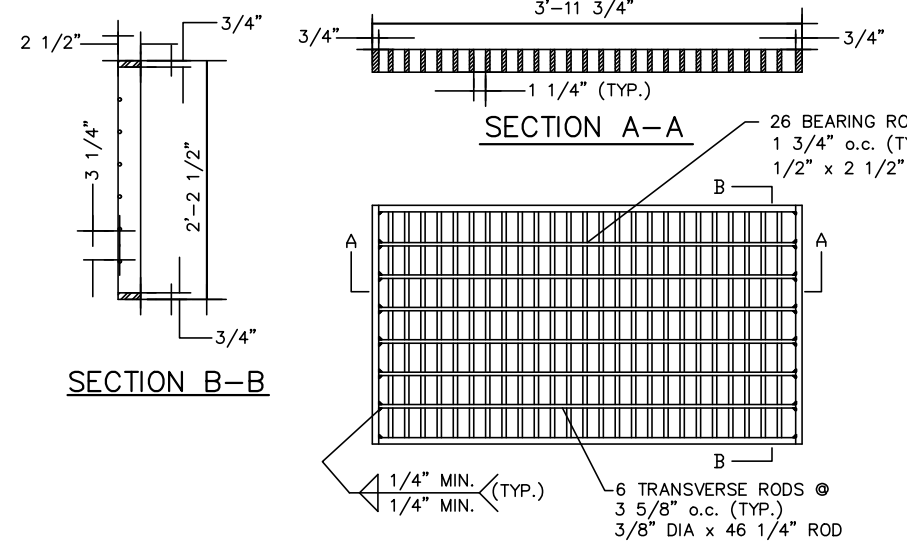
N.T.S.



STANDARD INLET BOX

N.T.S.

REFER TO PENNDOT RC-46M, LATEST EDITION FOR ADDITIONAL NOTES & REQUIREMENTS



STRUCTURAL STEEL GRATE BICYCLE SAFE

N.T.S.

REFER TO PENNDOT RC-45M & RC-46M, LATEST EDITION

POST CONSTRUCTION STORMWATER MANAGEMENT (PCSM) STANDARD NOTES

PERMIT TERMINATION

UPON PERMANENT STABILIZATION OF THE EARTH DISTURBANCE ACTIVITY UNDER § 102.22(A)(2) (RELATING TO PERMANENT STABILIZATION), AND INSTALLATION OF BMPS IN ACCORDANCE WITH AN APPROVED PLAN PREPARED AND IMPLEMENTED IN ACCORDANCE WITH §§ 102.4 AND 102.8 (RELATING TO EROSION AND SEDIMENT CONTROL REQUIREMENTS; AND PCSM REQUIREMENTS), THE PERMITTEE OR CO-PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION TO THE DEPARTMENT OR CONSERVATION DISTRICT.

THE NOTICE OF TERMINATION MUST INCLUDE:

- (1) THE FACILITY NAME, ADDRESS AND LOCATION.
- (2) THE OPERATOR NAME AND ADDRESS.
- (3) THE PERMIT NUMBER.
- (4) THE REASON FOR PERMIT TERMINATION.
- (5) IDENTIFICATION OF THE PERSONS WHO HAVE AGREED TO AND WILL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPS IN ACCORDANCE WITH § 102.8(M) AND PROOF OF COMPLIANCE WITH § 102.8(N)(2).

PCSM REQUIREMENTS

PCSM REPORTING AND RECORDKEEPING. THE PCSM PLAN, INSPECTION REPORTS AND MONITORING RECORDS SHALL BE AVAILABLE FOR REVIEW AND INSPECTION BY THE DEPARTMENT OR THE CONSERVATION DISTRICT.

LICENSED PROFESSIONAL OVERSIGHT OF CRITICAL STAGES.

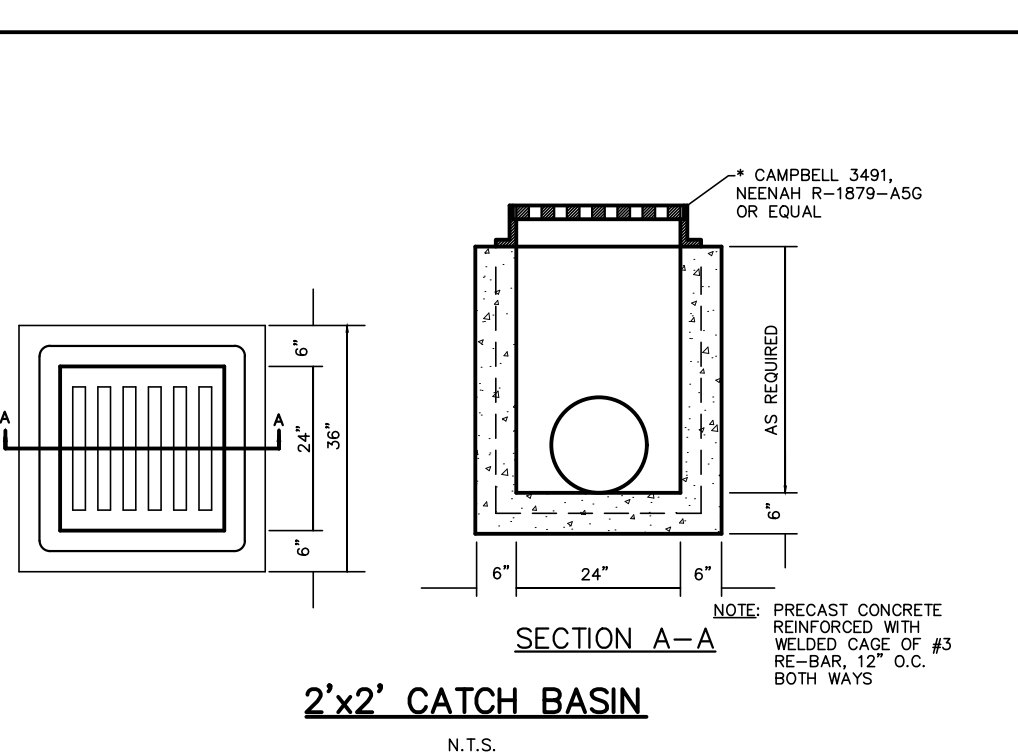
A LICENSED PROFESSIONAL OR A DESIGNER SHALL BE PRESENT ONSITE AND BE RESPONSIBLE DURING CRITICAL STAGES OF IMPLEMENTATION OF THE APPROVED PCSM PLAN. THE CRITICAL STAGES MAY INCLUDE THE INSTALLATION OF UNDERGROUND TREATMENT OR STORAGE BMPS, STRUCTURALLY ENGINEERED BMPS, OR OTHER BMPS AS DEEMED APPROPRIATE BY THE DEPARTMENT OR THE CONSERVATION DISTRICT.

FINAL CERTIFICATION.

THE PERMITTEE SHALL INCLUDE WITH THE NOTICE OF TERMINATION "RECORD DRAWINGS" WITH A FINAL CERTIFICATION STATEMENT FROM A LICENSED PROFESSIONAL, WHICH READS AS FOLLOWS:

"I (NAME) DO HEREBY CERTIFY PURSUANT TO THE PENALTIES OF 18 P.A.C.S.A. § 4904 TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THE ACCOMPANYING RECORD DRAWINGS ACCURATELY REFLECT THE AS-BUILT CONDITIONS, ARE TRUE AND CORRECT, AND ARE IN CONFORMANCE WITH CHAPTER 102 OF THE RULES AND REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THAT THE PROJECT SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PCSM PLAN, ALL APPROVED PLAN CHANGES AND ACCEPTED CONSTRUCTION PRACTICES."

- (1) THE PERMITTEE SHALL RETAIN A COPY OF THE RECORD DRAWINGS AS A PART OF THE APPROVED PCSM PLAN.
- (2) THE PERMITTEE SHALL PROVIDE A COPY OF THE RECORD DRAWINGS AS A PART OF THE APPROVED PCSM PLAN TO THE PERSON IDENTIFIED IN THIS SECTION AS BEING RESPONSIBLE FOR THE LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPS.



2'x2' CATCH BASIN

N.T.S.

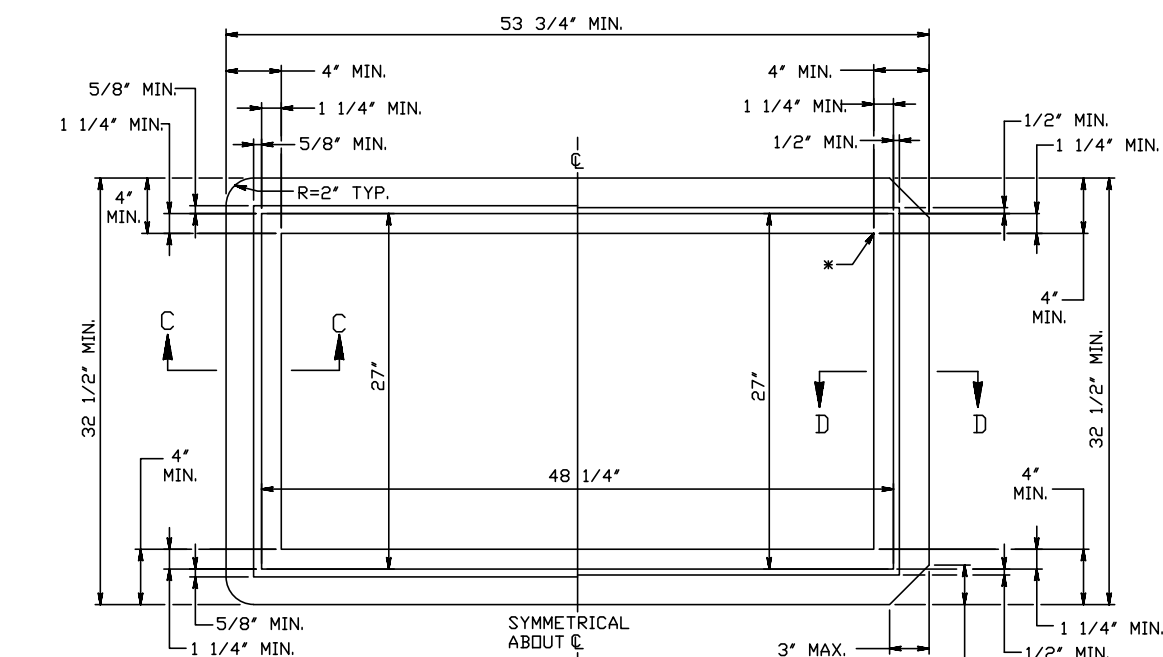
NOTES:

1. CONSTRUCTION REQUIREMENTS:
 - A. CONSTRUCT IN ACCORDANCE WITH PUBLICATION 408, SECTIONS 605, 606 AND 714; AND AS MODIFIED HEREIN.
 - B. MINIMUM CONCRETE CLASS:
 - PRE CAST CLASS AA
 - C. PROVIDE STEEL REINFORCEMENT IN ACCORDANCE WITH PUBLICATION 408, SECTION 709, PROVIDE MINIMUM YIELD STRENGTH OF 400 MPa (60,000 PSI).
 - D. CLEAR COVER FOR STEEL:
 - WALLS: PRE CAST 1"-1/2"
 - FOOTINGS: PRE CAST 1"-1/2" BOTTOM BARS
 - 1"-1/2" SIDE COVER
2. EACH TYPE OF INLET SHOWN IS SUITED FOR A PARTICULAR SITUATION AS FOLLOWS:
 - TYPE "C" INLET IS DESIGNATED FOR INSTALLATION WITH NON-MOUNTABLE CURBS.
 - TYPE "M" INLET IS DESIGNATED FOR INSTALLATION IN MEDIAN AREAS AND MOUNTABLE CURBS.
3. THE SELECTION OF COMPONENTS TO ACHIEVE A SPECIFIED INLET ASSEMBLY IS THE CONTRACTOR'S RESPONSIBILITY.
4. USE PRE CAST CONCRETE OR STEEL GRADE ADJUSTMENT RINGS WHEN REQUIRED. (REHABILITATION PROJECTS)
5. FOR WALL REINFORCEMENT, BOTH DIRECTIONS, USE 10" MINIMUM EACH WAY, EACH FACE 6" MAXIMUM SPACING.
6. FOR FOOTING REINFORCEMENT, TOP AND BOTTOM, USE #4 BARS AT 12" CENTER EACH WAY OR 17" WWF 6" MAXIMUM SPACING.
7. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED. U.S. CUSTOMARY UNITS IN PARENTHESES.
8. PROVIDE WEEP HOLE ON INLET BOXES WHEN REQUIRED.
9. PIPES MAY BE CONNECTED TO DRAINAGE STRUCTURES (PRE CAST INLETS, ETC.) WITH MORTAR OR WATER TIGHT RUBBER FLEXIBLE CONNECTORS.

TYPE "M" INLET

REFER TO PENNDOT RC-45M & RC-46M, LATEST EDITION

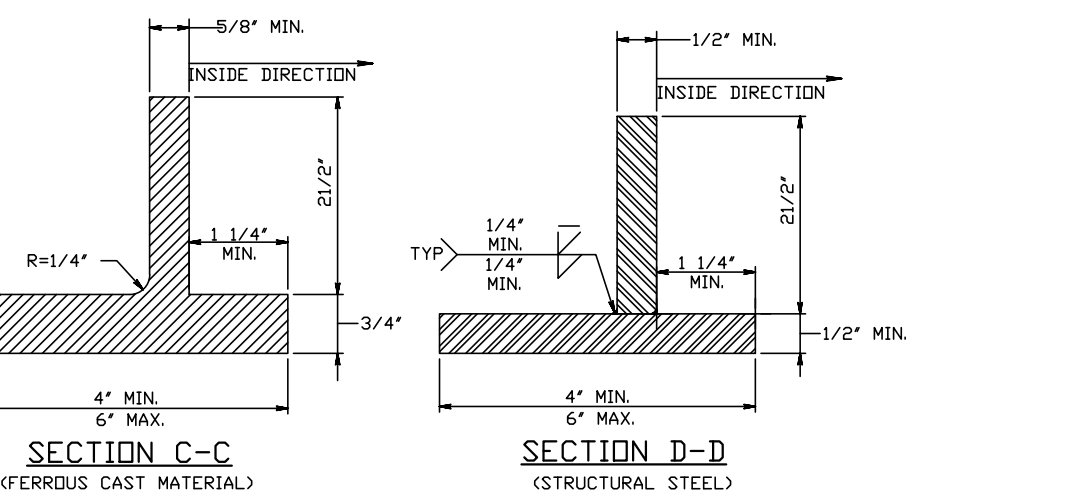
N.T.S.



TYPE M INLET FRAME

N.T.S.

REFER TO PENNDOT RC-45M, LATEST EDITION



TYPE M INLET FRAME

N.T.S.

REFER TO PENNDOT RC-45M, LATEST EDITION

INFILTRATION BASIN

TYPICAL INFILTRATION BASIN CONSTRUCTION SEQUENCE:

NOTE: ENGINEER SHALL BE NOTIFIED AND ON-SITE FOR STEPS 4, 5, AND 6.

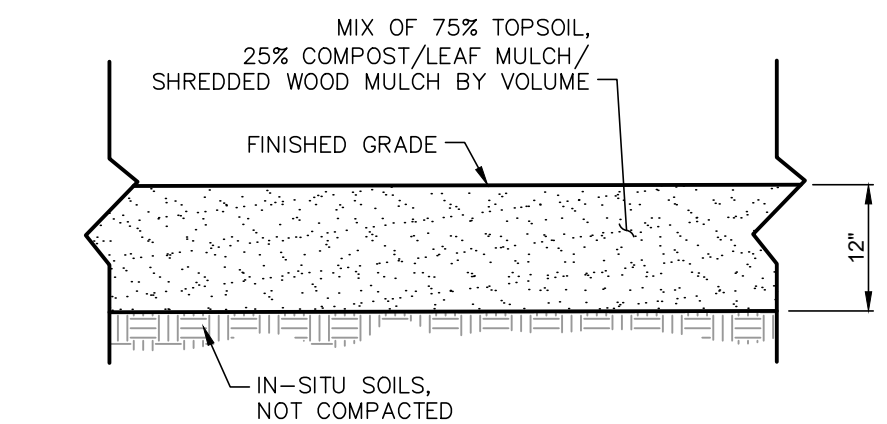
1. PROTECT INFILTRATION BASIN AREA FROM COMPACTION PRIOR TO INSTALLATION. CONSTRUCTION VEHICLES SHALL NOT DRIVE OVER INFILTRATION BASIN AREA BEFORE, DURING, OR AFTER CONSTRUCTION, EXCEPT AS NEEDED FOR POLLUTANT REMEDIATION.
2. INSTALL AND MAINTAIN PROPER EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION TO PREVENT SEDIMENT FROM ENTERING THE INFILTRATION BASIN DURING CONSTRUCTION. PIPES AND INLETS SHALL BE VACUUMED, RATHER THAN FLUSHED INTO THE BASIN.
3. INSTALL BASIN OUTFLOW PIPES AND STRUCTURES.
4. EXCAVATE INFILTRATION BASIN BOTTOM TO AN UNCOMPACTED SUBGRADE FREE FROM DEBRIS AND STONES LARGER THAN 2 INCHES IN ANY DIRECTION. DO NOT COMPACT SUBGRADE. CONSTRUCTION VEHICLES SHALL NOT DRIVE WITHIN THE LIMITS OF THE BASIN BOTTOM (WITHIN 2 VERTICAL FEET OF SUBGRADE ELEVATION), AND EXCAVATION SHALL BE COMPLETED FROM THE SIDES OF THE BASIN. CONSTRUCT BERM IN COMPACTED LIFTS.
5. HALT EXCAVATION AND NOTIFY ENGINEER IMMEDIATELY IF EVIDENCE OF SNKHOLE ACTIVITY OR PINNACLES OF CARBONATE BEDROCK ARE ENCOUNTERED IN THE BIO-RETENTION AREA.
6. SCARIFY SUBGRADE TO LOOSEN TOP 4-6 INCHES. SPREAD MINIMUM 6 INCHES OF IMPORTED TOPSOIL, SEED, AND STABILIZE. ADD BASIN PLANTINGS PER PLANS. STABILIZE BASIN SLOPES WITH EROSION CONTROL MATTING.
7. PROTECT BIO-RETENTION AREAS FROM SEDIMENT AT ALL TIMES DURING CONSTRUCTION. DO NOT REMOVE INLET PROTECTION OR OTHER EROSION AND SEDIMENT CONTROL MEASURES UNTIL SITE IS FULLY STABILIZED.
8. WATER SEEDING/GRASS ONCE EVERY TWO DAYS IN THE EARLY MORNING OR EVENING, PROVIDING ONE INCH OF WATER PER WEEK UNTIL 70% UNIFORM GRASS COVER IS ESTABLISHED.

TYPICAL INFILTRATION BASIN MAINTENANCE:

1. CATCH BASINS AND INLETS (UPGRADIENT OF INFILTRATION BASIN) SHOULD BE INSPECTED AND CLEANED AT LEAST TWO TIMES PER YEAR AND AFTER RUNOFF EVENTS.
2. THE VEGETATION ALONG THE SURFACE OF THE INFILTRATION BASIN SHOULD BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS RE-VEGETATED AS SOON AS POSSIBLE.
3. VEHICLES SHOULD NOT BE PARKED OR DRIVEN ON AN INFILTRATION BASIN, AND CARE SHALL BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS.
4. INSPECT THE BASIN AFTER RUNOFF EVENTS AND MAKE SURE THAT RUNOFF DRAINS DOWN WITHIN 72 HOURS. MOSQUITOES SHOULD NOT BE A PROBLEM IF THE DRAIN DRAINS IN 72 HOURS. MOSQUITOES REQUIRE A CONSIDERABLY LONG BREEDING PERIOD WITH RELATIVELY STATIC WATER LEVELS.
5. ALSO INSPECT FOR ACCUMULATION OF SEDIMENT, DAMAGE TO OUTLET CONTROL STRUCTURES, EROSION CONTROL MEASURES, SIGNS OF WATER CONTAMINATION/SPILLS, AND SLOPE STABILITY IN THE BERMS.
6. MOW ONLY AS APPROPRIATE FOR VEGETATIVE COVER SPECIES.
7. REMOVE ACCUMULATED SEDIMENT FROM BASIN AS REQUIRED. RESTORE ORIGINAL CROSS-SECTION AND INFILTRATION RATE. PROPERLY DISPOSE OF SEDIMENT.

SOIL RESTORATION NOTES

1. BEFORE THE TIME THE COMPOST IS PLACED AND PREFERABLY WHEN EXCAVATION IS COMPLETE, THE SUBSOIL SHALL BE IN A LOOSE, FRAGILE CONDITION TO A DEPTH OF 20 INCHES BELOW FINAL TOPSOIL GRADE AND THERE SHALL BE NO EROSION RILLS OR WASHOUTS IN THE SUBSOIL SURFACE EXCEEDING 3 INCHES IN DEPTH.
2. TO ACHIEVE THIS CONDITION, SUB-SOLING, RIPPING, OR SCARIFICATION OF THE SUBSOIL WILL BE REQUIRED. WHEREVER THE SUBSOIL HAS BEEN COMPACTED BY EQUIPMENT OPERATION OR HAS BECOME DRIED OUT AND CRUSTED, AND WHERE NECESSARY TO ULTERATE EROSION RILLS, SUB-SOLING SHALL BE REQUIRED TO REDUCE SOIL COMPACTION IN ALL AREAS WHERE PLANT ESTABLISHMENT IS PLANNED. SUB-SOLING SHALL BE PERFORMED BY THE PRIME OR EXCAVATING CONTRACTOR AND SHALL OCCUR BEFORE COMPOST PLACEMENT.
3. SPREAD 2-3 INCHES OF APPROVED COMPOST ON EXISTING SOIL. TILL ADDED SOIL INTO EXISTING SOIL WITH ROTARY TILLER THAT IS SET TO A DEPTH OF 6 INCHES. ADD AN ADDITIONAL 4 INCHES OF APPROVED COMPOST TO BRING THE AREA UP TO GRADE.
4. AFTER PERMANENT PLANTING/SEEDING, 2-3 INCHES OF COMPOST BLANKET WILL BE APPLIED TO ALL AREAS NOT PROTECTED BY GRASS OR OTHER PLANTS.



NOTES:

COMPACTED TOPSOIL/N-SITU SOL WITHIN THE BOTTOM OF THE BMP BOTTOM WILL REQUIRE SOILS RESTORATION, AS FOLLOWS:

SOILS RESTORATION SHALL TAKE PLACE ONLY WHEN THE SOIL IS DRY. THE SOIL SHALL BE SCARIFIED TO A DEPTH OF 8 INCHES. SOIL SHALL BE SCARIFIED IN A 2-DIRECTIONAL GRID PATTERN. THE SCARIFIED GRID SHALL BE SPACED A MAXIMUM OF 3 FEET APART.

IMMEDIATELY AFTER SCARIFYING IS COMPLETE, ADD AMENDED SOILS AND THEN THE DISTURBED AREAS SHALL BE SEEDDED AND MULCHED.

AMENDED SOILS DETAIL

NOT TO SCALE

POST-CONSTRUCTION STORMWATER MANAGEMENT WATER QUALITY CONTROL SEED MIXTURE

Botanical Name	Root	Notes
Uniform Cover (mechanical broadcast)		
andropogon virginicus	seed	26/1000 SF
andropogon virginicus	seed	18/1000 SF
panicum virginum	seed	0.59/1000 SF
dichanthium scoparium	seed	0.25/1000 SF
coris trifoliorum	seed	0.25/1000 SF
lolum multiflorum	seed	0.59/1000 SF
Swath/Group Cover (hand spread)		
cystis novae-angliae	seed	18/1000 SF
eupatorium purpureo	seed	0.25/1000 SF
iris versicolor	seed	0.25/1000 SF
lobelia cardinalis	seed	0.25/1000 SF

Maintenance Performance	Frequency
1. Inspect for sediment accumulation	Annually
2. Remove accumulated sediment	Every 5-10 years
3. Inspect for debris (dead vegetation and trash)	Early spring, fall and after major storms
4. Inspect for bank erosion	Early spring, fall and after major storms
5. Clear debris/repair erosion areas	As needed
6. Rake out dead vegetation	Annually, early spring
7. Inspect and remove invasive plants	Annually - July
8. Mow to a height of 6"	Annually - late fall
9. Inspect during wet weather and compare to as-built plans (by prof. engineer)	Annually
10. Adjust/correct as determined by wet weather inspection	As needed
11. Maintain records on all activities	Annually
12. Conduct emergency inspections by prof. engineer	As needed

MAINTENANCE: THE OWNER WILL MOW THE SWALES AND BASIN AREAS TO WITHIN 6 INCHES HIGH, ONCE A YEAR, IN THE FALL, WHEN CONDITIONS PERMIT. THE OWNER SHALL MAINTAIN AND PERIODICALLY CHECK THE BASIN AND SWALES TO OBSERVE ANY EROSION PROBLEMS THAT MAY BE DEVELOPING. ANY DAMAGED AREAS SHALL BE REPAIRED IMMEDIATELY. ANY TRASH/DEBRIS SHALL BE REMOVED FROM PLANTINGS. ANNUALLY CHECK FOR INVASIVE PLANT SPECIES AND REMOVE TO ENCOURAGE A NATIVE PLANT SPECIES HABITAT.

STORMWATER BMP CONSTRUCTION NOTES

1. SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS, OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.
2. TRASH THAT IS REMOVED FROM ANY OF THE CONTROL DEVICES SHALL BE DISPOSED OF AT AN APPROVED MUNICIPAL DISPOSAL AREA.
3. ALL CATCH BASINS AND INLETS SHOULD BE INSPECTED AND CLEANED AT LEAST 2 TIMES PER YEAR.

CRITICAL STAGES OF PCSM IMPLEMENTATION

CRITICAL STAGES OF POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN (PCSM) IMPLEMENTATION SHOULD BE OBSERVED AND/OR INSPECTED BY A LICENSED PROFESSIONAL OR DESIGNER. THESE CRITICAL STAGES INCLUDE THE CONSTRUCTION OF CRITICAL BMPS AND ANY OTHER ACTIVITIES AS MAY BE REQUIRED BY THE DEP OR CONSERVATION DISTRICT. THESE CRITICAL BMPS INCLUDE:

- CONSTRUCTION OF INFILTRATION BASIN
- INSTALLATION OF AMENDED SOILS
- VERIFY TRIBUTARY AREAS

A LICENSED PROFESSIONAL QUALIFIED TO OBSERVE AND INSPECT THE ABOVE SHOULD BE CONTACTED AT LEAST THREE (3) DAYS PRIOR TO EXECUTION OF ANY CRITICAL STAGES.

CONSTRUCTION, OWNERSHIP, OPERATIONS, & MAINTENANCE PROCEDURES

POST CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP) AS PROPOSED HEREON, SHALL BE OWNED, OPERATED, AND MAINTAINED AS FOLLOWS:

LANCE PULSE, FACILITY DIRECTOR
P.O. BOX 244
DELAWARE WATERGAP, PA. 18327
LPULSE@WATERGAPWELLNESS.COM
570-269-8977

OPERATIONS AND MAINTENANCE RESPONSIBILITIES SHALL BE TRANSFERRED TO ANY SUBSEQUENT OWNER(S). UPON TRANSFERENCE, PARTY CURRENTLY RESPONSIBLE SHALL PROVIDE A COPY OF THE RECORD DRAWINGS AS PART OF THIS APPROVED PCSM PLAN TO THE NEW OWNER.

BMPS, AS PROPOSED, SHALL BE OPERATED & MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

PCSM LONG TERM OPERATIONS AND MAINTENANCE REQUIREMENTS

UNTIL THE PERMITTEE OR CO-PERMITTEE HAS RECEIVED WRITTEN APPROVAL OF A NOTICE OF TERMINATION, THE PERMITTEE OR CO-PERMITTEE WILL REMAIN RESPONSIBLE FOR COMPLIANCE WITH THE PERMIT TERMS AND CONDITIONS INCLUDING LONG-TERM OPERATION AND MAINTENANCE OF ALL PCSM BMPS ON THE PROJECT SITE AND IS RESPONSIBLE FOR VIOLATIONS OCCURRING ON THE PROJECT SITE. THE DEPARTMENT OR CONSERVATION DISTRICT WILL CONDUCT A FINAL INSPECTION AND APPROVE OR DENY THE NOTICE OF TERMINATION WITHIN 30 DAYS.

THE PERMITTEE OR CO-PERMITTEE SHALL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF PCSM BMPS UNLESS A DIFFERENT PERSON IS IDENTIFIED IN THE NOTICE OF TERMINATION AND HAS AGREED TO LONG-TERM OPERATION AND MAINTENANCE OF PCSM BMPS.

FOR ANY PROPERTY CONTAINING A PCSM BMP, THE PERMITTEE OR CO-PERMITTEE SHALL RECORD AN INSTRUMENT WITH THE RECORDER OF DEEDS WHICH WILL ASSURE DISCLOSURE OF THE PCSM BMP AND THE RELATED OBLIGATIONS IN THE ORDINARY COURSE OF A TITLE SEARCH OF THE SUBJECT PROPERTY. THE RECORDED INSTRUMENT MUST IDENTIFY THE PCSM BMP, PROVIDE FOR NECESSARY ACCESS RELATED TO LONG-TERM OPERATION AND MAINTENANCE FOR PCSM BMPS AND PROVIDE NOTICE THAT THE RESPONSIBILITY FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP IS A COVENANT THAT RUNS WITH THE LAND THAT IS BINDING UPON AND ENFORCEABLE BY SUBSEQUENT GRANTEE, AND PROVIDE PROOF OF FILING WITH THE NOTICE OF TERMINATION UNDER § 102.7(B)(5) (RELATING TO PERMIT TERMINATION)

THE PERSON RESPONSIBLE FOR PERFORMING LONG-TERM OPERATION AND MAINTENANCE MAY ENTER INTO AN AGREEMENT WITH ANOTHER PERSON INCLUDING A CONSERVATION DISTRICT, NONPROFIT ORGANIZATION, MUNICIPALITY, AUTHORITY, PRIVATE CORPORATION OR OTHER PERSON, TO TRANSFER THE RESPONSIBILITY FOR LONG-TERM OPERATION AND MAINTENANCE OF PCSM BMPS OR TO PERFORM LONG-TERM OPERATION AND MAINTENANCE AND PROVIDE NOTICE THEREOF TO THE DEPARTMENT.

A PERMITTEE OR CO-PERMITTEE THAT FAILS TO TRANSFER LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP OR OTHERWISE FAILS TO COMPLY WITH THIS REQUIREMENT SHALL REMAIN JOINTLY AND SEVERALLY RESPONSIBLE WITH THE LANDOWNER FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPS LOCATED ON THE PROPERTY.

CLEAN FILL NOTES

1. IF THE SITE WILL NEED TO IMPORT OR EXPORT MATERIAL FROM THE SITE, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND DETERMINATION OF CLEAN FILL WILL REST WITH (CONTRACTOR).
2. CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE MATERIAL INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE).
3. CLEAN FILL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE: FILL MATERIALS AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE STILL QUALIFIES AS CLEAN FILL PROVIDED THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS IN TABLES FP-1A AND FP-1B FOUND IN THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".
4. ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL. A COPY OF FORM FP-001 CAN BE FOUND AT THE END OF THESE INSTRUCTIONS.
5. ENVIRONMENTAL DUE DILIGENCE: THE APPLICANT MUST PERFORM ENVIRONMENTAL DUE DILIGENCE TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".
6. FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA. CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE. THESE REGULATIONS ARE AVAILABLE ON-LINE AT WWW.PACODE.COM.

RECYCLING OR DISPOSAL OF MATERIALS

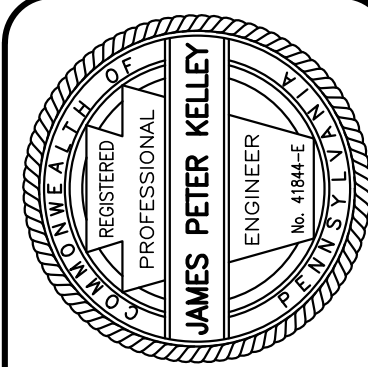
RECYCLING OR DISPOSAL OF MATERIALS ASSOCIATED WITH OR FROM THIS PROJECT SITE WILL BE UNDERTAKEN IN ACCORDANCE WITH PA DEP RULES AND REGULATIONS.

SEDIMENT REMOVED FROM BMPS AND STORMWATER FACILITIES SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED OR PLACED IN TOPSOIL STOCKPILES.

ON-GOING PROJECT WASTES INCLUDE, BUT MAY NOT BE LIMITED TO, THE FOLLOWING:

- SEDIMENT
- TRASH/DEBRIS
- VEGETATION CLIPPINGS AS MAY RESULT FROM MAINTENANCE

BY	TAL
DATE	11/28/24
1. TOWNSHIP COMMENTS	3/4/25
2. MCO COMMENTS	3/26/25
3. TOWNSHIP COMMENTS	



272-200-2050
baryri@tsc.com
525 Main Street, Suite 200
Stroudsburg, PA 18360

BARRY RISETT & Associates, Inc.
MULTIDISCIPLINARY ENGINEERS AND CONSULTANTS

POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS
WATER GAP WELLNESS RECREATION CENTER
WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

DATE:	8/26/2024	DSGN:	TAL/CRS
SCALE:	AS NOTED	CHK:	CRS
DRAWN:	TAL/DFG	APPRD:	JKP
JOB#:	1022419.004	P MGR:	JKP

COPYRIGHT 2024

SHEET: 26 OF 27

PCD-1



BARRY
ISETT &
associates
INC.

MULTI-DISCIPLINE ENGINEERS AND CONSULTANTS

DATE: 8/26/2024	DSGN: TAL/CRS
SCALE: AS NOTED	CHK: CRS
DRAWN: TAL/DFG	APPRD: JPK
JOB: 1022419.004	P MGR: JPK
COPYRIGHT 2024	
SHEET: 27 OF 27	

SHEET: 27 OF 27



- PROVIDE A GASKET SEALING SYSTEM (DOWELT GROOVE AND CONTINUOUS GASKET), AS INDICATED IN DETAIL A, TO PREVENT LEAKAGE OF WATER INTO THE MANHOLE SYSTEM. WHEN SPECIFIED, PROVIDE A GASKET SYSTEM CONSISTING OF TWO (2) 1/2" DIA. DOWELT RODS, 1/2" DIA. GASKET, AND 1/2" DIA. DOWELT RODS, 4" LONG, GLUED IN PLACE. PROVIDE TWO (2) LIFT HOLES TO ALLOW FOR EASY MANHOLE COVER REMOVAL FOR SELF-SERVING MANHOLE COVER.
- PROVIDE ONE LIFT HOLE TO FACILITATE COVER REMOVAL FOR NON-SERVING MANHOLES.
- 5. FRAME AND GRADE ADJUSTMENT RISER TO HAVE A MINIMUM 1" BEARING SLEEF FOR COVER.
- 6. PROVIDE GRADE ADJUSTMENT RISER TO HAVE "A/B" BELOW THE TOP OF ROADWAY SURFACE.
- 7. GRADE ADJUSTMENT RISERS
- 7.1. PROVIDE GRADE ADJUSTMENT RISERS MEETING THE REQUIREMENTS OF PUBLICATION 408 SPECIFICATIONS, SECTION 606, AND AS MODIFIED HEREIN.
- 8. EACH ADJUSTMENT RISER TO BE CUSTOM FABRICATED FROM MEASUREMENTS PROVIDED WITH EACH ORDER.
- 9. BAR STOCK AND RETAINER CLIP TO BE MANUFACTURED FROM 304 STAINLESS STEEL. PROVIDE 1/2" DIA. EXTERIOR. THE MINIMUM REQUIREMENTS OF A.S.T.M. A-36.
- 10. PROVIDE 1/2" DIA. RETAINER CLIP TO BE REQUIRED FOR BOTH TOP AND BOTTOM RISERS. THE INNER WELD TO BE BEVEL GROOVE TO PROVIDE A FINISH TO THE WELD TO BE SMOOTH. THE MANHOLE AND THE OUTER WELD TO BE FILLET WELD.
- 11. MINIMUM 1/8" DIA. OF BOTTOM AND TOP BAR STOCK TO BE 1/2" DIA. OF RETAINER CLIP.
- 12. PROVIDE 1/2" DIA. OF BOTTOM BAR STOCK FOR MULTI-PHASE ADJUSTMENT RISER TO BE USED FOR 1" DIA. OF RETAINER CLIP.
- 13. PROVIDE 1/2" DIA. OF BOTTOM BAR STOCK TO BE ADEQUATELY REINFORCED TO PREVENT BENDING.
- 14. PROVIDE AN ADJUSTMENT RISER WHICH IS FLUSH WITH COVER AND DOES NOT ALLOW EXCESSIVE MOVEMENT.
- 15. PROVIDE AN ADJUSTMENT RISER WHICH IS CONFORMING TO THE SHAPE OF THE ORIGINAL FRAME.
- 16. FRAME AND/OR PRECAST CONCRETE RISER USE 1/2" DIA. THREADED STUDS WITH HEX HEAD NUTS AND WASHERS, INSERTED THROUGH THE RISER AND INTO THE MANHOLE. PROVIDE 1/2" DIA. HOLES TO BE SPACED AT 120" AND 2" FROM OUTSIDE EDGE OF RISER TO BE USED FOR MANHOLE COVER REMOVAL. PROVIDE 1/2" DIA. STUDS INTO MANHOLE.
- 17. THE BASE OF THE FRAME AND/OR PRECAST CONCRETE GRADE ADJUSTMENT RISER TO BE 1" CEMENT MORTAR.

