

**JLS SURVEYING  
LLC**

224 NEW YORK BLVD.  
EFFORT, PA 18330  
PHONE: (570)350-4706  
JLS.SURVEYING@GMAIL.COM

DATE  
10/5/2021



PROPERTY OWNERS

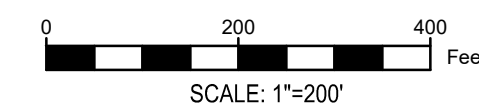
1. NAHID NESARI - FRANKLIN HILL ROAD PARCEL 16.7E.1.28
2. DONALD W. & RUTH ANN POPE - 157 HIDDEN VALLEY DR.
3. ANDREW SHUKAITIS - 6315 FRANKLIN HILL RD.
4. DANA GILBERT - 110 HIDDEN VALLEY DR.
5. ANDRWE SHUKAITIS - HIDDEN VALLEY DR. PARCEL 16.7.2.23-2
6. JOSEPH SHUKAITIS - 6277 FRANKLIN HILL RD.
7. ANTHONY GRECO - 6193 FRANKLIN HILL RD.
8. LAURA M. ZAPLISHNY - 6241 FRANKLIN HILL RD.
9. NEL S. JONES - 6255 FRANKLIN HILL RD.
10. FRANK J. & LISA M. IMBERT - FRANKLIN HILL RD. PARCEL 16.9.2868
11. FRANK J. & LISA M. IMBERT - 6227 FRANKLIN HILL RD.
12. ANAIS MEZA - 301 MUSIC CENTER DR.
13. ALBERT H. & KAREN H. DUDLEY - 6242 FRANKLIN HILL RD.
14. ZAKIYAH WILLIAMS - 292 MUSIC CENTER DR.
15. REYNALDO ALBERTO - 299 MUSIC CENTER DR.
16. IVAN M. & JESSICA V. RIVERA - 284 MUSIC CENTER DR.
17. DAVID J. LANTZ JR. FAMILY TRUST - 280 MUSIC CENTER DR.
18. CHARLES A. & GRACE BARZYDLO - 270 MUSIC CENTER DR.
19. N & B CONSTRUCTION LLC - MUSIC CENTER DR. PARCEL 16.7F.1.2
20. LYNN C. & SUSAN D. LESOINE - FRANKLIN HILL RD. PARCEL 16.7F.1.10
21. LYNN C. & SUSAN D. LESOINE - 6248 FRANKLIN HILL RD.
22. ELIZABETH YUNG SOOK MOON - 100 WOODWIND CT.
23. LOUIS ROMANO - 76 SYMPHONY DR.
24. RICKY & LILLIAN T. RIVERA - 74 SYMPHONY DR.
25. ROBERT HOODIMAN - 72 SYMPHONY DR.
26. THE TYLER GORDON TRUST - 70 SYMPHONY CIR.
27. LORRAINE M. PENTON - 68 SYMPHONY CIR.
28. KIMBERLY S. ADAMS - 66 SYMPHONY CIR.
29. JESSICA RODRIGUEZ - 64 SYMPHONY CIR.
30. PIETRO & AMALIA DESANTIS - 62 SYMPHONY CIR.
31. IVOR R. SQUIRES - 60 SYMPHONY CIR.
32. GREGORY J. & LINDA E. YEAGER - 50 BROOK SONG WAY
33. KAMALUDDIN ALLADIN - 71 SYMPHONY CIR.
34. RENATO & INGRID NARANJO - 69 SYMPHONY CIR.
35. CHARLES M. & JEANETTE P. YEAGER - 65 SYMPHONY CIR.
36. CARLOS A. & SANDRA C. RAUDA - 63 SYMPHONY CIR.
37. RONALD & NIKKI D. LANGFORD - 51 BROOK SONG WAY
38. ERIC J. CASSELL - 224 DOCTOR LANE
39. ANTHONY QUINONES - 141 BULLDOG HL.
40. DAVID W. SMOKE - GAP VIEW DR.
41. FIDORO F. & SUSAN SCALERCIO - 131 BULLDOG HL.
42. ROBERT L. & PAULA L. WILLISTON - 2383 GAP VIEW DR.
43. DAVID A. ISKOWITZ - 193 ALBERT LANE
44. LAURA A. PETTINATO - 199 ALBERT LANE
45. JAMES G. LONG - 147 ALBERT LANE
46. PENN LEADERS LLC - 2417 GAP VIEW DR.
47. ROBERT JOHN HARRIS - DOGWOOD ST. PARCEL 16.7D.2.14
48. SIGISMUND & ANNELIES E. PELZER - 5433 DEERFIELD DR.
49. CLAU SIGISMUND & JANET PELZER - 5435 DEERFIELD DR.
50. JOSEPH REYNOLDSON - 5443 DEERFIELD DR.
51. DAVE WEDDERMANN - 5449 DEERFIELD DR.
52. JAMES H. & EVELYN G. KLAMMER - 5451 DEERFIELD DR.
53. LISANDRO & LILLIAN ROSA - DOGWOOD ST. PARCEL 16.7D.2.13
54. ROBERT JOHN HARRIS - DOGWOOD ST. PARCEL 16.7D.2.12
55. MARILYN R. SHULTZ - PINE ST. PARCEL 16.7D.2.11
56. MARILYN R. SHULTZ - 5407 DEERFIELD DR.
57. FRANK M. BROWN JR. - FRANKLIN HILL RD. PARCEL 16.7D.2.25
58. FRANK M. & PATRICIA A. BROWN - 5410 DEERFIELD DR.
59. MICHAEL S. RENFREW - 5412 DEERFIELD DR.
60. ALAN R. PRIDE JR. - 5432 DEERFIELD DR.
61. GEORGE J. SAPPAN - 5438 DEERFIELD DR.
62. HECTOR R. SILVA - 5444 DEERFIELD DR.
63. JOHN T. & VIRGINIA CUMMINGS - 5452 DEERFIELD DR.
64. JILL M. SHUKAITIS - 6298 FRANKLIN HILL RD.
65. GAVRIL SIMUTIU - 6298 FRANKLIN HILL RD.
66. STEPHEN P. & KIMBERLEE S. HETTEL - 134 ALBERT LN.

NO.	DATE	DESCRIPTION
1	1-3-2022	COMPLETENESS REVIEW
2	4-9-2022	TOWNSHIP REVIEW #1
3	6-28-2022	TOWNSHIP REVIEW #2
4	9-28-2022	TOWNSHIP REVIEW #3
5	11-16-2022	TOWNSHIP REVIEW #4
6	12-5-2022	TOWNSHIP REVIEW #5

**SITE CONTEXT MAP  
FRANKLIN HILL MANOR  
PRELIMINARY LAND DEVELOPMENT OF THE  
LANDS OF D & S PROPERTIES LLC  
SMITHFIELD TOWNSHIP, MONROE COUNTY, PA**

DRAWING NO.

2 of 11



SOIL LIMITATIONS

Map Symbol and Soil Description	HSG	Hydric Soil Inclusions	Depth To		Soil Limitations																
			HWY (ft)	Bedrock (ft)	Cut Banks Cave	Corrosive to Steel/Concrete	Droughty	Easily Erodes	Flooding	High Water Table	Hydric Soils	Low Strength	Slow Percolation	Piping	Poor Source of Topsoil	Frost Action	Shrink/Swell	Potential Salinized	Ponding	Wetness	
BaB - Bath channery silt loam 3-8% slopes Soil Component: Bath	C	No	24-36	26-38	X	C/S	-	-	-	X	X	-	X	-	X	X	-	-	-	-	-
MaB - Mardin channery silt loam 3-8% slopes Soil Component: Mardin	D	No	13-24	14-26	X	S	X	X	-	X	X	X	X	X	-	X	-	-	-	-	X

NOTE:  
THE TOWNSHIP HAS NOT VERIFIED THE PRESENCE OR ABSENCE OF WETLANDS

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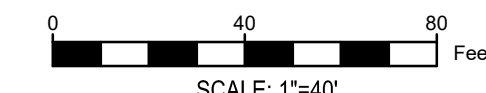
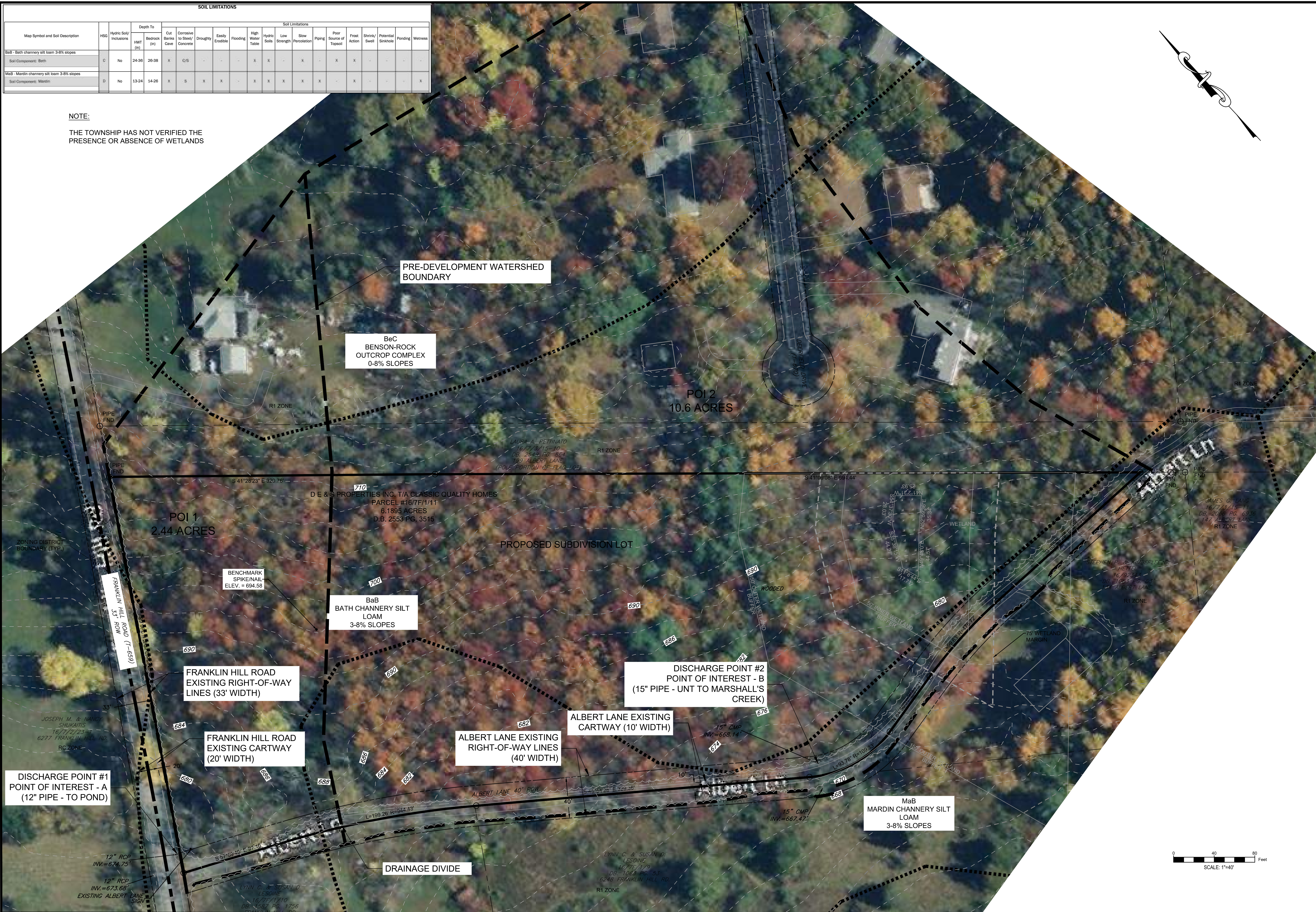
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**EXISTING RESOURCE & SITE ANALYSIS**  
**FRANKLIN HILL MANOR**  
**PRELIMINARY LAND DEVELOPMENT OF THE**  
**LANDS OF D E S PROPERTIES LLC**  
SMITHFIELD TOWNSHIP, MONROE COUNTY, PA

DRAWING NO.  
3 of 11



RESOURCE IMPACT AND CONSERVATION ANALYSIS CHART:

RESOURCE	EXISTING AC.	PROPOSED AC.	% IMPACTED	% CONSERVED
WOODLANDS	5.84	3.55	39	61
WETLANDS	0.04	0.04	0	100
WETLAND INNER BUFFER	0.41 (17647 SQ.FT)	0.41 (17647 SQ.FT)	0	100
WETLAND OUTER BUFFER	1.89 (82417 SQ.FT)	1.89 (82417 SQ.FT)	0	100
ROADWAY	0.31	0.31	0	100
75' WETLAND MARGIN	0.74 (32361 SQ.FT)	0.74 (32361 SQ.FT)	0	100

ADJUSTED TRACT AREA CALCULATIONS:

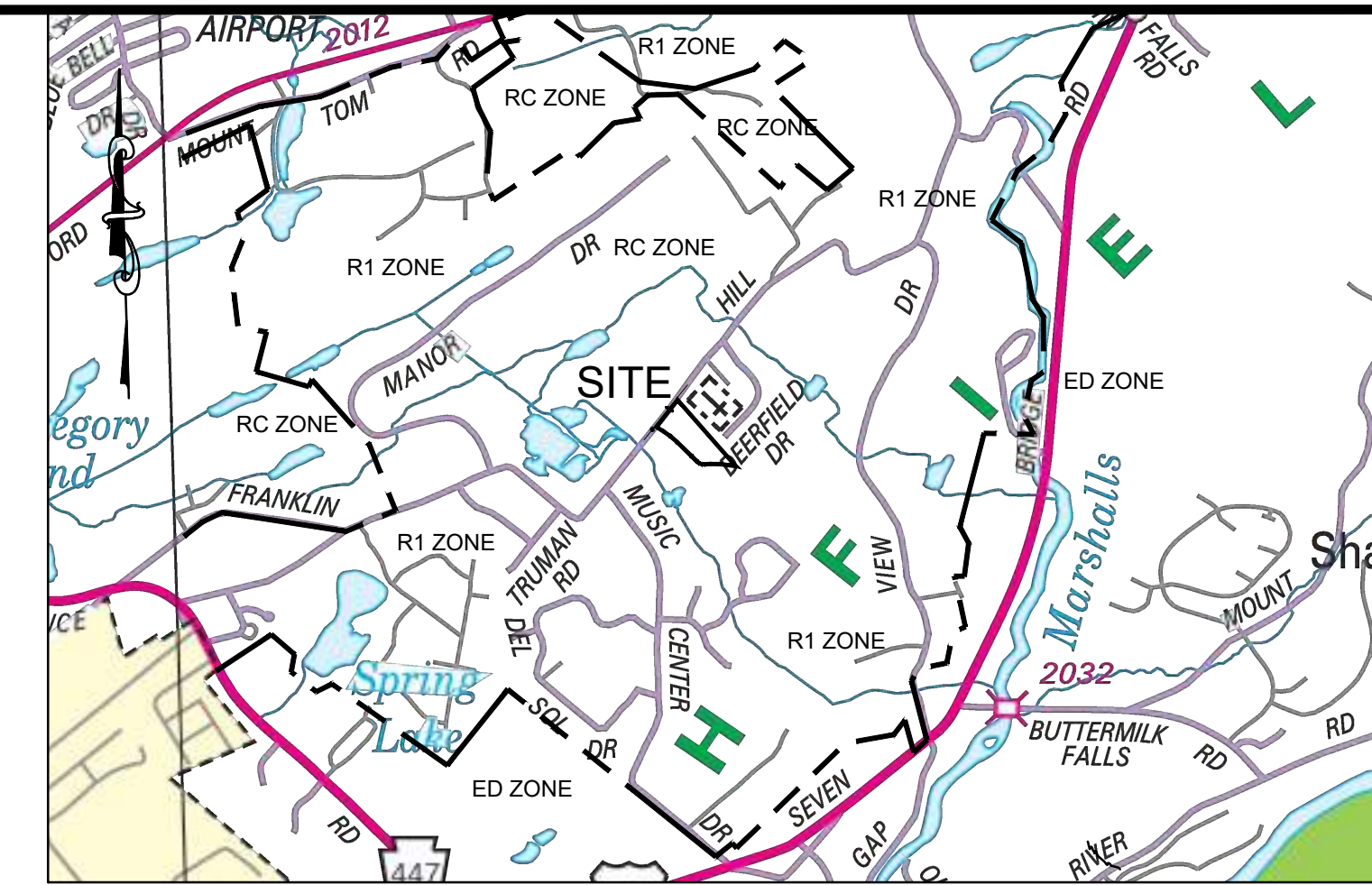
	GROSS AREA	15-25% SLOPES	25%+ SLOPES	WETLANDS	FLOODWAYS	RIGHT-OF-WAYS	NET AREA
LOT 1	58368 S.F.	0 S.F.	0 S.F.	0 S.F.	0 S.F.	8309 S.F.	50059 S.F.
LOT 2	51918 S.F.	0 S.F.	0 S.F.	0 S.F.	0 S.F.	1275 S.F.	50643 S.F.
LOT 3	159329 S.F.	0 S.F.	0 S.F.	1704 S.F. X 75% 1278 S.F.	0 S.F.	14790 S.F.	143261 S.F.

TREE PLANTING SCHEDULE

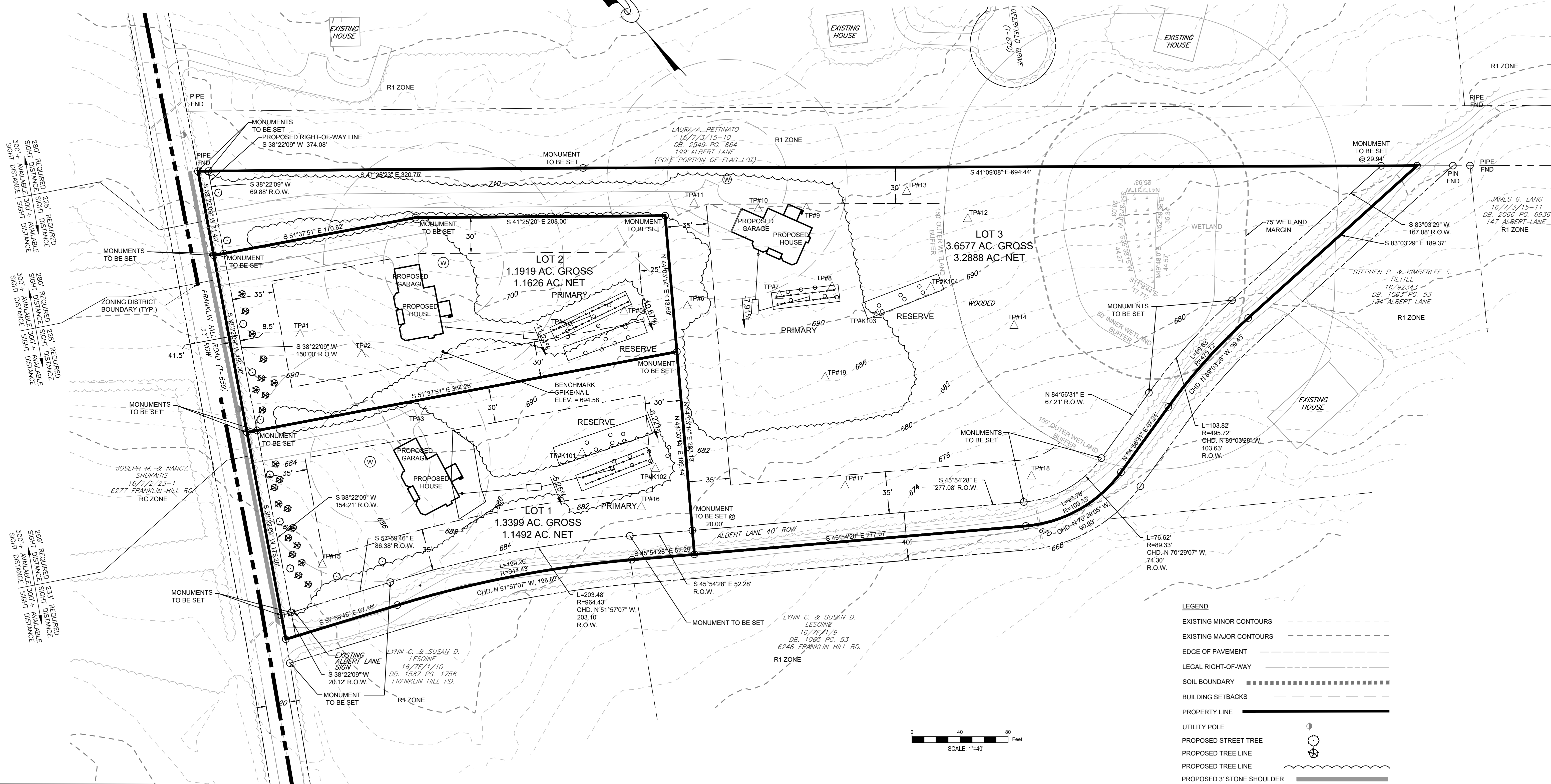
KEY	QTY	BOTANICAL/NAME	COMMON/NAME	SIZE	REMARKS	HEIGHT
				COND.		SPREAD
	10	QUERCUS ALBA	WHITE OAK	14' MIN. HT. 3" CAL.	DECIDUOUS	14'-18', CLEAR TRUNK TO 7' ABOVE GROUND
	21	JUNIPER COMMUNIS ILEX GLABRA BERBERIS THUNBERGII	COMMON JUNIPER INKBERRY HOLLY BLUE HOLLY RED BARBERRY	3' MIN. HT. B & B	21 TOTAL USING COMBINATION OF TYPES LISTED	8' MIN. FULL BRANCHING STRUCTURE 3'

NOTE: TREE SPECIES MAY BE CHANGED PROVIDED PROPER APPROVALS FROM THE DEVELOPER AND TOWNSHIP. TREE CALIPERS ARE MEASURED AT A HEIGHT OF SIX (6) INCHES ABOVE FINISHED GRADE. THE ABOVE QUANTITIES ARE FOR THE TOTAL JOB.

SIGHT DISTANCES FOR THE DRIVEWAYS FOR LOTS 1-3 MEET THE SIGHT DISTANCE TABLE (PENNDOT REQUIREMENTS) FOR ROADWAYS POSTED AT 35 MPH.



LOCATION MAP  
1" = 2000'



LEGEND

- EXISTING MINOR CONTOURS
- EXISTING MAJOR CONTOURS
- EDGE OF PAVEMENT
- LEGAL RIGHT-OF-WAY
- SOIL BOUNDARY
- BUILDING SETBACKS
- PROPERTY LINE
- UTILITY POLE
- PROPOSED STREET TREE
- PROPOSED TREE LINE
- PROPOSED TREE LINE
- PROPOSED 3' STONE SHOULDER

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**SUBDIVISION PLAN/LANDSCAPING PLAN**  
 FRANKLIN HILL MANOR  
 PRELIMINARY/FINAL MINOR SUBDIVISION OF  
 LANDS OF D & S PROPERTIES LLC  
 2621 ROUTE 940 POCONO SUMMIT, PA 18346  
 SMITHFIELD TOWNSHIP  
 MONROE COUNTY, PENNSYLVANIA

REVISIONS	DATE
BY: TMM	2-18-2024
BY: TMM	3-12-2024
BY: TMM	4-12-2024
BY: TMM	4-29-2024
BY: TMM	9-19-2024

DESIGNED BY: TMM	CHECKED BY: ESS
DRAWN BY: TMM	DATE: DEC 1, 2023
SCALE: AS NOTED	JOB NUMBER: CN-23-041
SHEET: 4 OF 11	

**SOILS:**

BaB - BATH CHANNERY SILT LOAM, 3-8% SLOPES, DEPTH TO WATER TABLE 24-36 INCHES, DEPTH TO BEDROCK 26-38 INCHES, HYDROLOGIC SOIL GROUP C.  
 BeB - BENSON-ROCK OUTCROP COMPLEX, 0-8% SLOPES, DEPTH TO WATER TABLE >80 INCHES, DEPTH TO BEDROCK 12-20 INCHES, HYDROLOGIC SOIL GROUP D.  
 BeC - BENSON-ROCK OUTCROP COMPLEX, 8-25% SLOPES, DEPTH TO WATER TABLE >80 INCHES, DEPTH TO BEDROCK 12-20 INCHES, HYDROLOGIC SOIL GROUP D.  
 MaB - MARDIN CHANNERY SILT LOAM, 3-8% SLOPES, DEPTH TO WATER TABLE 13-24 INCHES, DEPTH TO BEDROCK 14-26 INCHES, HYDROLOGIC SOIL GROUP D.

**MINIMIZE EARTH DISTURBANCE:**

THE PROPERTY OWNER/DEVELOPER ARE TO ONLY REMOVE VEGETATION AND TREES WITHIN THE DISTURBED LIMITS AS INDICATED ON THE PLANS. NO EARTH DISTURBANCE SHALL BE OUTSIDE OF THE LIMIT OF EARTH DISTURBANCE, WHICH SHALL BE STAKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. REFER TO THE MINIMIZE EARTH DISTURBANCE NOTES UNDER THE OPERATION AND MAINTENANCE NOTES ON SHEET 10.

**POST CONSTRUCTION STORMWATER BMP DESIGN:**

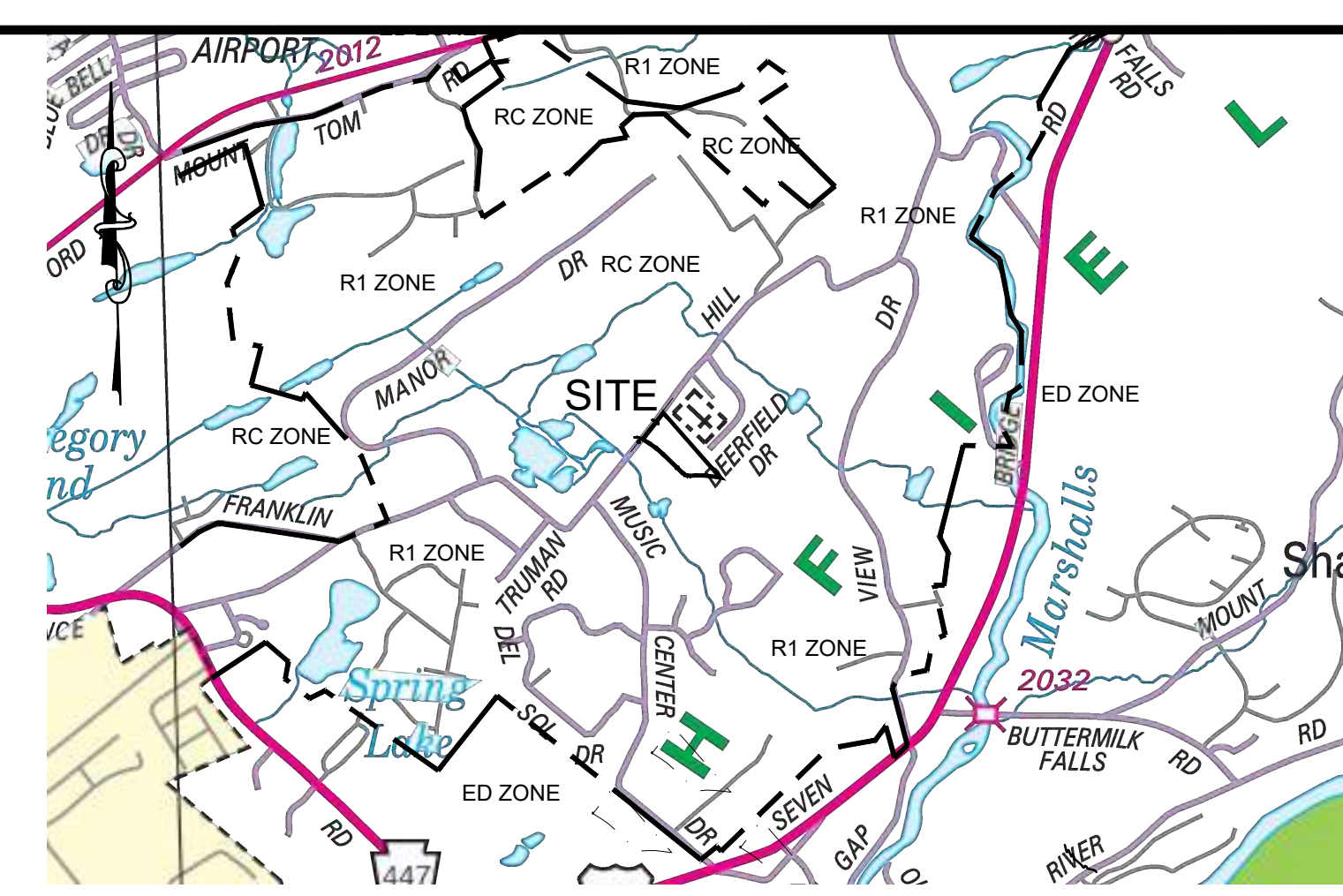
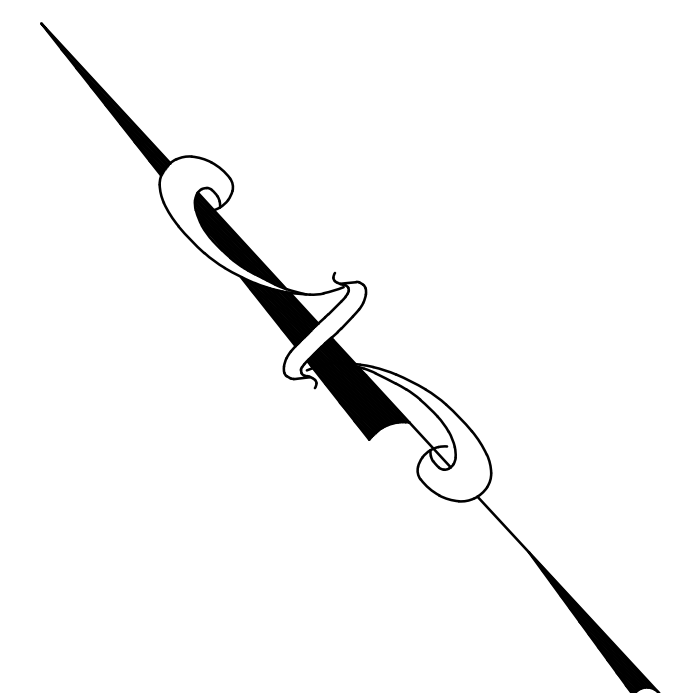
THE FOLLOWING MAXIMUM IMPERVIOUS AREAS ARE ALLOCATED FOR EACH LOT:

- LOT 1 - 4800 SF
- LOT 2 - 4800 SF
- LOT 3 - 8480 SF

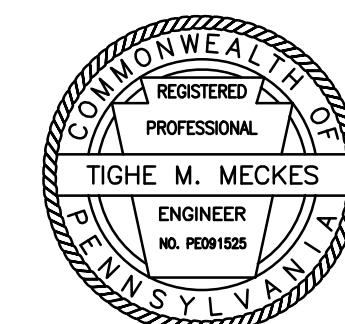
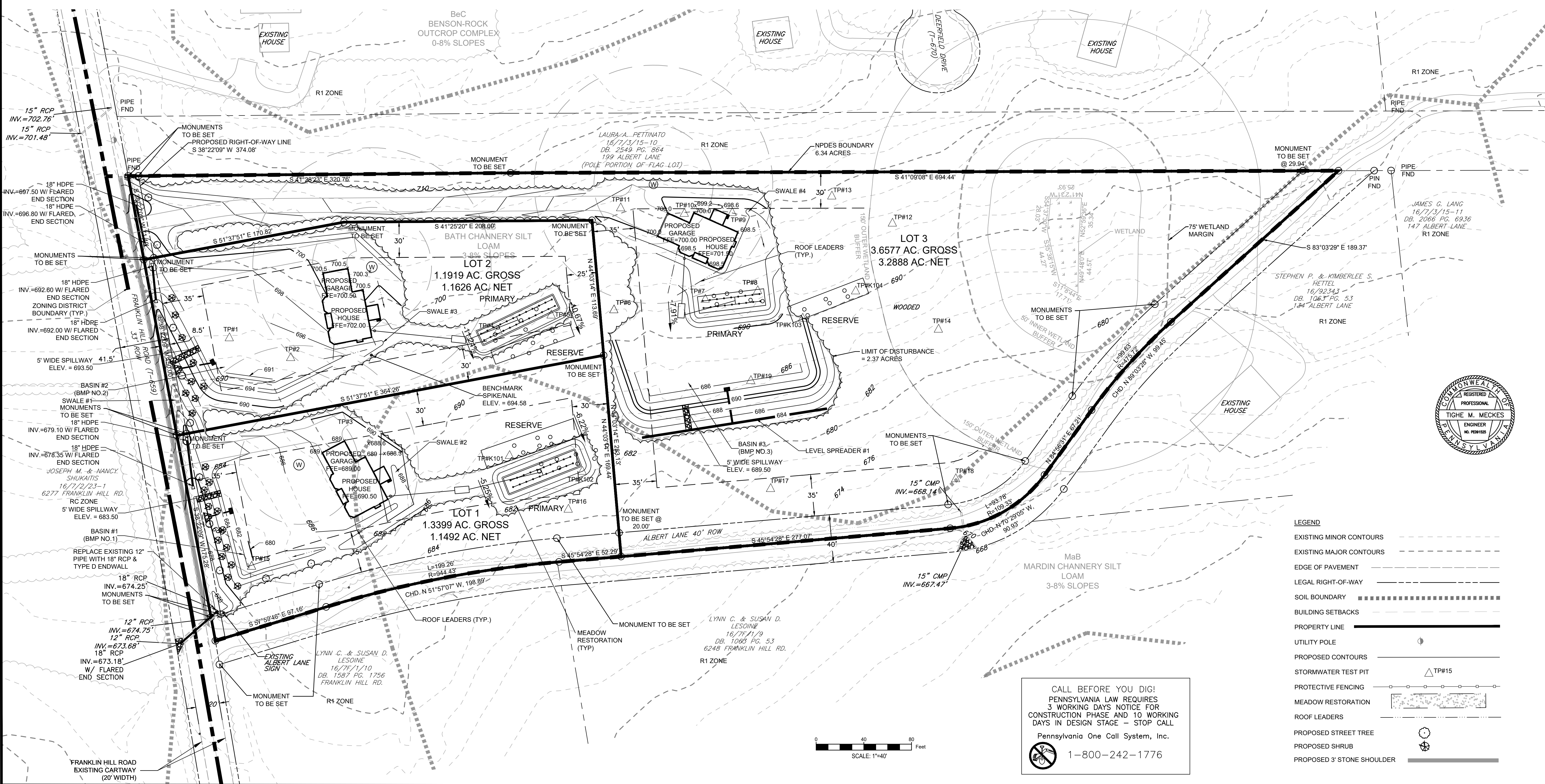
IF IMPERVIOUS AREA IS EXCEEDED, ADDITIONAL ON-LOT SYSTEMS WILL BE REQUIRED.

**NOTES:**

- NO STREAMS, PONDS, OR LAKES ARE ON THE SUBJECT PARCEL. NO FLOODPLAINS OR FLOODWAYS ARE LOCATED WITHIN THE PROJECT BOUNDARIES. THERE IS A NEGLIGIBLE AREA OF WETLANDS WITHIN LOT 3. THERE WILL BE NO DISTURBANCE OF WETLANDS.
- THE ENTIRE DISTURBED ACREAGE AND TRIBUTARY WATERSHED IS LOCATED WITHIN THE MARSHALLS CREEK (HQ-CWF) WATERSHED.
- IMPERVIOUS AREAS WERE MINIMIZED FOR THE HOUSE FOOTPRINT AND DRIVEWAYS WITH AN ADDITIONAL 700-800 SQUARE FEET FOR FUTURE ADD ONS.
- THE PLAN MAXIMIZES THE PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION. LIMITED EARTH DISTURBANCE AND CLEARING OF WOODS IS PROPOSED FOR CONSTRUCTION OF HOUSES, DRIVEWAYS, AND STORMWATER AND SEWAGE DISPOSAL SYSTEMS. LIMITS OF DISTURBANCE TO BE MARKED OUT IN THE FIELD AND PROTECTED WITH ORANGE CONSTRUCTION FENCING, IF NEEDED.
- MEADOW RESTORATION WILL BE PROVIDED WITHIN THE PROPOSED SEWAGE DISPOSAL AREA AS AN ADDITIONAL MEASURE TO MINIMIZE CHANGES IN STORMWATER RUNOFF.
- SMITHFIELD TOWNSHIP HAS THE RIGHTS TO ACCESS THE PROPERTY FROM THE DRIVEWAY LOCATIONS ON FRANKLIN HILL ROAD. THE TOWNSHIP IS PERMITTED TO ENTER THE PROPERTY TO INSPECT THE STORMWATER MANAGEMENT BMPs (ABOVE GROUND SYSTEM, VEGETATIVE SWALES, AND PIPES). REFER TO CONSTRUCTION SEQUENCE, SEEDING STABILIZATION, WASTE RECYCLING & DISPOSAL NOTES, PCSM OPERATION & MAINTENANCE NOTES, AND INDIVIDUAL BMP CONSTRUCTION DETAILS AND NOTES ON SHEETS 9 AND 10.
- INFILTRATION BMP'S SHALL NOT BE CONSTRUCTED NOR RECEIVE RUNOFF UNTIL THE ENTIRE CONTRIBUTORY DRAINAGE AREA TO THE INFILTRATION BMP HAS ACHIEVED FINAL STABILIZATION.



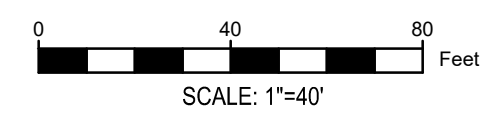
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- PROTECTIVE FENCING
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- ROOF LEADERS
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**PCSM PLAN**  
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 2621 ROUTE 940 POCONO SUMMIT, PA 18346  
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REVISIONS	DATE
BY: TMM	2-14-2024
BY: TMM	9-19-2024

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SHEET:	5 OF 11

**SOILS:**

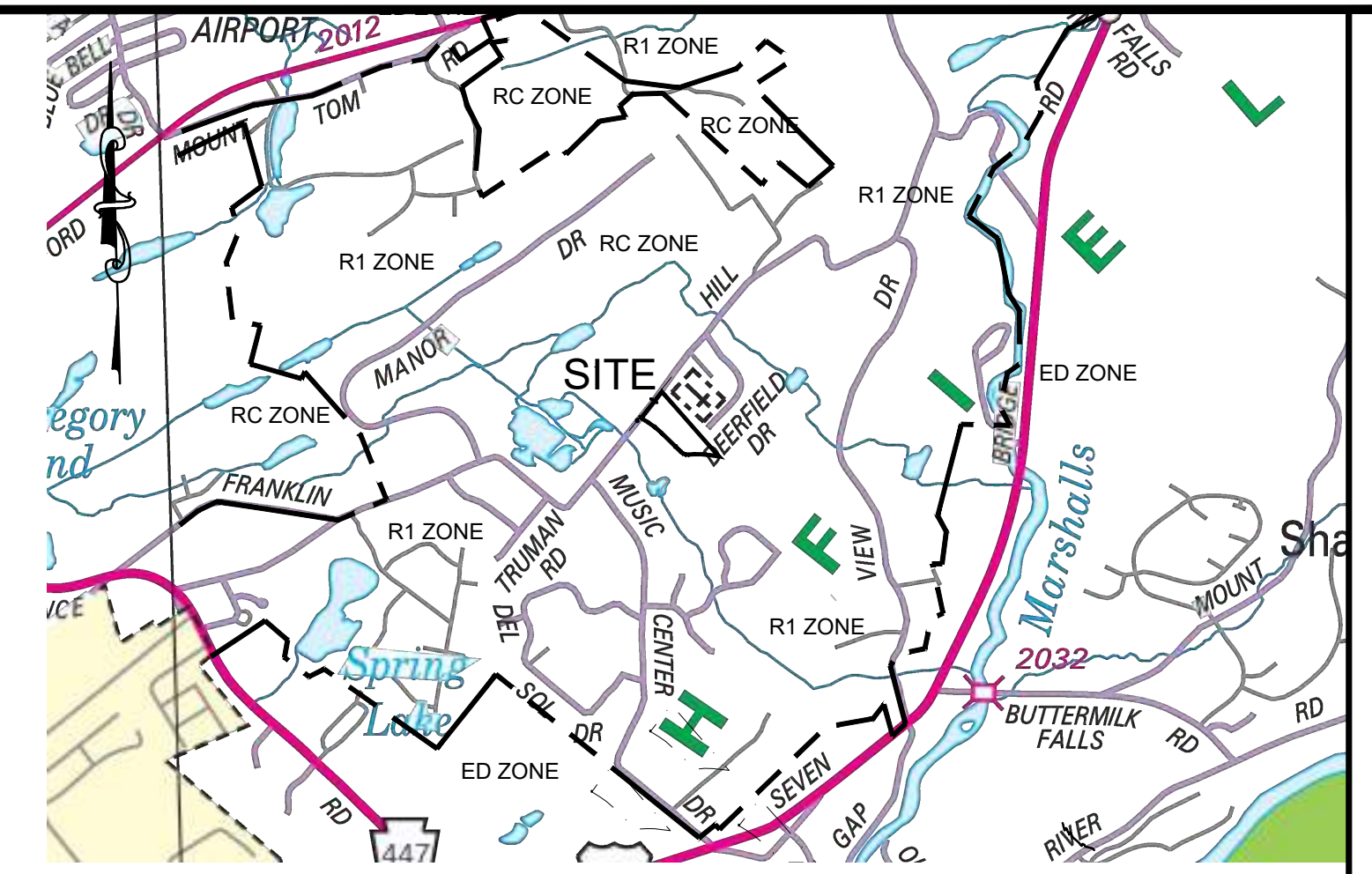
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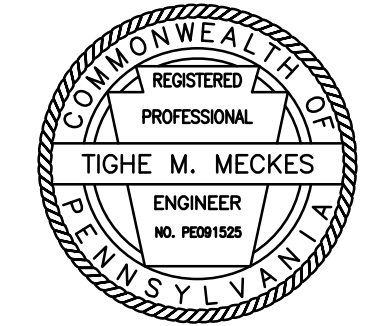
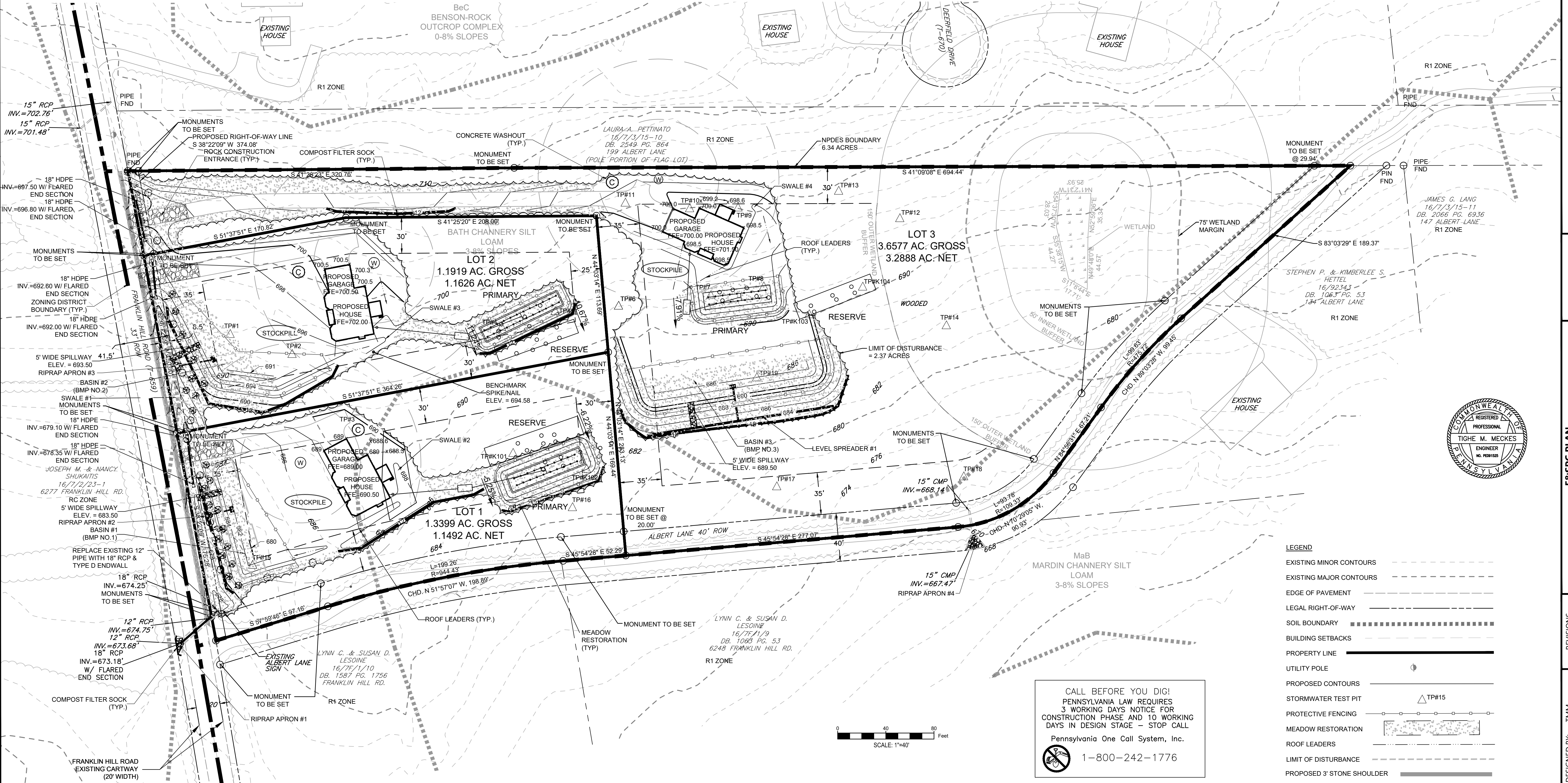
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**NOTE:**

SHEET FLOW SHALL BE MAINTAINED TO THE COMPOST FILTER SOCKS. IF CONCENTRATED FLOW OR OVERTOPPING OCCURS, A ROCK FILTER OUTLET SHALL BE INSTALLED AT THE POINT OF CONCENTRATION/OVERTOPPING.



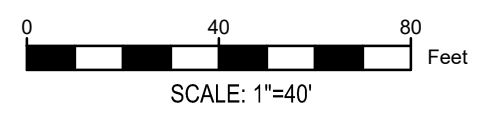
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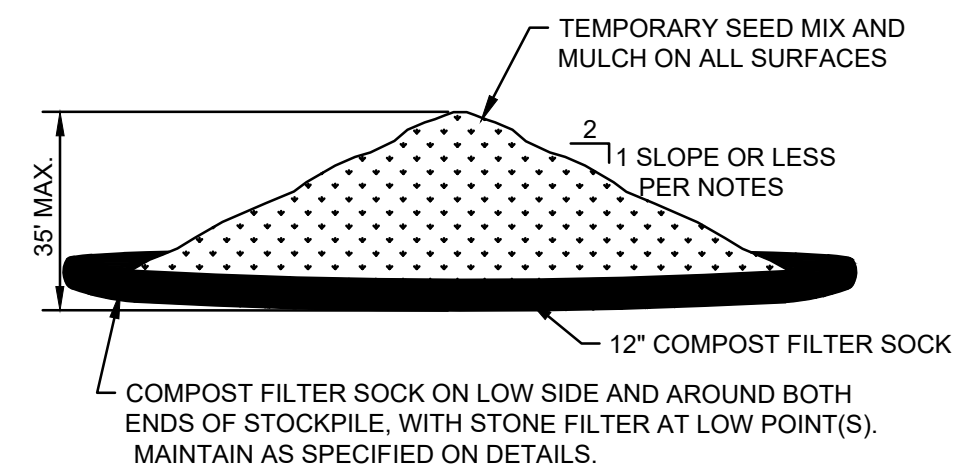
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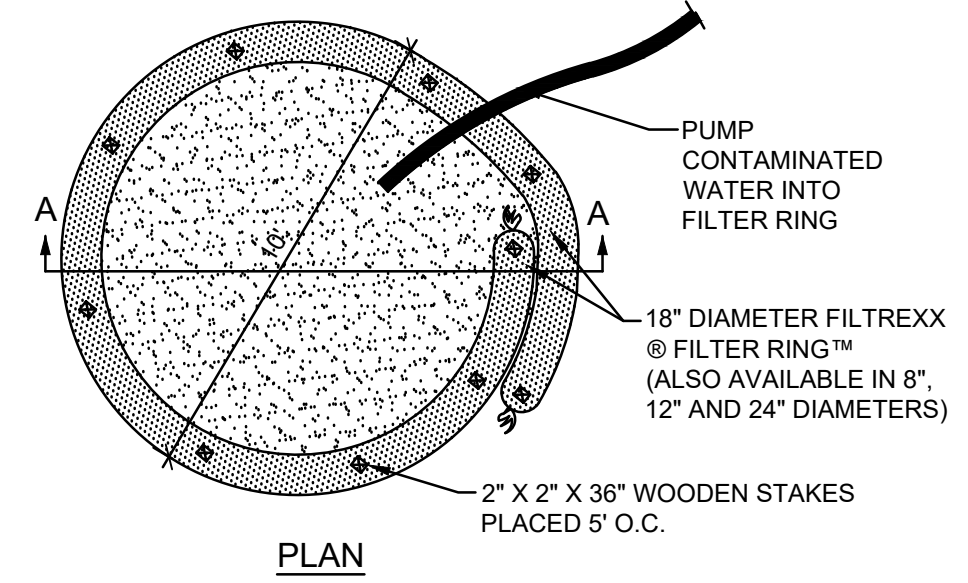
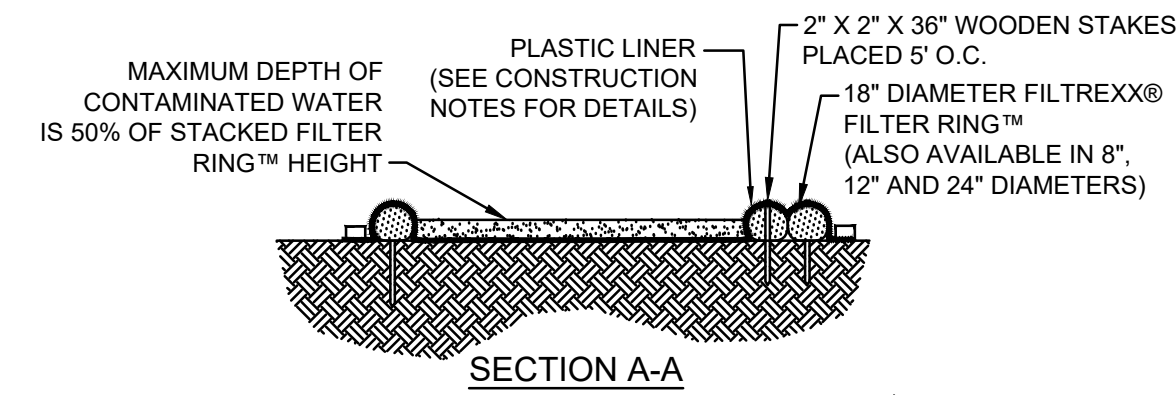
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JOB NUMBER:	CN-23-041
SHEET:	6 OF 11





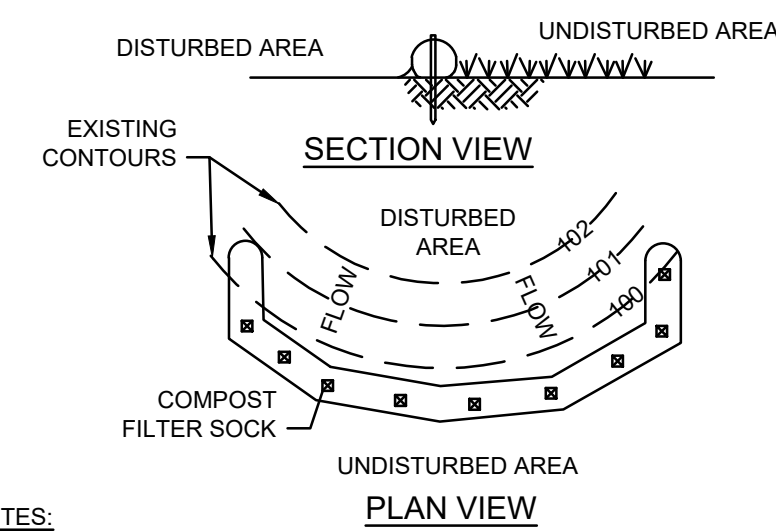
- NOTES:**
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
  2. STOCKPILE TOPSOIL OR EXCAVATED SOIL MATERIAL AT LOCATIONS SHOWN FOR EACH PHASE OF CONSTRUCTION. HEIGHT AND SIDE SLOPES SHALL NOT EXCEED MAXIMUM VALUES SHOWN ON DETAIL.
  3. INSTALL COMPOST FILTER SOCK PRIOR TO STOCKPILING OF MATERIAL. REPLACE ANY COMPOST FILTER SOCK REMOVED FOR VEHICULAR ACCESS AFTER EACH WORK DAY.
  4. ALL ACTIVE STOCKPILES SHALL BE ACCESSED FROM THE UPHILL SIDE.
  5. SEE SPECIFICATIONS FOR INSTALLATION OF COMPOST FILTER SOCK.
  6. APPLY A TEMPORARY SEED MIX AND MULCH WHEN PILE WILL REMAIN FOR 30 DAYS OR MORE.
  7. ANY EXCAVATION SLOPES THAT WILL EXIST FOR A PERIOD LESS THAN 6 MONTHS IS CONSIDERED TO BE TEMPORARY. ALL TEMPORARY SLOPES ARE RECOMMENDED TO BE CONSTRUCTED NOT STEEPER THAN 2H:1V.

**TYPICAL STOCKPILE DETAIL**  
NOT TO SCALE



- NOTES:**
1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
  2. FILTER RINGS™ MAY BE STACKED IN A PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT AND STABILITY.
  3. FILTER RINGS™ MAY BE DIRECT SEEDED AT THE TIME OF INSTALLATION.
  4. PREFABRICATED METAL WASHOUT CONTAINERS CAN BE USED IN LIEU OF COMPOST SOCK RING WASHOUT.

**CONCRETE WASHOUT DETAIL**  
NOT TO SCALE



- NOTES:**
1. SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2.
  2. COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY SOCK SHALL NOT EXCEED DESIGN LENGTHS INDICATED ON PADEP EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL. STAKES MAY BE INSTALLED IMMEDIATELY DOWNSLOPE OF THE SOCK IF SO SPECIFIED BY THE MANUFACTURER.
  3. TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.
  4. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
  5. SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
  6. BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
  7. UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

**STANDARD CONSTRUCTION DETAIL # 4-1**  
COMPOST FILTER SOCK  
NOT TO SCALE

TABLE 4.2  
COMPOST STANDARDS

ORGANIC MATTER CONTENT	25% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
pH	5.5 - 8.5
MOISTURE CONTENT	30% - 60%
PARTICLE SIZE	30% - 50% PASS THROUGH 3/8" SIEVE
SOLUBLE SALT CONCENTRATE	5.0 dS/m (mmhos/cm) MAXIMUM

TABLE 4.1  
COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS

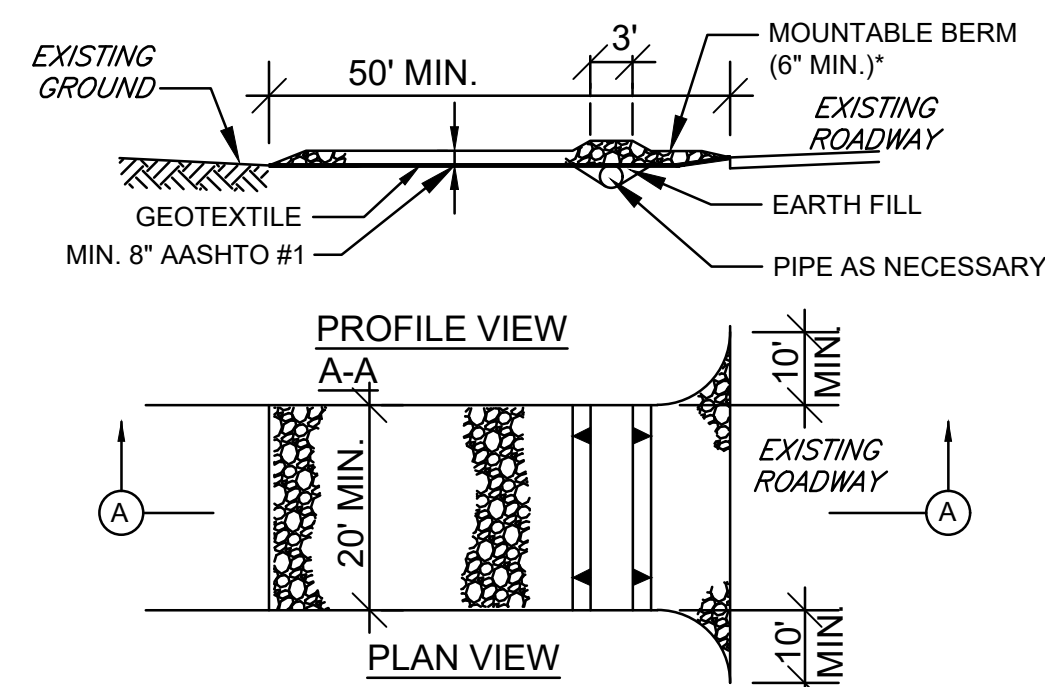
MATERIAL TYPE	3 mil HDPE	5 mil HDPE	5 mil HDPE	MULTI-FILAMENT POLYPROPYLENE (MFPF)	HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE (HDMFPF)
MATERIAL CHARACTERISTICS	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	BIO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE
SOCK DIAMETERS	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"
MESH OPENING	3/8"	3/8"	3/8"	3/8"	3/8"
TENSILE STRENGTH		26 PSI	26 PSI	44 PSI	202 PSI
ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM G-155)	23% AT 1000 HR	23% AT 1000 HR		100% AT 1000 HR	100% AT 1000 HR
MINIMUM FUNCTIONAL LONGEVITY	6 MONTHS	9 MONTHS	6 MONTHS	1 YEAR	2 YEARS

2-PLY SYSTEMS

INNER CONTAINMENT NETTING	HDPE BIAXIAL NET
	CONTINUOUSLY WOUND FUSION-WELD JUNCTURES
OUTER FILTRATION MESH	3/4" X 3/4" MAX. APERTURE SIZE
	COMPOSITE POLYPROPYLENE FABRIC (WOVEN LAYER AND NON-WOVEN FLEECE MECHANICALLY FUSED VIA NEEDLE PUNCH)
SOCK FABRICS COMPOSED OF BURLAP MAY BE USED ON PROJECTS LASTING 6 MONTHS OR LESS	

COMPOST SHOULD BE WELL DECOMPOSED, WEED-FREE ORGANIC MATTER DERIVED FROM AGRICULTURE, FOOD, STUMP GRINDINGS, AND YARD OR WOOD/BARK ORGANIC MATTER SOURCES. THE COMPOST SHOULD BE AEROBICALLY COMPOSTED. THE COMPOST SHOULD POSSESS NO OBJECTIONABLE ODORS AND SHOULD BE REASONABLY FREE (<1% BY DRY WEIGHT) OF MAN-MADE FOREIGN MATTER. THE COMPOST PRODUCT SHOULD NOT RESEMBLE THE RAW MATERIAL FROM WHICH IT WAS DERIVED. WOOD AND BARK CHIP, GROUND CONSTRUCTION DEBRIS OR REPROCESSED WOOD PRODUCTS ARE NOT ACCEPTABLE AS THE INORGANIC COMPONENT OF THE MIX.

THE PHYSICAL PARAMETERS OF THE COMPOST SHOULD COMPLY WITH THE STANDARDS IN TABLE 4.2. THE STANDARDS CONTAINED IN THE PENNDOT PUBLICATION 408 ARE AN ACCEPTABLE ALTERNATIVE.



\*MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE.

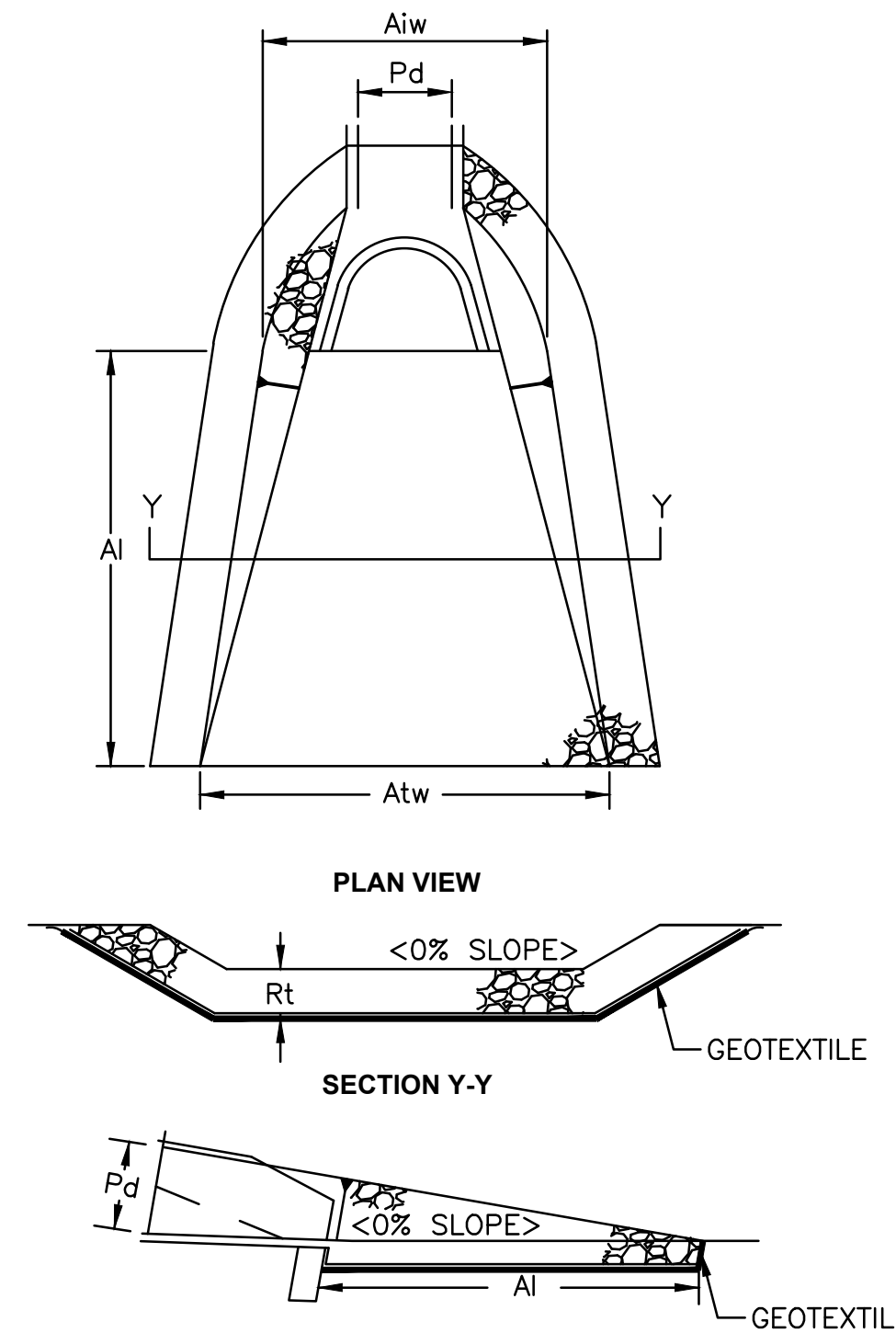
- NOTES:**
1. REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
  2. RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
  3. MOUNTABLE BERM SHOULD BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE TO BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

**MAINTENANCE:**

ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAYS, EXTEND LENGTH OF ROCK CONSTRUCTION BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWER, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

**STANDARD CONSTRUCTION DETAIL # 3-1**

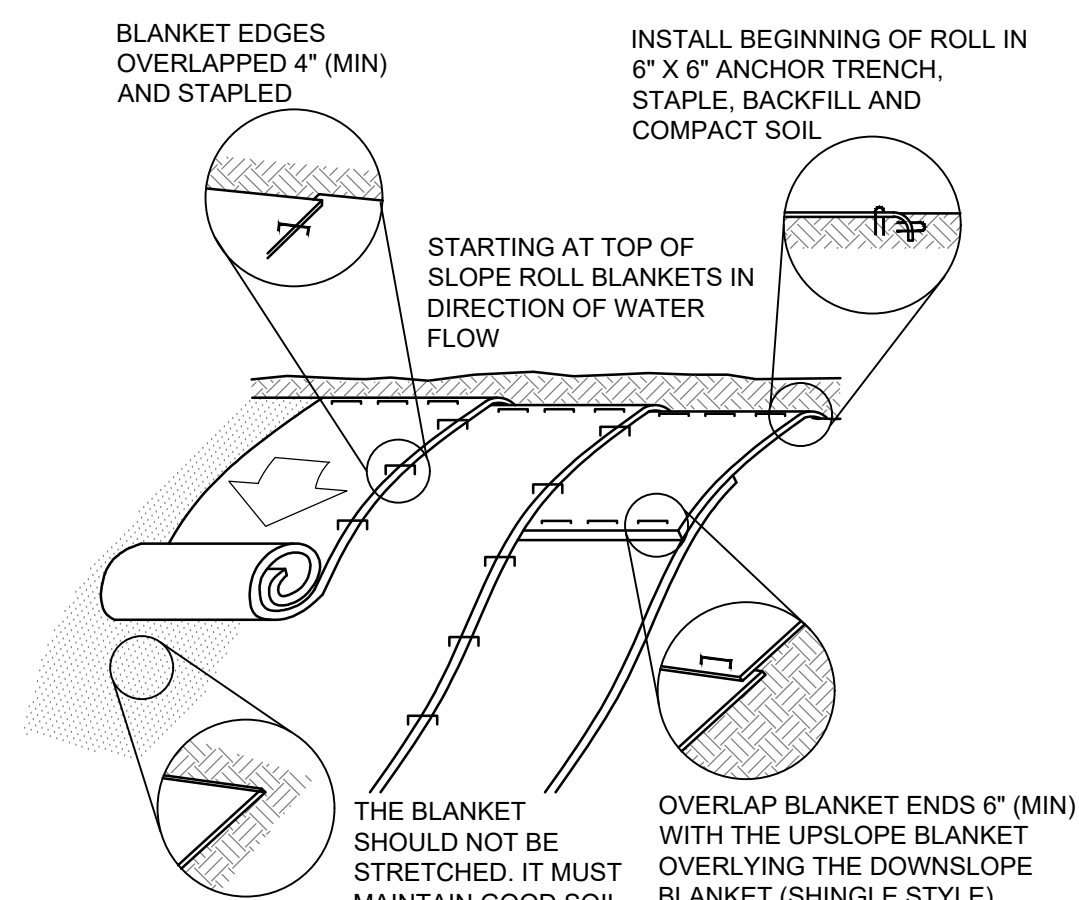
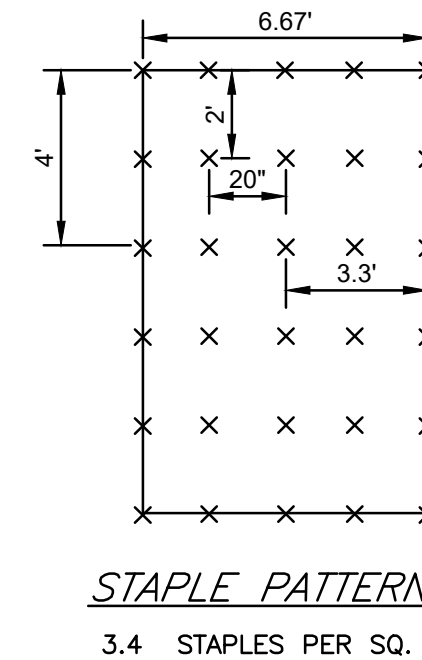
**ROCK CONSTRUCTION ENTRANCE**  
NOT TO SCALE



APRON NO.	PIPE DIA Pd (IN)	RIPRAP		APRON	LENGTH Ai (FT)	INITIAL WIDTH Aiw (FT)	TERMINAL WIDTH Atw (FT)
		SIZE (R-)	THICK Rt (IN)				
1 (POI 1 PIPE)	18	5	27		9 OR TO R.O.W.	5	13
2 (BASIN 1)	12	3	12		6	3	9
3 (BASIN 2)	12	3	12		6	3	9
4 (POI 2 PIPE)	15	5	27		13 OR TO R.O.W.	4	17

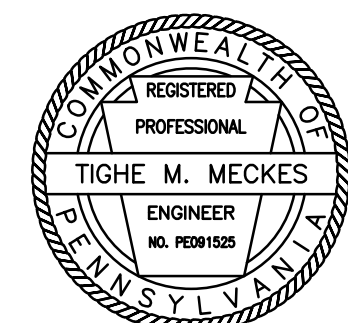
- NOTES:**
1. ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.
  2. ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.
  3. EXTEND RIPRAP ON BACK SIDE OF APRON TO AT LEAST 1/2 DEPTH OF PIPE ON BOTH SIDES TO PREVENT SCOUR AROUND THE PIPE.

**STANDARD CONSTRUCTION DETAIL # 33-0**  
RIPRAP APRONS AT PIPE OUTLETS WITH FLARED END SECTIONS  
NOT TO SCALE



- NOTES:**
1. SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.
  2. PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.
  3. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLOUDS, STICKS, AND GRASS.
  4. BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH THE UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.
  5. THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
  6. BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIALS VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

**STANDARD CONSTRUCTION DETAIL # 11-1**  
EROSION CONTROL BLANKET INSTALLATION  
NOT TO SCALE



REVISIONS

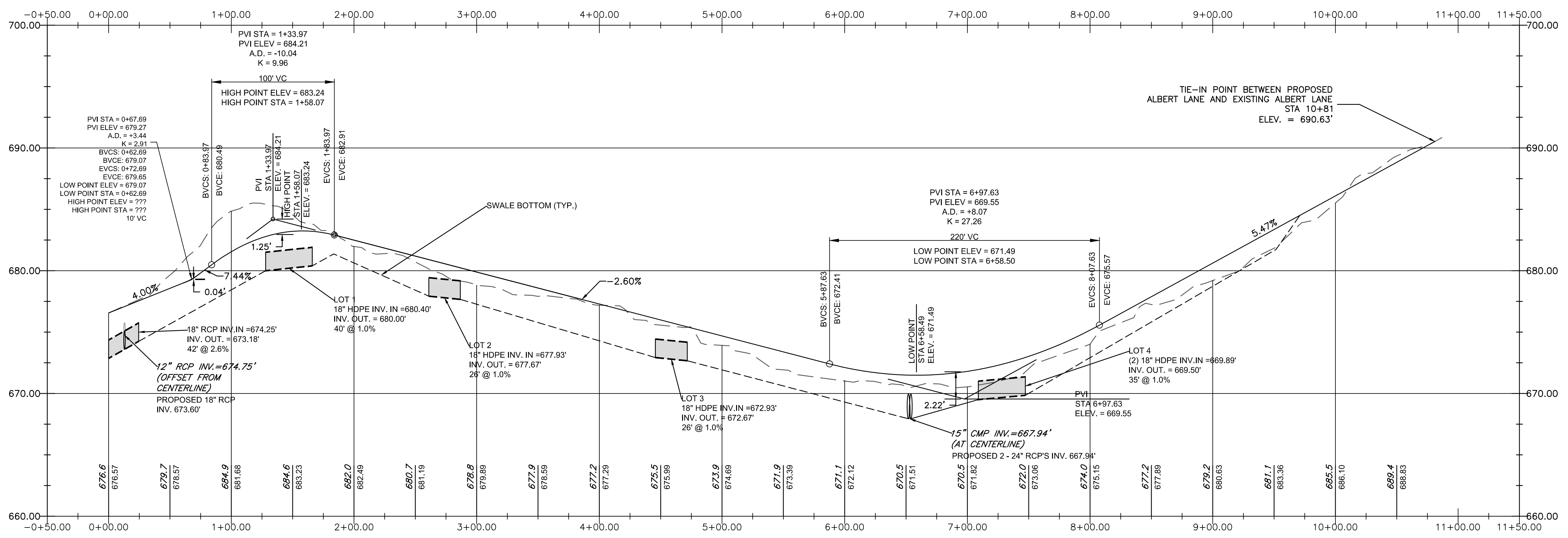
BY	DATE
TMM	2-14-2024
TMM	9-19-2024
TMM	

DESIGNED BY: TMM  
DRAWN BY: TMM  
CHECKED BY: ESS  
DATE: DEC 1, 2023  
SCALE: AS NOTED  
JOB NUMBER: CN-23-041  
SHEET: 8 OF 11

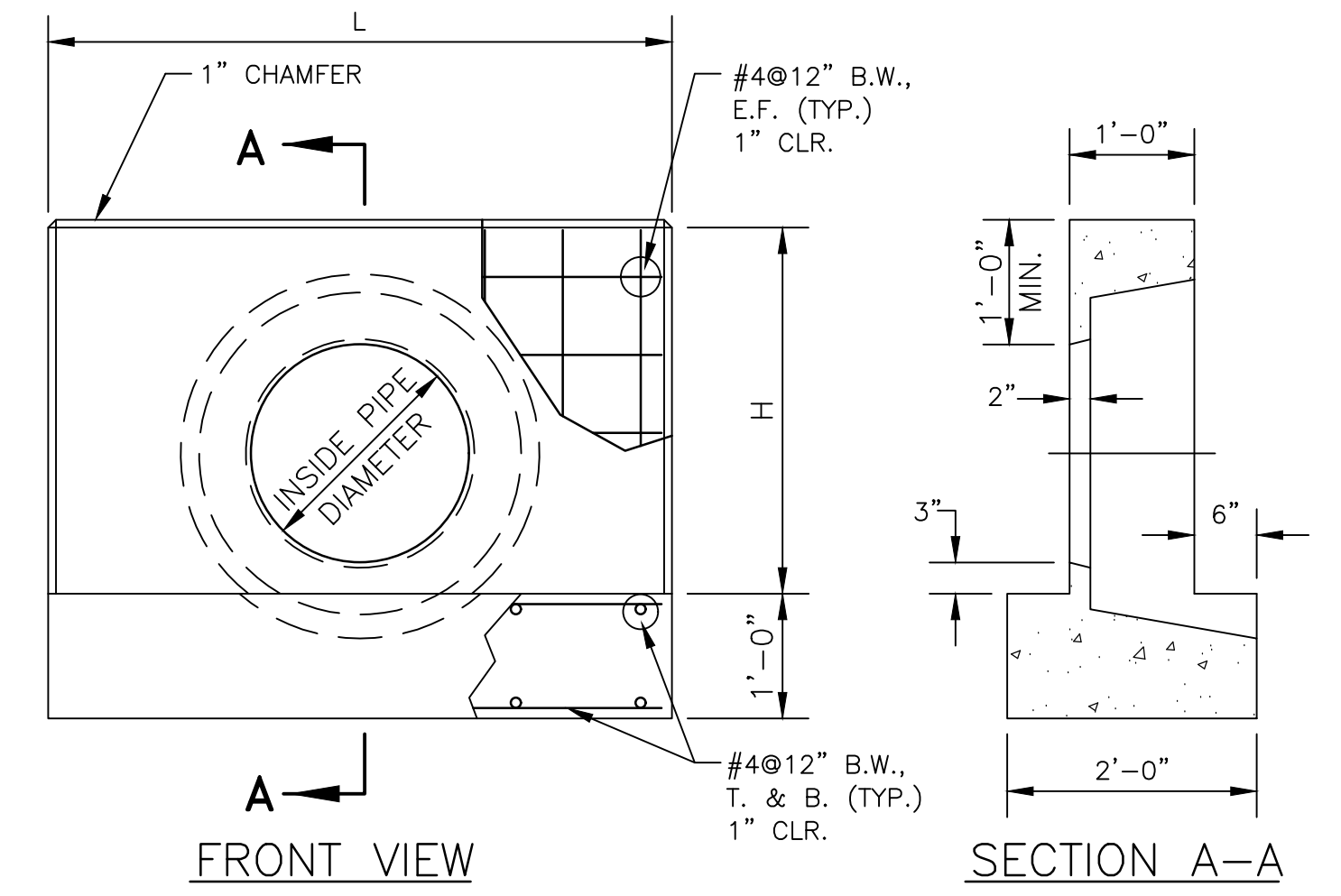
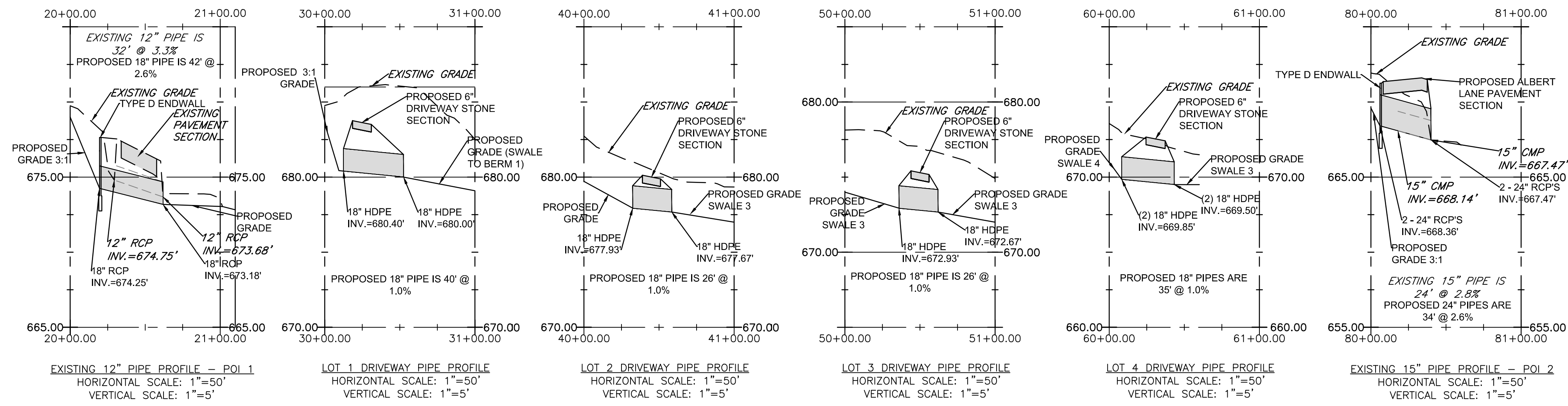








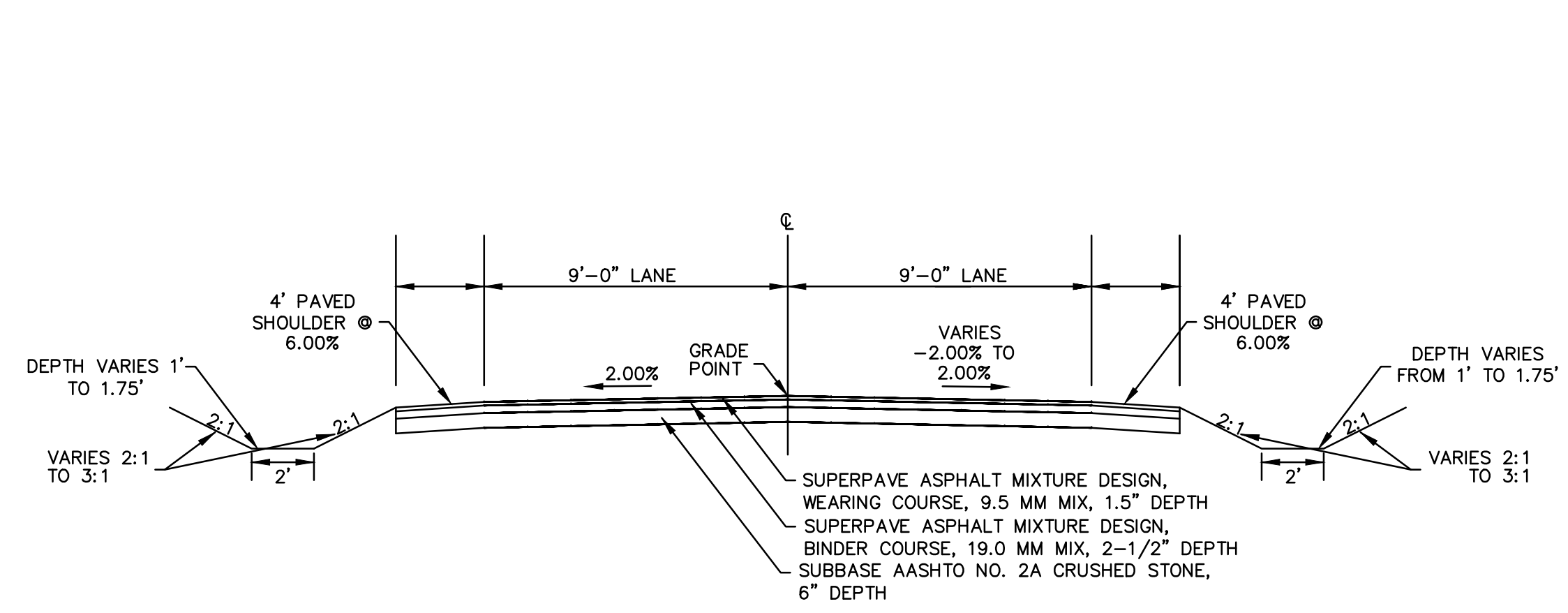
**ALBERT LANE PROPOSED PROFILE**  
 STA. 0+00.00 TO STA. 10+83.00  
 SCALE: 1" = 50' HORIZONTAL  
 1" = 5' VERTICAL



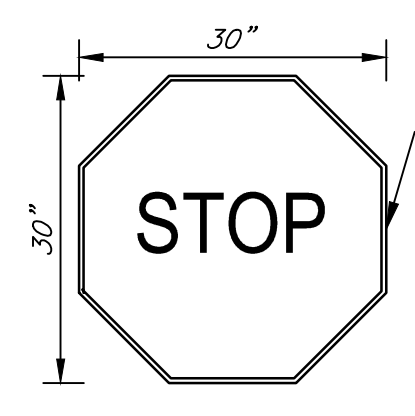
INSIDE PIPE DIA. (IN.)	WEIGHT (LB.)	L (IN.)	H (IN.)
12-15	3375	60	30
18-21	3750	60	36
24-27	5775	84	42
30-33	7200	108	48
36	7900	108	57
42	9380	128	66

1. PRECAST CONCRETE STRUCTURE TO BE WET CAST AS MANUFACTURED BY ATLANTIC CONCRETE PRODUCTS, OR APPROVED EQUAL.
2. CONCRETE TO OBTAIN A STRENGTH OF 4,000 PSI IN 28 DAYS.
3. REINFORCING STEEL TO HAVE A YIELD STRENGTH OF 60,000 PSI.

**TYPE "D" ENDWALL**  
 NO SCALE



**ALBERT LANE TYPICAL SECTION**  
 STA. 0+00.00 TO STA. 10+83.00  
 NOT TO SCALE



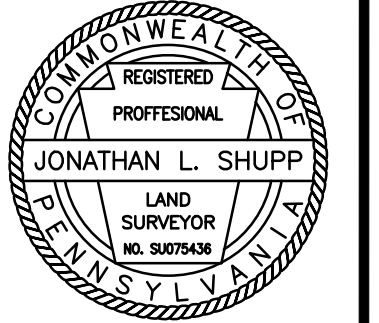
**STOP SIGN**  
 NOT TO SCALE

- NOTES:**
1. INSTALL BREAKAWAY SIGN POST SYSTEM ON ALL NEW SIGNS IN GRASS AREAS. PROVIDE CONCRETE FOOTING FOR SIGNS IN PAVE AREAS. REFER TO "ADA SIGN DETAIL".
  2. SIGNS SHALL BE INSTALLED A MINIMUM 1'-6" FROM THE EDGE OF CURB, WHERE APPLICABLE.

**BREAKAWAY SIGN POST INSTALLATION DETAIL**  
 NOT TO SCALE

**JLS SURVEYING LLC**  
 224 NEW YORK BLVD.  
 EFFORT, PA 18330  
 PHONE: (570)350-4706  
 JLS.SURVEYING@GMAIL.COM

DATE  
**10/5/2021**



NO.	DATE	DESCRIPTION
1	1-3-2022	COMPLETENESS REVIEW
2	4-29-2022	TOWNSHIP REVIEW #1
3	6-28-2022	TOWNSHIP REVIEW #2
4	9-28-2022	TOWNSHIP REVIEW #3
5	11-16-2022	TOWNSHIP REVIEW #4
6	12-5-2022	TOWNSHIP REVIEW #5

**SITE DETAILS**  
**FRANKLIN HILL MANOR**  
**PRELIMINARY LAND DEVELOPMENT OF**  
**THE LANDS OF D & S PROPERTIES LLC**  
 SMITHFIELD TOWNSHIP, MONROE COUNTY, PA

DRAWING NO.