#### GENERAL NOTES:

- OWNER/APPLICANT/DEVELOPER: D E & S PROPERTIES T/A CLASSIC QUALITY HOMES 2621 ROUTE 940 POCONO SUMMIT, PA 18346 (570) 839-3200
- 2. PROPERTY ADDRESS: FRANKLIN HILL ROAD
- 3. ZONING DISTRICT:
- R-1; SINGLE FAMILY RESIDENTIAL HOUSING IS A PERMITTED USE 4. PROPERTY DEED BOOK/PAGE:
- BOOK 2553, PAGE 3515
- PROPERTY ACREAGE 5. 6.1895 ACRES
- 6. PIN NUMBER
- 16-7312-04-80-8766
- 7. PARCEL NUMBER 16.7F.1.11
- 8. INTENTION OF PLAN/STATEMENT OF PLAN: THE SUBDIVISION OF LAND INTO THREE NEW SINGLE-FAMILY RESIDENTIAL HOUSES. PROPOSED PRINCIPAL USES TO BE SINGLE-FAMILY HOUSES ON EACH LOT.

# ZONING DISTRICT REQUIREMENTS:

3. EONING DIGHNIGH REQUIREMENTS.				
REQUIREMENT	REQUIRED	PROPOSED LOT 1	PROPOSED LOT 2	PROPOSED LOT 3
MIN. LOT ACREAGE (GROSS) MIN. LOT ACREAGE (NET)	50,000 S.F. 50,000 S.F.	1.3399 1.1492	1.1919 1.1626	3.6577 3.2888
MIN. LOT WIDTH MIN. LOT DEPTH	150' 200'	170.43' 364.26'	150.00' 375.57'	320.32' 627.52'
FRONT YARD	35'	35'	35'	35'
SIDE YARD	30'	30'	30'	30'
REAR YARD	25'	N/A	25'	25'
MAX. % BLDG COVERAGE	20%	3.90%	3.85%	1.36%
MAX. % IMPERVIOUS COVERAGE	25%	8.99%	8.89%	5.58%
MAX. BUILDING HEIGHT	35'	30'	30'	30'

10. PARKING: REQUIRED PARKING: 2 SPACES PER DWELLING UNIT

PROVIDED PARKING: 1 SPACE ALLOCATED PER DWELLING UNIT IN THE GARAGE WITH 2 ADDITIONAL SPACES SHOWN ON THE PLANS IN THE DRIVEWAY.

11. TOPOGRAPHIC INFORMATION IS BASED ON A COMBINATION OF FIELD SURVEY AND LIDAR INFORMATION. CONTOUR INTERVALS ARE 2' AND 10'

- 12. BOUNDARY SURVEY PERFORMED BY JONATHAN SHUPP, PLS.
- 13. THE SUBJECT SITE DOES NOT LIE WITHIN THE FEMA FLOODPLAIN AS DEPICTED ON THE LATEST (FIRM) FLOOD INSURANCE RATE MAPS OF MONROE COUNTY, PENNSYLVANI. NUMBER 42089C0294E, EFFECTIVE DATE MAY 2, 2013.
- 14. THERE IS A NEGLIGIBLE AREA OF WETLANDS WITHIN LOT 3. THE REPORT PROVIDED BY SPARNON WETLANDS SERVICES DESCRIBES THE CONDITIONS IN DETAIL. THERE AF HYDRIC SOILS ON THE PARCEL
- 15. THERE ARE NO STEEP SLOPES ON THE PARCEL.
- 16. THE PLANNING COMMISSION AND BOARD OF SUPERVISORS HAVE NOT PASSED UPON THE FEASIBILITY OF ANY INDIVIDUAL LOT OR LOCATION WITHIN A LOT BEING ABLE TO ANY TYPE OF WELL OR SEWAGE DISPOSAL SYSTEM.
- 17. INDIVIDUAL OWNERS OF LOTS MUST APPLY TO THE TOWNSHIP FOR A SEWAGE PERMIT PRIOR TO THE CONSTRUCTION OF ANY ON-LOT SEWAGE DISPOSAL SYSTEM.

#### <u>COVENANTS</u>

- THE RESIDENTIAL LOTS WILL BE SERVICED BY ON-LOT SEWAGE DISPOSAL SYSTEMS.
- 2. THE RESIDENTIAL LOTS WILL BE SERVICED BY ON-LOT WELLS.
- 3. TOWNSHIP DRIVEWAY PERMITS WILL BE REQUIRED TO OBTAIN ACCESS FROM FRANKLIN HILL ROAD.
- 4. CLEAR SIGHT EASEMENTS ARE HEREBY ESTABLISHED ACROSS ALL LOTS WHICH CORRESPOND WITH CLEAR SIGHT TRIANGLES CREATED AT THE INTERSECTION OF EACH DRIV FRANKLIN HILL ROAD. EACH CLEAR SIGHT TRIANGLE IS FORMED COMMENCING AT A POINT IN THE CENTER OF THE DRIVEWAY OF EACH LOT, MEASURED 15' FROM THE EDGE PAVEMENT OF THE ROAD ON WIHICH THAT DRIVEWAY FRONTS, FROM WHICH POINT TWO LINES ARE DRAWN TO POINTS 15' LEFT AND 15' RIGHT ALONG THE EDGE OF PAVEMENT ROAD ON WHICH THAT DRIVEWAY FRONTS, AND THEN A LINE DRAWN CONNECTING THOSE LATTER TWO POINTS. EACH LOT OWNER SHALL BE RESPONSIBLE TO MAINTAIN TH SIGHT TRIANGLE ASSOCIATED WITH HIS LOT, BY KEEPING THE AREA WITHIN THE CLEAR SIGHT TRIANGLE CLEAR OF ANY SIGHT OBSTRUCTIONS (OTHER THAN UTILITY POLES, OFFICIAL STREET SIGN POSTS, AND INDIVIDUAL DECIDUOUS TREE TRUNKS) BETWEEN A HEIGHT OF 1.5' AND 10' ABOVE GROUND LEVEL, AND SHALL ALSO BE RESPONSIBLE TO KEEP ANY PORTION OF HIS LOT WHICH IS INCLUDED WITHIN THE CLEAR SIGHT TRIANGLE OF ANY NEIGHBORING LOT, CLEAR OF ANY SIGHT OBSTRUCTIONS (OTHER THAN UTIL MAILBOXES, OFFICIAL STREET SIGN POSTS, AND INDIVIDUAL DECIDUOUS TREE TRUNKS) BETWEEN A HEIGHT OF 1.5' AND 10' ABOVE GROUND LEVEL. THIS EASEMENT, OBLIGA COVENANT SHALL RUN WITH THE LAND.
- BY APPROVAL OF THIS PLAN, SMITHFIELD TOWNSHIP HAS NEITHER CONFIRMED NOR DENIED THE EXISTENCE AND/OR EXTENT OF ANY WETLAND AREAS, WHETHER OR NOT DE ON THE PLAN, AND ANY ENCROACHMENT THEREON FOR ANY REASON WHATSOEVER SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, HIS HEIRS AND ASSIGNS AND SHALL TO THE JURISDICTION OF THE ARMY CORPS OF ENGINEERS AND/OR PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION, AND THE ENCROACHMENT SHALL CONF RULES AND REGULATIONS OF THE JURISDICTIONAL AGENCIES.
- 6. TEN (10') UTILITY AND DRAINAGE EASEMENTS ARE PROVIDED ALONG ALL PROPERTY LINES AND STREET RIGHT-OF-WAYS AS INDICATED ON THE PLANS. ALL EASEMENTS SHAL ACCESSIBLE AND USABLE BY SMITHFIELD TOWNSHIP FOR THE EASEMENT'S STATED PURPOSE.
- WELL AND SEWAGE DISPOSAL SYSTEMS SHALL BE CONTRUCTED IN ACCORDANCE WITH STANDARDS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION
- 8. INDIVIDUAL OWNERS OF LOTS MUST RECEIVE APPROVAL FROM THE TOWNSHIP SEWAGE ENFORCEMENT OFFICER FOR A SEWAGE PERMIT PRIOR TO UNDERTAKING THE CONS OF AN ON-LOT SEWAGE DISPOSAL SYSTEM OR BUILDING THAT WILL NEED TO BE SERVED BY SUCH A SYSTEM.
- 9. THE OWNERS, ITS SUCCESSORS AND ASSIGNS, SHALL MAKE PROVISION AND BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, OPERATION AND REPAIR OF ANY AND STORMWATER MANAGEMENT FACILITIES AND CONTROLS DEPICTED ON THIS PLAN AND OTHER PLANS AND DOCUMENTS SUPPORTING THE SAME, INCLUDING, BUT NOT LIMITE DETENTION/RETENTION BASINS, INFILTRATION FACILITIES, DRAINS, RAIN GARDENS, INLETS, SWALES, PIPES, BERMS, MANHOLES AND SPREADERS. SMITHFIELD TOWNSHIP IS I GRANTED AN EASEMENT AND RIGHT TO ACCESS AND INSPECT ALL OF THE STORMWATER MANAGEMENT FACILITIES AND CONTROLS AT ANY REASONABLE TIME. IF SMITHFIEL DETERMINES AT ANY TIME THAT ANY OF SAID STORMWATER MANAGEMENT FACILITIES AND CONTROLS HAVE BEEN ELIMINATED, ALTERED OR IMPROPERLY MAINTAINED, THE OWNER SHALL BE ADVISED OF THE CORRECTIVE MEASURES REQUIRED AND BE AFFORDED A REASONABLE PERIOD OF TIME TO TAKE THE NECESSARY CORRECTIVE ACTION. TOWNSHIP SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION, OF INGRESS, EGRESS AND REGRESS TO ANY AND ALL OF THE STORMWATER MANAGEMENT FACILITIES AND C OVER, UPON, IN, UNDER AND THROUGH THE PROPERTY, AS WELL AS UPON AND WITHIN THE UTILITY AND DRAINAGE EASEMENTS AS SHOWN ON THIS PLAN, FOR THE PURPOS INSTALLATION, MAINTENANCE AND/OR REPAIR DUE TO THE FAILURE OR NEGLECT OF THE OWNER TO PERFORM THE SAME WITHIN THE TIME REQUIRED, OR FOR EMERGENCY TO THE STORMWATER MANAGEMENT FACILITIES AND CONTROLS IF NECESSARY, IF SMITHFIELD TOWNSHIP ELECTS TO PERFORM SUCH INSTALLATION, MAINTENANCE AND/OF ALL COSTS AND EXPENSES INCURRED BY SMITHFIELD TOWNSHIP IN RELATION TO ANY WORK PERFORMED BY SMITHFIELD TOWNSHIP PURSUANT TO THE PROVISIONS OF THI AND/OR THE ENFORCEMENT OF THE SAME, SHALL BE THE JOINT AND SEVERAL RESPONSIBILITY OF THE OWNER AND ANY OCCUPIER OF THE PROPERTY WHO VIOLATED THE OF THIS COVENANT, PAYABLE BY THE OWNERS AND/OR OCCUPIERS OF THE PROPERTY, THEIR HEIRS, ADMINISTRATORS, EXECUTORS, SUCCESSORS AND ASSIGNS UPON DEI SMITHFIELD TOWNSHIP, AND SHALL CONSTITUTE A LIEN AGAINST THE PROPERTY UNTIL PAID IN FULL. THE REMEDIES OF SMITHFIELD TOWNSHIP PURSUANT TO THIS COVENA ADDITION TO ALL OTHER RIGHTS AND REMEDIES AVAILABLE TO SMITHFIELD TOWNSHIP, ITS SUCCESSORS AND ASSIGNS, PURSUANT TO ANY STATUTE, ORDINANCE, AT LAW C THIS COVENANT SHALL RUN WITH THE LAND.

10. THE FOLLOWING PERMIT APPROVALS ARE REQUIRED PRIOR TO START OF CONSTRUCTION:

- INDIVIDUAL NPDES PERMIT - SEWAGE FACILITIES PLANNING MODULE
- EROSION AND SEDIMENT POLLUTION CONTROL - TOWNSHIP STORMWATER MANAGEMENT PERMIT

11. A MAXIMUM ALLOWED IMPERVIOUS AREA HAS BEEN ESTABLISHED FOR EACH LOT AS DEPICTED ON SHEET 5 OF THIS SUBDIVISION PLAN, WHICH TRANSLATES TO THE FOLLOWING SQUARE FOOTAGE PER LOT:

LOT 1 = 4800 SF LOT 2 = 4800 SF LOT 3 = 8480 SF

SAID MAXIMUM IMPERVIOUS AREA SHALL NOT BE ALTERED OR INCREASED FOR ANY REASON UNLESS AND UNTIL ANY ALL ALL NECESSARY LOCAL, STATE AND FEDERAL PERMITS AND APPROVALS ARE FIRST OBTAINED. THIS COVENANT SHALL RUN WITH THE LAND.

- 12. PLAN COVENANTS 4, 6, 7, 8, 9, AND 11 SHALL BE INCLUDED IN EACH DEED WHICH CONVEYS A LOT DEPICTED ON THIS PLAN, TOGETHER WITH A STATEMENT THAT THEY "SHALL RUN WITH THE LAND".
- 13. SHEETS 2 THROUGH 11 INCLUSIVE, ON RECORD AT SMITHFIELD TOWNSHIP, SHALL BE CONSIDERED A PART OF THE APPROVED FINAL PLANS AS IF RECORDED WITH SAME.
- 14. THE APPLICANT/DEVELOPER IS REQUIRED TO OBTAIN FROM A LICENSED TESTING LABORATORY, CERTIFICATES OF APPROVAL FOR EACH LOT AS TO THE QUALITY AND ADEQUACY OF THE WATER SUPPLY PROPOSED TO BE USED BY THE APPLICANT/DEVELOPER.

**REVIEWED BY SMITHFIELD TOWN** 

TOWNSHIP ENGINEER

DATE

#### COVER\* SITE CONTEXT MAP EXISTING RESOURCES & SITE ANALYSIS SUBDIVISION PLAN\* PCSM PLAN\* E&S PLAN E&SPC DETAILS E&SPC DETAILS E&SPC/PCSM DETAILS PCSM/SITE DETAILS SITE DETAILS

SHEET INDEX:

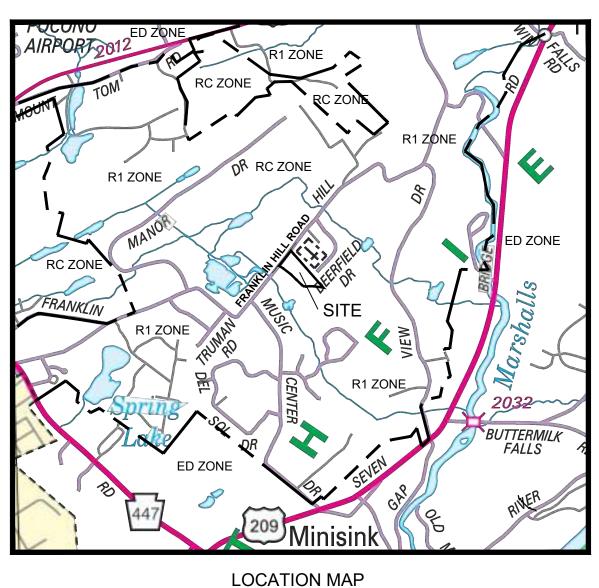
\*PLAN SHEETS TO BE RECORDED.

SHEET ' SHEET 2 SHEET 3 SHEET 4 SHEET 5 SHEET 6 SHEET 7 SHEET 8 SHEET 9 SHEET 10 SHEET 11

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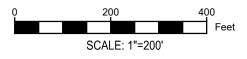


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) SUSTAIN			WILL BE SUBMITTED TO THE TOWNSHIP FOR	ILY SWORN ACCORDING TO LAW. I/WE STATE THAT ANY REVISION TO THE APPROVED DR REVIEW PRIOR TO CONSTRUCTION. A REVISED EROSION AND SEDIMENT CONTROL PLA RVATION DISTRICT FOR A DETERMINATION OF ADEQUACY.		ш У		
	<u>1" = 2</u>		DAVID WENGERD, PRESIDENT	PRINTED NAME				
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ALL ED TO, ALL HEREBY	<u>COVENANTS CONTINUED:</u> 15. ANY PROPOSED WELL IS SUBJECT TO THE PROVISI	ONS OF THE TOWNSHIP WELL CONSTRUCTION	PERMITS AND APPROVALS, AND THAT IF ALL	ROVAL OF THIS PLAN BY SMITHFIELD TOWNSHIP IS CONTINGENT UPON MY/OUR OBTAININ SUCH PERMITS AND APPROVALS ARE NOT OBTAINED AS REQUIRED, ANY AND ALL APPR O THIS PLAN SHALL AUTOMATICALLY BECOME NULL AND VOID WITHOUT FURTHER ACTIO	IG SUCH OVALS GIVEN )N ON THE	Z	/FINA  FDE 40PO	$  \geq \cap$
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SE OF 7 REMEDIES R REPAIR. IIS COVENANT	IMPROVEMENTS, THE APPLICANT/DEVELOPER SHALL N MAIL, OF THE COMPLETION OF THE IMPROVEMENTS AN THIS NOTICE SHALL INCLUDE A SET OF AS-BUILT DRAW ENGINEER.	OTIFY THE TOWNSHIP, BY CERTIFIED OR REGISTERED D SHALL SEND A COPY TO THE TOWNSHIP ENGINEER.	DAVID WENGERD, PRESIDENT D E & S PROPERTIES INC. T/A CLASSIC QUAL 2621 ROUTE 940 POCONO SUMMIT, PA 18346				ELIMI LAI 21 RO	
PROVISIONS EMAND BY ANT ARE IN DR IN EQUITY.	17. ALL AREAS TO BE PLANTED WITH MEADOW SEED M BE MAINTAINED AS SUCH FOR THE LIFE OF THE PROJEC	T. IN THE EVENT A FUTURE PROPERTY OWNER WOULD		MY COMMISSION EXPIRES: "I, JONATHAN SHUPP, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF			PR 26	
	PROPOSED A CHANGE TO THE COVER TYPE IN THESE A DEVELOPMENT PLAN MUST BE SUBMITTED TO SMITHFIE PRIOR TO CONSTRUCTION. ADDITIONAL STORMWATER	LD TOWNSHIP AND MCCD FOR REVIEW AND APPROVAL		PENNSYLVANIA DO HEREBY CERTIFY THAT THE PLAN CORRECTLY REPRESENTS A SURVEY MADE BY MYSELF ON AUGUST 27, 2020, THE MONUMENTS SHOWN HEREON AS LOCATED AND THE DIMENSIONAL AND GEODETIC DETAILS ARE CORRECT FOR TH			24 24 24	
				PROPERTY OF THE PROPOSED SUBDIVISION OR LAND DEVELOPMENT.		N A L	2-14-202 3-28-202 4-12-202 4-29-202 9-19-202	
		REVIEWED BY THE SMITHFIELD TOWNSHIP PLANNING COMMISSION	APPROVED BY THE SMITHFIELD TOWNSHIP BOARD OF SUPERVISORS AND ACCEPTED FOR RECORDING	"I, JONATHAN SHUPP, A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THE ACCOMPANYING APPLICATION, PLAN AND SUPPORTING DOCUMENTATION ARE TRUE AND ACCURATE, TO THE BEST OF M	NS,	REVI BY	A M M M M M M M M M M M M M M M M M M M	
				KNOWLEDGE.       JONATHAN SHUPP, PLS, SEO         DATE	F		23	) <del>.</del>
APPROVA SHIP ENGINEER	L/REVIEW BLOCKS: REVIEWED BY MONROE COUNTY PLANNING COMMISSION	CHAIR	CHAIR		N WE A	M M M M	SS EC 1, 202 S NOTED	0F 11
3	COUNTY PLANNING COMMISSION	SECRETARY	SECRETARY	PRINTED NAME TIGHE	M. MECKES	37: T	Υ. ΑΟ Β	. CI ;
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CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE – STOP CALL
Pennsylvania One Call System, Inc.
1-800-242-1776





		JLS SURVEYING
		DATE 10/5/2021 NWE A REGISTERED PROFFESIONAL JONATHAN L. SHUPP
$\begin{array}{c} 1.\\ 2.\\ 3.\\ 4.\\ 5.\\ 6.\\ 7.\\ 8.\\ 9.\\ 10.\\ 11.\\ 12.\\ 13.\\ 14.\\ 15.\\ 16.\\ 17.\\ 18.\\ 19.\\ 20.\\ 21.\\ 22.\\ 23.\\ 24.\\ 25.\\ 26.\\ 27.\\ 28.\\ 29.\\ 30.\\ 31.\\ 32.\\ 33.\\ 34.\\ 35.\\ 36.\\ 37.\\ 38.\\ 39.\\ 40.\\ 41.\\ 42.\\ 43.\\ 34.\\ 45.\\ 46.\\ 47.\\ 48.\\ 49.\\ 50.\\ 51.\\ 52.\\ 53.\\ 54.\\ 55.\\ 56.\\ 57.\\ 58.\\ 59.\\ 60.\\ 61.\\ 62.\\ 63.\\ 64.\\ 65.\\ \end{array}$	<pre>HTT CONNERS HTT CANNEL NETTLA CAAD PARCEL 16 7E 128 CONALD V. &amp; RUTHANN POPE - 157 HIDDEN VALLEY DR NARDWE SHURATS - 835 FRANKLIN HILL PD CANA GLEBERT - 110 HIDDEN VALLEY DR NARDWE SHURATS - 835 FRANKLIN HILL PD CANA GLEBERT - 110 HIDDEN VALLEY DR NARDWE SHURATS - 807 FRANKLIN HILL PD CANA GLEBERT - 110 HIDDEN VALLEY DR NARDWE SHURATS - 807 FRANKLIN HILL PD CANA GLEBERT - 100 HIDDEN VALLEY DR NARDWE SHURATS - 807 FRANKLIN HILL PD CANA GLEBERT - 100 HIDDEN VALLEY DR NARDWE SHURATS - 807 FRANKLIN HILL PD CANA GLEBERT - 1622 FRANKLIN HILL RD CANAS MEZA - 300 MUSIC CENTER DR NARS MEZA - 300 MUSIC CENTER DR NARS MEZA - 300 HISG HISG CHARS MEZA HIDEN - 350 HISG HISG HISG HISG HISG HISG HISG HISG</pre>	SITE CONTEXT MAP SITE CONTEXT MAP FRANKLIN HILL MANOR       REVISIONS         PRELIMINARY LAND DEVELOPMENT OF THE LANDS OF D E & S PROPERTIES LLC       NO       DATE       DASCRIPTION         PRELIMINARY LAND DEVELOPMENT OF THE LANDS OF D E & S PROPERTIES LLC       1-3-2022       TOWNSHIP REVIEW #1       DASCRIPTION         SMITHFIELD TOWNSHIP, MONROE COUNTY, PA       0       1-3-5-2022       TOWNSHIP REVIEW #2       DASCRIPTION

DRAWING NO. 2 of 11



INV.=673.68 EXISTING ALBERT

MaB MARDIN CHANNERY SILT LOAM 3-8% SLOPES

ALBERT LANE EXISTING CARTWAY (10' WIDTH)

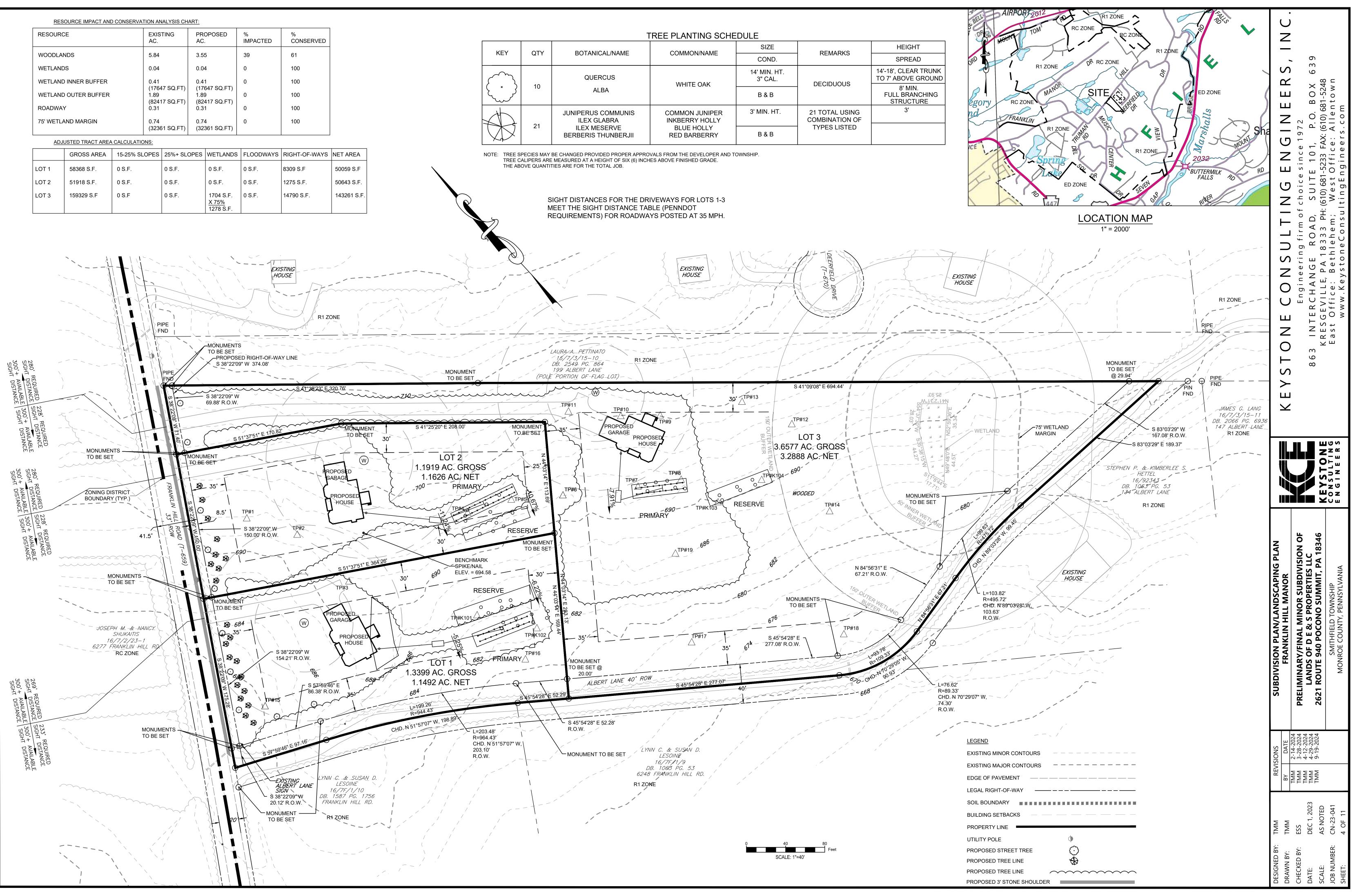
DISCHARGE POINT #2 POINT OF INTEREST - B (15" PIPE - UNT TO MARSHALL'S CREEK)

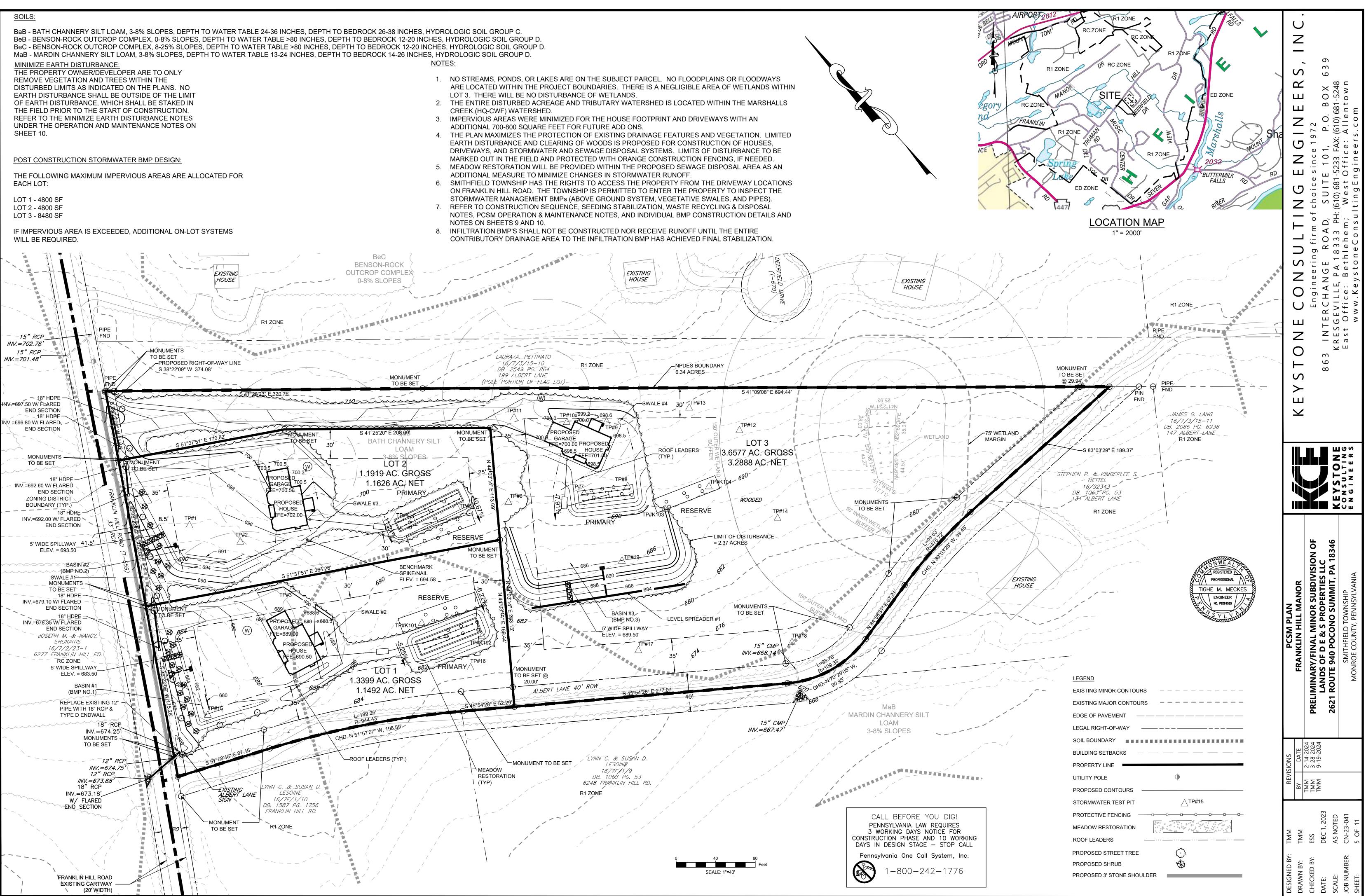
OPOSED SUBDIVI LOT

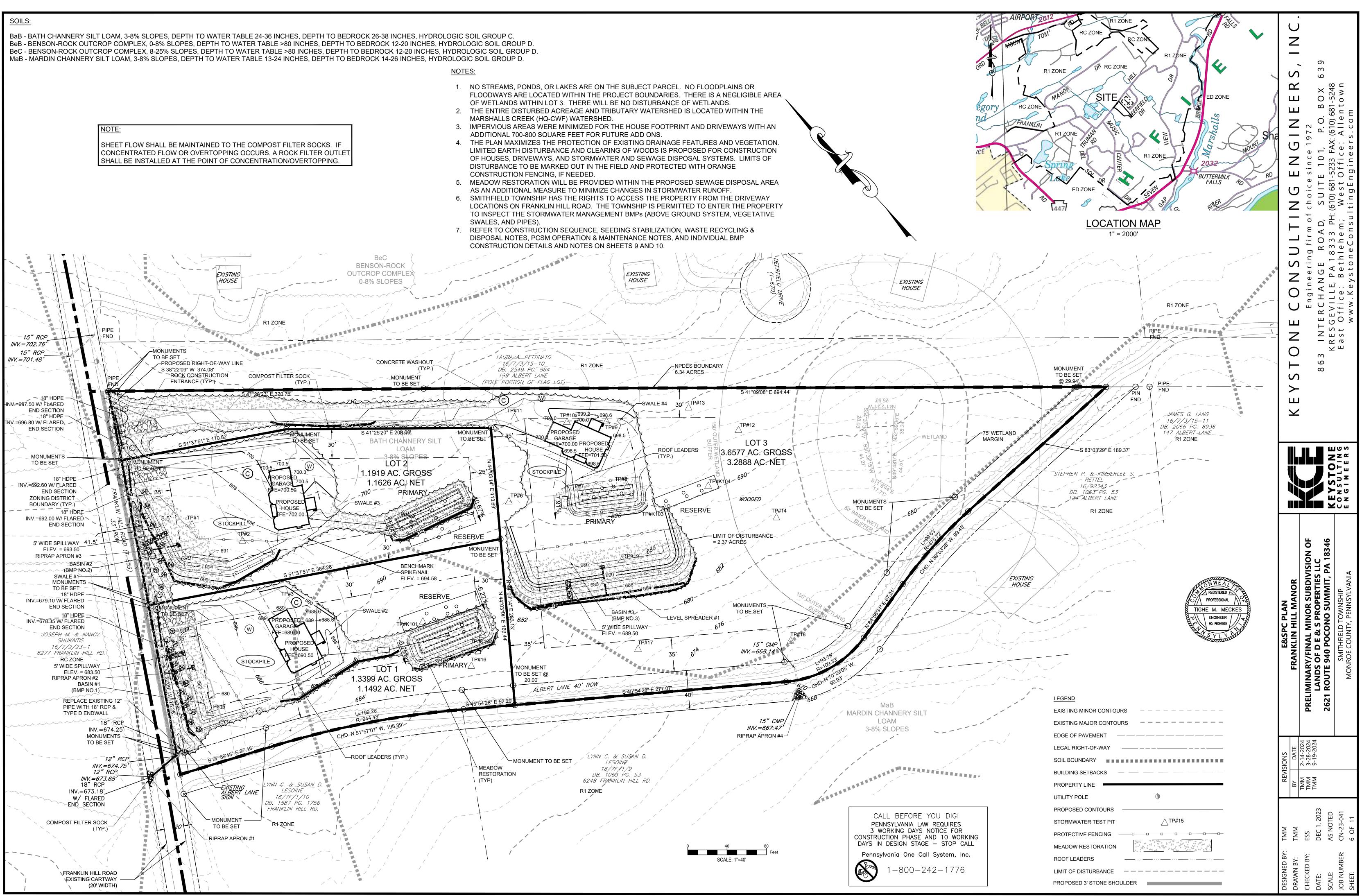
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RE	SOURCE IMPACT AND	O CONSERVA	TION AN	IALYSIS CH	ART:				
RESOURCE		EXIS AC.	TING	PR AC	OPOSED	% IMPACTED	% CONSERVED		
WOODL	ANDS		5.84		3.5	5	39	61	
WETLAN	IDS		0.04		0.04	4	0	100	
WETLAN	ID INNER BUFFER		0.41 (17647 SQ.FT) 1.89 (82417 SQ.FT)		0.41 0		0	100	
WETLAN	ID OUTER BUFFER				1.89	0	100		
ROADWAY		0.31		(824 0.3	417 SQ.FT) 1	0	100		
75' WETI	LAND MARGIN		0.74 (3236	61 SQ.FT)	0.74 (323	4 361 SQ.FT)	0	100	
AD	JUSTED TRACT AREA	CALCULATIO	DNS:						
	GROSS AREA	15-25% SL	OPES	25%+ SL0	OPES	WETLANDS	FLOODWAYS	RIGHT-OF-WAYS	NET AREA
LOT 1	58368 S.F.	0 S.F.		0 S.F.		0 S.F.	0 S.F.	8309 S.F	50059 S.F
LOT 2	51918 S.F.	0 S.F.		0 S.F.		0 S.F.	0 S.F.	1275 S.F.	50643 S.F.
LOT 3	159329 S.F	0 S.F		0 S.F.		1704 S.F.	0 S.F.	14790 S.F.	143261 S.F







## GENERAL NOTES:

- 1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
- 2. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- 4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.
- AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
- CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPS SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF
- DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN. 8. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S)
- SHOWN ON THE PLAN MAPS(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
- 10. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE. 11. ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION
- DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED. 12. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM
- FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING. 13. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
- 14. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPS SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- 15. A LOG SHOWING DATES THAT E&S BMPS WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
- 16. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEPT INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
- 17. ALL SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS
- 18. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES AND 6 TO 12 INCHES ON COMPACTED SOILS PRIOR TO PLACEMENT OF TOPSOIL, AREAS TO BE VEGETATED SHALL HAVE TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. REFER TO LANDSCAPE PLAN FOR TOPSOIL PLACEMENT DEPTHS
- 19. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- 21. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS. 23. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- 24. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE
- STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD. 25. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE, CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
- 26. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR. MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
- 27. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
- 28. E&S BMPS SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
- 29. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPS.
- 30. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED. TEMPORARY EROSION AND SEDIMENT BMPS MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPS. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPS SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED
- AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
- 32. FAILURE TO CORRECTLY INSTALL E&S BMPS, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPS MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
- 33. CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.
- 34. ALL CHANNELS SHALL BE KEPT FREE OF OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO FILL. ROCKS, LEAVES. WOODY DEBRIS, ACCUMULATED SEDIMENT, EXCESS VEGETATION, AND CONSTRUCTION MATERIAL/WASTES.
- 35. UNDERGROUND UTILITIES CUTTING THROUGH ANY ACTIVE CHANNEL SHALL BE IMMEDIATELY BACKFILLED AND THE CHANNEL RESTORED TO ITS ORIGINAL CROSS-SECTION AND PROTECTIVE LINING. ANY BASE FLOW WITHIN THE CHANNEL SHALL BE CONVEYED PAST THE WORK AREA IN THE MANNER DESCRIBED IN THIS PLAN UNTIL SUCH RESTORATION IS COMPLETE.
- 36. CHANNELS HAVING RIPRAP, RENO MATTRESS, OR GABION LININGS MUST BE SUFFICIENTLY OVER-EXCAVATED SO THAT THE DESIGN DIMENSIONS WILL BE PROVIDED AFTER PLACEMENT OF THE PROTECTIVE LINING. SEDIMENT BASINS AND/OR TRAPS SHALL BE KEPT FREE OF ALL CONSTRUCTION WASTE, WASH WATER, AND
- OTHER DEBRIS HAVING POTENTIAL TO CLOG THE BASIN/TRAP OUTLET STRUCTURES AND/OR POLLUTE THE SURFACE WATERS. 38. ANY DAMAGE THAT OCCURS IN WHOLE OR IN PART AS A RESULT OF BASIN OR TRAP DISCHARGE SHALL BE
- IMMEDIATELY REPAIRED BY THE PERMITTEE IN A PERMANENT MANNER SATISFACTORY TO THE MUNICIPALITY. LOCAL CONSERVATION DISTRICT, AND THE OWNER OF THE DAMAGED PROPERTY. 39. UPON REQUEST, THE APPLICANT OR HIS CONTRACTOR SHALL PROVIDE AN AS-BUILT (RECORD DRAWING) FOR
- ANY SEDIMENT BASIN OR TRAP TO THE MUNICIPAL INSPECTOR, LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT
- 40. EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3H:1V OR STEEPER WITHIN 50 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS.

# **E& S MAINTENANCE & INSPECTION NOTES:**

EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMP'S) MUST BE CONSTRUCTED. STABILIZED AND FUNCTIONAL BEFORE SITE DISTURBANCE WITHIN THE TRIBUTARY AREAS OF THOSE BMP'S. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT CONTROL BMP'S MUST BE MAINTAINED PROPERLY. ALL EROSION AND SEDIMENT CONTROL BMP'S SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEANOUT, REPAIR, REPLACEMENT, RE-GRADING, RE-SEEDING, RE-MULCHING, AND RE-NETTING MUST BE PERFORMED IMMEDIATELY. A WRITTEN REPORT DOCUMENTING THE INSPECTIONS AND REPAIRS MADE TO THE EROSION AND SEDIMENT CONTROL BMP'S MUST BE KEPT BY THE PERSON RESPONSIBLE FOR BMP MAINTENANCE.

ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO ANY ROADWAY OR ANY PUBLIC RIGHT-OF-WAY SHALL IMMEDIATELY BE REMOVED. WASHING SEDIMENT FROM THE PAVEMENT IS PROHIBITED.

ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. DRAIN SPACE UNDER WASH RACK SHALL BE KEPT OPEN AT ALL TIMES. DAMAGE TO THE WASH RACK SHALL BE REPAIRED PRIOR TO FURTHER USE OF THE RACK.

COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVE GROUND HEIGHT OF THE SOCK AND DISPOSED OF IN A LAWFUL MANNER.

INLET FILTER BAGS SHOULD BE CLEANED AND/OR REPLACED WHEN THE BAG IS 1/2 FULL. DAMAGED FILTER BAGS SHALL BE REPLACED.

SEDIMENT BASIN SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED THE CLEAN OUT ELEVATION ON THE STAKE AND THE BASIN RESTORED TO ITS ORIGINAL DIMENSIONS.

CHANNELS SHALL BE CLEANED WHENEVER TOTAL CHANNEL DEPTH IS REDUCED BY 25% AT ANY LOCATION. REMOVE SEDIMENT DEPOSITS. DAMAGED LINING SHALL BE REPAIRED OR REPLACED.

# DISPOSAL AREA)

RIPRAP APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVEN. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

SHOULD UNFORESEEN EROSIVE CONDITIONS DEVELOP, IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMMEDIATELY CORRECT THE PROBLEM.

OWNER IS RESPONSIBLE FOR MAINTENANCE OF PERMANENT CONTROLS.

THE CONTRACTOR SHALL, PERIODICALLY OR AS DIRECTED DURING THE PROGRESS OF THE WORK, REMOVE AND LEGALLY DISPOSE OF ALL SURPLUS MATERIAL AND DEBRIS AND KEEP THE PROJECT AREA AND PUBLIC RIGHTS-OF-WAY REASONABLY CLEAR. SURPLUS OR DEMOLITION MATERIALS SHALL BE RECYCLED DURING THE COURSE OF THE WORK, WHENEVER PRACTICAL AND APPROVED BY THE DESIGN ENGINEER.

UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL REMOVE ALL TEMPORARY CONSTRUCTION FACILITIES, DEBRIS AND UNUSED MATERIALS, PROVIDED FOR THE WORK, AND PUT ALL OF THE SITES OF THE WORK AND PUBLIC RIGHTS-OF-WAY IN A NEAT AND CLEAN CONDITION. TRASH BURNING ON THE SITE OF THE WORK WILL NOT BE PERMITTED. OFF-SITE DISPOSAL OF SOIL OR ROCK WILL REQUIRE AN EROSION AND SEDIMENT CONTROL PLAN SUBMISSION, BY THE CONTRACTOR, TO THE APPROPRIATE CONSERVATION DISTRICT.

REFER TO THE INDIVIDUAL MAINTENANCE AND INSPECTION NOTES FOR EACH BMP WITHIN THE DETAILED SPECIFICATIONS ON SHEETS 9-11.

A LOG BOOK OF ALL MAINTENANCE ACTIVITIES SHALL BE KEPT ON SITE FOR ALL BMPS AT ALL TIMES TO ENSURE COMPLIANCE WITH THE E&S PLANS THAT INCLUDES AT A MINIMUM INSPECTION DATES, OBSERVATIONS. MAINTENANCE ACTIVITIES, AND REPAIRS.

## MAINTENANCE PROGRAM:

THE CONTRACTOR IS REQUIRED TO INCORPORATE ALL TEMPORARY AND PERMANENT CONTROL MEASURES AND FACILITIES INDICATED ON THE APPROVED PLAN SET, INTO THE PROJECT AT THE EARLIEST PRACTICABLE TIME. THE CONTRACTOR IS RESPONSIBLE FOR APPLYING, CLEANING, AND MAINTAINING ALL CONTROL FEATURES DURING CONSTRUCTION. APPROPRIATE EROSION AND SEDIMENT POLLUTION CONTROL FEATURES SHALL BE APPLIED TO SECTIONS SUCH AS BORROW PITS AND MATERIAL STORAGE AREAS UNFORESEEN PRIOR TO CONSTRUCTION. PERMANENT EROSION CONTROL FACILITIES WILL BE MAINTAINED BY THE OWNER.

THE TEMPORARY FACILITIES FOR EROSION AND SEDIMENT POLLUTION CONTROL SHALL BE INSPECTED A MINIMUM OF ONCE PER WEEK AND AFTER EVERY RAINFALL EVENT. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT OF COMPOST FILTER SOCKS AND 1/3 THE ABOVE GROUND HEIGHT OF THE ROCK FILTERS. ANY COMPOST FILTER SOCK SECTION THAT HAS BEEN UNDERMINED OR OVERTOPPED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER. AS CONSTRUCTION PROGRESSES AND DISTURBED AREAS HAVE BEEN STABILIZED, TEMPORARY EROSION CONTROL STRUCTURES ARE TO BE CLEANED AND REMOVED.

# **RESPONSIBILITIES FOR FILL MATERIALS:**

THE IMPLEMENTATION OF FILL MATERIALS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. UPON FINAL SITE ACCEPTANCE, THE OWNER SHALL BE RESPONSIBLE FOR FILL MATERIALS

OWNER: D E & S PROPERTIES T/A CLASSIC QUALITY HOMES 2621 ROUTE 940 POCONO SUMMIT, PA 18346 (570) 839-3200

# **CLEAN FILL:**

\* THE CONTRACTOR OF THE SITE WILL PERFORM ENVIRONMENTAL DUE DILIGENCE ON ALL IMPORTED SOILS THAT WILL BE UTILIZED ON THE PROJECT SITE.

\* ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS.

\* ANALYTICAL TESTING IS REQUIRED FOR FILL MATERIAL SUSPECTED OF BEING SUBJECTED TO A SPILL OR RELEASE OF A REGULATED SUBSTANCE BASED UPON COMPLETION OF VISUAL INSPECTION AND/OR REVIEW OF PAST LAND USES AS PART OF ENVIRONMENTAL DUE DILIGENCE. FILL MATERIAL DETERMINED TO NOT QUALIFY AS CLEAN FILL THROUGH ANALYTICAL TESTING IS CONSIDERED REGULATED FILL AND MUST BE MANAGED AS A WASTE IN ACCORDANCE WITH APPLICABLE MUNICIPAL OR RESIDUAL WASTE REGULATIONS OF THE DEPARTMENT.

ACCUMULATED SEDIMENT MAY BE INCORPORATED INTO THE FILL OR REMOVED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER (AN APPROVED EROSION AND SEDIMENT CONTROL PLAN WILL BE REQUIRED FOR ANY OFFSITE

\* CLEAN FILL IS DEFINED AS: UNCONTAMINATED NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT SOLID. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIALS, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED.

- POTENTIAL DISCHARGE OF POLLUTANTS CARRIED IN STORM WATER.
- PFRMIT
- ON THE SITE.
- 4. FOLLOW THIS FORMAT AND INCLUDE THESE ELEMENTS FOR THE PPC PLAN:
- A. GENERAL DESCRIPTION OF THE CONSTRUCTION ACTIVITY: ADDITION TO THE FEATURES OF THE E&S PLANS.
- B. EMERGENCY RESPONSE PROGRAM:
- CONTACTED IN THE EVENT OF AN EMERGENCY OR SPILL.

SUCH A LIST INCLUDES AS APPLICABLE: PA DFP PA EMERGENCY MANAGEMENT AGENCY COUNTY HEALTH DEPARTMENT

- PA FISH COMMISSION LOCAL POLICE AND FIRE DEPARTMENTS LOCAL SEWAGE TREATMENT PLANT DOWN STREAM PUBLIC WATER SUPPLIES INDUSTRIAL WATER USERS RECREATION AREAS
- INTERNAL AND EXTERNAL COMMUNICATIONS AND ALARM SYSTEMS - EMPLOYEE TRAINING PROGRAM.
- AND CAPABILITIES OF EACH ITEM.

- POTENTIAL EMERGENCIES THAT MAY OCCUR AND THE NEED FOR SERVICES.
- C. MATERIAL AND WASTE INVENTORY: QUANTITIES USED OR STORED ON THE SITE.
- D. SPILL AND LEAK PREVENTION AND RESPONSE: OR ARFA
- E. INSPECTION PROGRAM:
- OF EQUIPMENT, STORAGE AREAS AND SIMILAR AREAS.
- F. HOUSEKEEPING PROGRAM:
- G. SECURITY MEASURES: AND/OR INJURY TO PERSONS AND DAMAGE TO EQUIPMENT.
- H. EXTERNAL FACTORS:

## PREPAREDNESS, PREVENTION AND CONTINGENCY (PPC) PLAN GENERAL NOTES

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PREPARE A PREPAREDNESS, PREVENTION AND CONTINGENCY (PPC) PLAN FOR THE PROPOSED CONSTRUCTION ACTIVITIES TO CONTROL THE

2. BOTH THE E&S PLAN AND THE PPC PLAN ARE TO BE MAINTAINED ONSITE FOR THE DURATION OF THE

3. A PPC PLAN IS REQUIRED IF CHEMICALS, SOLVENTS, HAZARDOUS WASTES, OR ANY MATERIAL WITH THE POTENTIAL FOR CAUSING ACCIDENTAL POLLUTION OF AIR, LAND, OR WATER, ARE STORED OR UTILIZED

- INCLUDE DRAWINGS SHOWING GENERAL LAYOUT OF SITE, PROPERTY BOUNDARIES, MATERIALS STORAGE AREAS, LOADING AND UNLOADING OPERATION SITES, TRUCK WASHING AREAS, IN

- DESCRIBE THE ORGANIZATIONAL STRUCTURE, CHAIN OF COMMAND, EMERGENCY COORDINATORS AND CONTACTS. INCLUDE DESCRIPTIONS OF EACH INDIVIDUAL'S DUTIES AND RESPONSIBILITIES WITHIN THE CHAIN OF COMMAND FOR IMPLEMENTATION OF THE PPC PLAN. - IDENTIFY ON THE ORGANIZATIONAL CHART A LIST OF EMERGENCY COORDINATORS THAT MUST BE

- DESCRIBE THE DUTIES AND RESPONSIBILITIES OF THE EMERGENCY COORDINATOR SPECIFIC TO THE SITE OR ACTIVITY IN THE EVENT OF AN EMINENT OR ACTUAL EMERGENCY. - INCLUDE ON THE ORGANIZATIONAL CHART OR ON AN ATTACHMENT, A LIST OF AGENCIES AND PHONE

NUMBERS THAT MUST BE CONTACTED IN THE EVENT OF AN EMERGENCY OR SPILL

THE NATIONAL RESPONSE CENTER (U.S. EPA AND U.S. COAST GUARD)

- LIST OF EMERGENCY EQUIPMENT. INCLUDE THE LOCATION, PHYSICAL DESCRIPTION, INTENDED USE

- MAINTENANCE PROCEDURES AND DECONTAMINATION PROCEDURES OF EMERGENCY EQUIPMENT - EVACUATION PLAN FOR INSTALLATION PERSONNEL (IF DEEMED NECESSARY) - ARRANGEMENTS WITH EMERGENCY RESPONSE CONTRACTORS. PROVIDE LIST WITH PHONE NUMBERS AND THE SERVICES EACH CONTRACTOR WILL PROVIDE.

- INFORM LOCAL EMERGENCY RESPONSE AGENCIES AND HOSPITALS CONCERNING THE TYPE OF

- FAMILIARIZE LOCAL POLICE, FIRE DEPARTMENTS, EMERGENCY RESPONSE TEAMS AND THE COUNTY EMERGENCY MANAGEMENT COORDINATOR WITH THE LAYOUT OF THE CONSTRUCTION SITE, THE PROPERTIES AND DANGERS ASSOCIATED WITH THE HAZARDOUS MATERIALS (IF ANY) HANDLED, PLACES WHERE PERSONNEL WOULD BE NORMALLY WORKING. ENTRANCES TO ACCESS ROADS INSIDE THE FACILITY, AND ANY POSSIBLE EVACUATION ROUTES.

- IDENTIFY BY COMMON CHEMICAL NAME AND TRADE NAME TO INCLUDE LOCATIONS, SOURCES, AND

- FOR EACH HAZARDOUS CHEMICAL STORED AT THE CONSTRUCTION SITE, THE LOCATION AND MATERIAL SAFETY DATA SHEET OR SIMILAR INFORMATION IS TO BE CLEARLY CITED IN THE PPC PLAN.

- DESCRIBE THE SOURCE AND AREAS FOR POTENTIAL LEAKS AND SPILLS, THE PROBABLE DIRECTION OF FLOW OF SPILLED MATERIALS AND THE POLLUTION INCIDENT MEASURE SPECIFIC TO THE SOURCE

- PROVIDE SEPARATE DRAWINGS OR PLOT PLANS TO SUPPLEMENT THE ABOVE.

- DESCRIBE THE INSPECTION PROGRAM AND MONITORING PROCEDURES TO ASSESS THE INTEGRITY

- IDENTIFY THE AREAS AND THE ASSOCIATED TYPE OF HOUSEKEEPING PRACTICES TO MINIMIZE THE POSSIBILITY OF ACCIDENTAL SPILLS AND SAFETY HAZARDS TO PERSONNEL.

- DESCRIBE SECURITY PROCEDURES AND SYSTEMS AT THE SITE TO PREVENT ACCIDENTAL OR INTENTIONAL ENTRY THAT COULD RESULT IN A VIOLATION OF DEPARTMENTAL REGULATIONS.

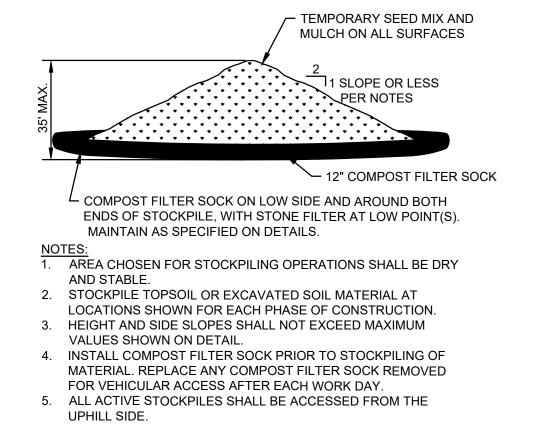
- DESCRIBE THE POSSIBLE AFFECTS OF EXTERNAL FACTORS SUCH AS POWER OUTAGES, STRIKES, FLOODS, SNOWSTORMS ETC. AND ANY ACTION TO BE TAKEN TO ALLEVIATE ANY RESULTING EFFECTS TO PUBLIC HEALTH AND SAFETY OR THE ENVIRONMENT.

10/5/2021 NWEA REGISTERED PROFFESIONAL IATHAN L. SH	EFFORT, PA 183 PHONE: (570)350-47 SSURVEYING@GMAIL
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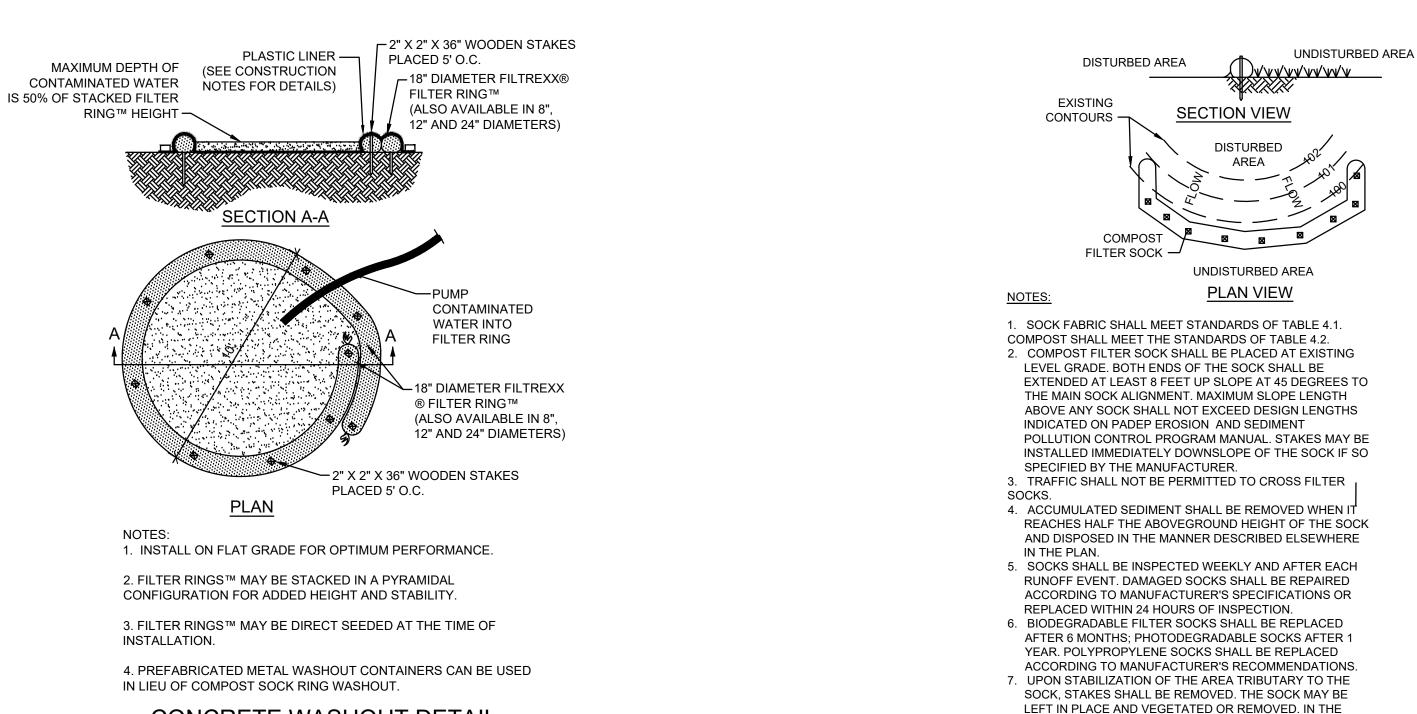
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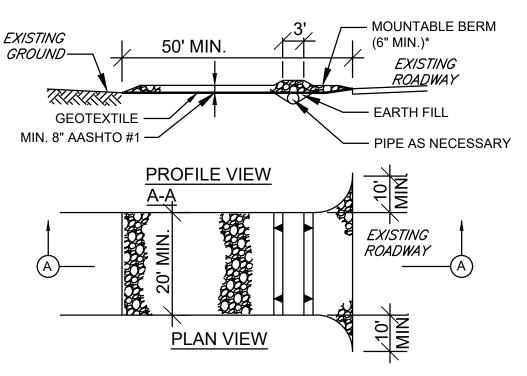
DRAWING NO.



- 6. SEE SPECIFICATIONS FOR INSTALLATION OF COMPOST FILTER SOCK.
- 7. APPLY A TEMPORARY SEED MIX AND MULCH WHEN PILE WILL REMAIN FOR 30 DAYS OR MORE.
- 8. ANY EXCAVATION SLOPES THAT WILL EXIST FOR A PERIOD
- LESS THAN 6 MONTHS IS CONSIDERED TO BE TEMPORARY. 9. ALL TEMPORARY SLOPES ARE RECOMMENDED TO BE
- CONSTRUCTED NOT STEEPER THAN 2H:1V.

#### **TYPICAL STOCKPILE DETAIL** NOT TO SCALE





\*MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE.

#### NOTES:

- 1. REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK
- ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE. 2. RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK
- CONSTRUCTION ENTRANCE. 3. MOUNTABLE BERM SHOULD BE INSTALLED WHEREVER
- OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE TO BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

#### MAINTENANCE:

ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAYS, EXTEND LENGTH OF ROCK CONSTRUCTION BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWER, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

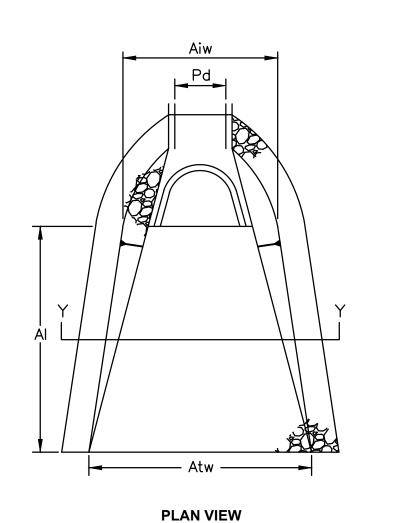
# **STANDARD CONSTRUCTION DETAIL # 3-1**

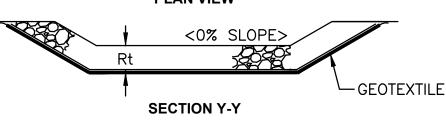
ROCK CONSTRUCTION ENTRANCE NOT TO SCALE

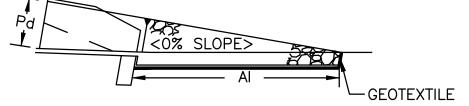
APRON (POI 2 (BAS 3 (BAS (POI 2

# CONCRETE WASHOUT DETAIL

#### NOT TO SCALE





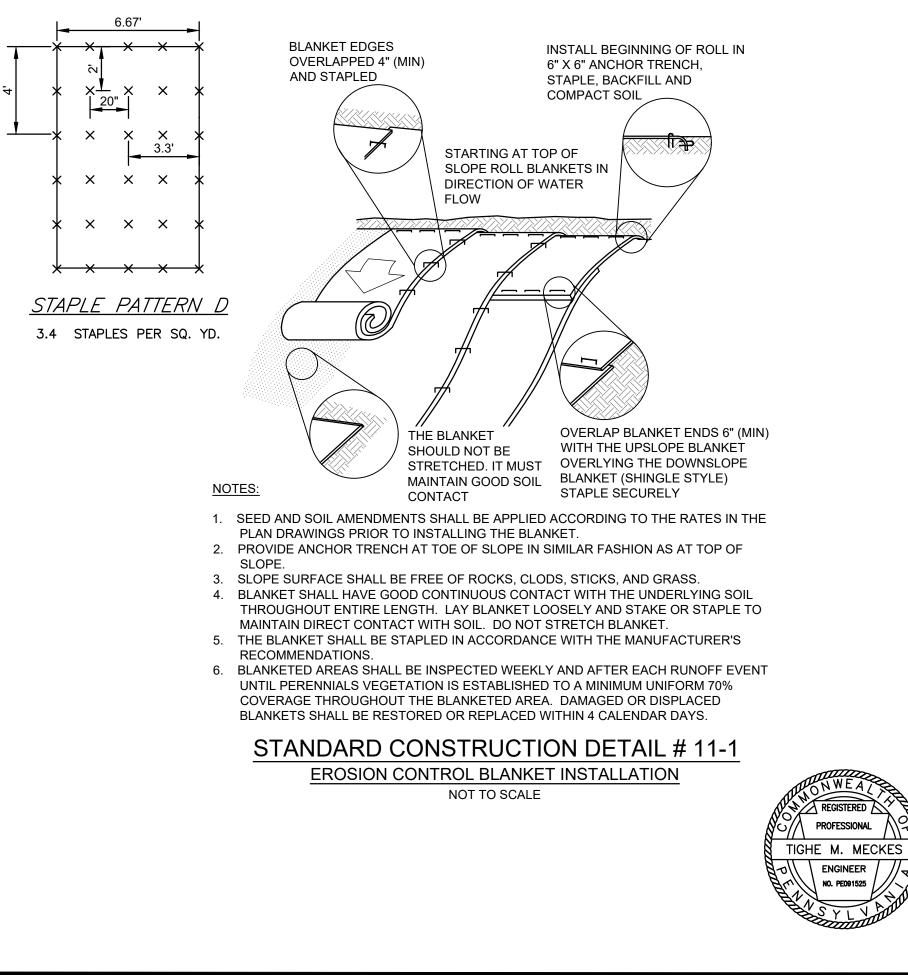


		RIPRAP		APRON		
NO.	PIPE DIA Pd (IN)	SIZE (R)	THICK. Rt (IN)	LENGTH AI (FT)	INITIAL WIDTH Aiw (FT)	TERMINAL WIDTH Atw (FT)
1 PIPE)	18	5	27	9 OR TO R.O.W.	5	13
SIN 1)	12	3	12	6	3	9
SIN 2)	12	3	12	6	3	9
2 PIPE)	15	5	27	13 OR TO R.O.W.	4	17

1. ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS. 2. ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

3. EXTEND RIPRAP ON BACK SIDE OF APRON TO AT LEAST  $\frac{1}{2}$  DEPTH OF PIPE ON BOTH SIDES TO PREVENT SCOUR AROUND THE PIPE.

> STANDARD CONSTRUCTION DETAIL # 33-0 RIPRAP APRONS AT PIPE OUTLETS WITH FLARED END SECTIONS NOT TO SCALE



LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE

MULCH SPREAD AS A SOIL SUPPLEMENT.

#### STANDARD CONSTRUCTION DETAIL # 4-1 COMPOST FILTER SOCK NOT TO SCALE TABLE 4.2 COMPOST STANDARDS ORGANIC MATTER CONTENT 25% - 100% (DRY WEIGHT BASIS)

L		
	ORGANIC PORTION	FIBROUS AND ELONGATED
	рН	5.5 - 8.5
	MOISTURE CONTENT	30% - 60%
	PARTICLE SIZE	30% - 50% PASS THROUGH 3/8" SIEVE
	SOLUBLE SALT CONCENTRATE	5.0 dS/m (mmhos/cm) MAXIMUM
-		

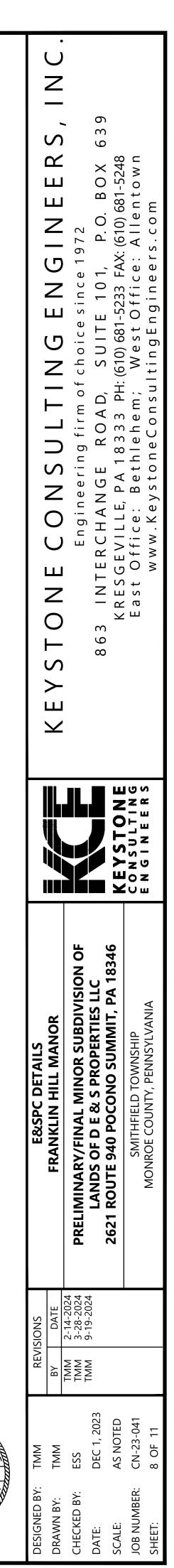
TABLE 4.1								
	COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS							
MATERIAL TYPE     3 mil HDPE     5 mil HDPE     5 mil HDPE     5 mil HDPE     MULTI-FILAMENT POLYPROPYLENE (MFPP)     HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE (HDMFPP)								
MATERIAL CHARACTERISTICS	PHOTO- DEGRADABLE	PHOTO- DEGRADABLE	BIO- DEGRADABLE	PHOTO- DEGRADABLE	PHOTO- DEGRADABLE			
SOCK DIAMETERS	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"			
MESH OPENING 3/8 "		3/8 "	3/8 "	3/8 "	3/8 "			
TENSILE STRENGTH			26 PSI	44 PSI	202 PSI			
ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM G-155)	23% AT 1000 HR	23% AT 1000 HR		100% AT 1000 HR	100% AT 1000 HR			
MINIMUM FUNCTIONAL LONGEVITY	6 MONTHS	9 MONTHS	6 MONTHS	1 YEAR	2 YEARS			
		2-PLY SYS	TEMS					
			HDPE BIAXIAL NET					
INNER CC	NTAINMENT NE	TTING	CONTINUOUSLY WOUND					
			FUSION-WELD JUNCTURES					

	3/4" X 3/4" MAX. APERTURE SIZE
OUTER FILTRATION MESH	COMPOSITE POLYPROPYLENE FABRIC (WOVEN LAYER AND NON-WOVEN FLEECE MECHANICALLY FUSED VIA NEEDLE PUNCH)
	3/16" MAX APERTURE SIZE

SOCK FABRICS COMPOSED OF BURLAP MAY BE USED ON PROJECTS LASTING 6 MONTHS OR LESS

COMPOST SHOULD BE WELL DECOMPOSED, WEED-FREE ORGANIC MATTER DERIVED FROM AGRICULTURE, FOOD, STUMP GRINDINGS, AND YARD OR WOOD/BARK ORGANIC MATTER SOURCES. THE COMPOST SHOULD BE AEROBICALLY COMPOSTED. THE COMPOST SHOULD POSSESS NO OBJECTIONABLE ODORS AND SHOULD BE REASONABLY FREE (<1% BY DRY WEIGHT) OF MAN-MADE FOREIGN MATTER. THE COMPOST PRODUCT SHOULD NOT RESEMBLE THE RAW MATERIAL FROM WHICH IT WAS DERIVED. WOOD AND BARK CHIP, GROUND CONSTRUCTION DEBRIS OR REPROCESSED WOOD PRODUCTS ARE NOT ACCEPTABLE AS THE INORGANIC COMPONENT OF THE MIX.

THE PHYSICAL PARAMETERS OF THE COMPOST SHOULD COMPLY WITH THE STANDARDS IN TABLE 4-2. THE STANDARDS CONTAINED IN THE PENNDOT PUBLICATION 408 ARE AN ACCEPTABLE ALTERNATIVE.



## SEQUENCE OF CONSTRUCTION ACTIVITIES

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE OF CONSTRUCTION ACTIVITIES. EACH STAGE SHALL BE COMPLETED BEFORE A SUBSEQUENT STAGE IS INITIATED, EXCEPT WHERE NOTED. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED BY THE MONROE COUNTY CONSERVATION DISTRICT PRIOR TO IMPLEMENTATION. UPON THE COMPLETION OR TEMPORARY CESSATION OF THE EARTH DISTURBANCE ACTIVITY, OR ANY STAGE THEREOF, THE PROJECT SITE SHALL BE IMMEDIATELY STABILIZED. AT LEAST SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES; THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN PREPARER, AND THE CONSERVATION DISTRICT TO AN ON-SITE MEETING. ALSO, AT LEAST THREE (3) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT (800) 242-1776 TO LOCATE BURIED UTILITIES AND THE MONROE COUNTY CONSERVATION DISTRICT AT (570) 629-3060. ADDITIONALLY, UPON INSTALLATION OR STABILIZATION OF ALL PERIMETER SEDIMENT CONTROL BMPS AND AT LEAST THREE (3) DAYS PRIOR TO PROCEEDING WITH THE BULK EARTH DISTURBANCE ACTIVITIES, THE PERMITTEE OR CO-PERMITTEE SHALL PROVIDE NOTIFICATION TO THE MONROE COUNTY CONSERVATION DISTRICT.

#### NOTES:

- EACH STAGE OF THE CONSTRUCTION SEQUENCE MUST BE COMPLETED PRIOR TO INITIATION OF SUBSEQUENT
- STAGE. CESSATION OF ACTIVITY FOR 4 DAYS OR LONGER REQUIRES TEMPORARY STABILIZATION OF DISTURBED AREAS. CLEAR AND GRUB AREAS PRIOR TO EXCAVATION. STOCKPILE ALL TOPSOIL IN DESIGNATED AREAS.
- ALL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE PROJECT SITE THROUGH A ROCK CONSTRUCTION FNTRANCE
- STORMWATER FACILITIES SHOULD BE INSTALLED STARTING AT THE OUTLET AREAS AND PROGRESS UPSTREAM, INSTALLING BMPS AND LININGS AS WORK PROGRESSES. REFER TO TRENCH EXCAVATION NOTES FOR ALL TRENCHING OPERATIONS.
- UTILIZE CLEARED VEGETATION TO STABILIZE SITE DISTURBANCE AS DESIRED. MULCH VEGETATION AND SPREAD AS NEEDED. REMOVE ALL EXCESS MATERIAL OFF SITE AND DISPOSE OF PROPERLY.
- A PUMPED WATER FILTER BAG AND COMPOST SEDIMENT TRAP SHALL BE UTILIZED TO DEWATER EXCAVATIONS AS NEEDED
- ALL STOCKPILE MATERIAL SHALL BE PLACED IN DESIGNATED STOCKPILE LOCATIONS AS INDICATED ON PLAN DRAWINGS
- STOCKPILE ALL SUITABLE MATERIAL FOR REUSE WITHIN AN APPROVED STOCKPILE LOCATION AND HAUL ALL
- EXCESS AND UNSUITABLE MATERIAL OFF-SITE TO AN APPROVED DISPOSAL LOCATION. A LICENSED PROFESSIONAL OR THEIR DESIGNEE MUST BE PRESENT AT THE SITE DURING INSTALLATION OF PCSM PLAN MEASURES NOTED AS "CRITICAL STAGE" IN THE SEQUENCE.
- LAY EROSION CONTROL BLANKETS ON ANY PROPOSED SLOPES 3:1 OR GREATER.

#### CONSTRUCTION SEQUENCE (ROADWAY)

- SCHEDULE A PRE-CONSTRUCTION MEETING AT THE CONSTRUCTION SITE AMONG THE CONTRACTOR, MONROE COUNTY CONSERVATION DISTRICT, SMITHFIELD TOWNSHIP AND ITS REPRESENTATIVES, THE DEVELOPER, AND ANY OTHER PERTINENT SITE PERSONNEL. NOTIFY THE MONROE COUNTY CONSERVATION DISTRICT SEVEN (7) DAYS IN ADVANCE OF ANY LAND DISTURBANCE ACTIVITIES AT 570-629-3060.
- INSTALL COMPOST FILTER SOCK DOWNSTREAM OF PROPOSED RIPRAP APRON #1. COORDINATE WITH SMITHFIELD TOWNSHIP PUBLIC WORKS DEPARTMENT TO REPLACE EXISTING 12" CROSS PIPE UNDER FRANKLIN HILL ROAD WITH PROPOSED 18" PIPE AND INSTALL ASSOCIATED HEADWALL AND RIPRAP APRON. PAVEMENT RESTORATION TO BE IN ACCORDANCE WITH TOWNSHIP STANDARDS.
- CONSTRUCT SHOULDER WIDENING AND ROADSIDE SWALE #1 ALONG FRANKLIN HILL ROAD. SWALE TO BE INSTALLED FROM DOWNSTREAM TO UPSTREAM. INSTALL 18" PIPES AT PROPOSED DRIVEWAY LOCATIONS AS THE SWALE CONSTRUCTION PROGRESSES UPSTREAM. ALL DISTURBANCE ASSOCIATED WITH THE SHOULDER WIDENING AND SWALE CONSTRUCTION MUST BE STABILIZED AT THE END OF THE WORK DAY.
- INSTALL RIPRAP APRON #4 AT EXISTING 15" PIPE AT POINT OF INTEREST #2.

## CONSTRUCTION SEQUENCE (INDIVIDUAL LOT SEQUENCE)

- ANY REVISIONS TO THE PLANS SHALL BE SUBMITTED TO THE MCCD FOR REVIEW AND APPROVAL PRIOR TO IMPLEMENTATION
- FIELD MARK LIMITS OF DISTURBANCE AND ENVIRONMENTALLY SENSITIVE AREAS. UTILIZE ORANGE CONSTRUCTION FENCING IN THE FIELD TO DELINEATE THE AREAS OF EARTH DISTURBANCE.
- DELINEATE THE INFILTRATION SYSTEMS, AND SEWAGE DISPOSAL AREAS AND AVOID HEAVY EQUIPMENT IN THOSE AREAS TO PREVENT COMPACTION. INSTALL ORANGE PROTECTIVE FENCING AROUND THE SEWAGE DISPOSAL AREAS IN ORDER TO PREVENT COMPACTION IN THESE AREAS. ORANGE PROTECTIVE FENCING SHALL ALSO BE INSTALLED AROUND THE INFILTRATION SYSTEMS AS SHOWN ON THE E&S PLANS.
- INSTALL ROCK CONSTRUCTION ENTRANCES AT THE DRIVEWAY ENTRANCES AS INDICATED ON THE PLANS FOR ENTRANCE INTO THE AREA OF CONSTRUCTION FOR EACH LOT. ALL CONSTRUCTION EQUIPMENT IS TO ENTER AND EXIT EACH LOT'S CONSTRUCTION AREA THROUGH THESE ENTRANCES.
- INSTALL THE SILT SOCK AS INDICATED BELOW THE PROPOSED EARTH DISTURBANCES.
- CLEAR THE VEGETATION FOR EACH LOT WITHIN THE DISTURBED LIMITS AREA.
- ROUGH GRADE SITE. MAINTAIN THE STOCKPILE AREA AS INDICATED ON THE PLANS ..
- INSTALL THE HOUSE FOUNDATION AND BACKFILL AND STABILIZE WITH MATTING AND/OR SEEDING. UTILIZE THE CONCRETE WASHOUT AREA ON EACH LOT.
- FINAL GRADE ALL AREAS AROUND THE HOUSE AND DRIVEWAY. STABILIZE THE DRIVEWAY WITH A STONE SUBBASE. IMMEDIATELY STABILIZE ALL VEGETATIVE AREAS. INCLUDING VEGETATIVE SWALES.
- 10. INSTALL THE SEWAGE DISPOSAL AREAS AND WELLS AND RUN UTILITIES TO HOUSE LOCATION. SEED SEWAGE DISPOSAL AREAS WITH MEADOW SEED MIX.
- CRITICAL STAGE: INSTALL ABOVE GROUND INFILTRATION/DETENTION SYSTEMS FOR LOTS 1-3. RUN THE ROOF DRAINS TO THE HOUSE. INSTALLATION OF THE INDIVIDUAL ON-LOT INFILTRATION/DETENTION SYSTEMS REQUIRE A LICENSED PROFESSIONAL OR DESIGNEE TO BE PRESENT AT THE SITE DURING CONSTRUCTION OF THE STORMWATER BMP. REFER TO THE SPECIFIC INFILTRATION/DETENTION BMP INSTALLATION SEQUENCE ON SHEET
- 12. STABILIZE ANY AREAS DISTURBED DURING CONSTRUCTION OF THE STORMWATER SYSTEMS.
- 13. FINALIZE HOUSE CONSTRUCTION AND TIE UTILITIES AND ROOF DRAINS IN.
- UPON FINAL STABILIZATION OF SITE REMOVE TEMPORARY CONTROLS, SUCH AS THE COMPOST FILTER SOCKS, 14. ORANGE PROTECTIVE FENCE, AND ROCK CONSTRUCTION ENTRANCE. ALL DISTURBED AREAS SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS

#### TREE PROTECTION FENCE NOTES

- 1. A FORTY-EIGHT INCH HIGH PROTECTIVE FENCE, MOUNTED ON STEEL POSTS LOCATED EIGHT FEET ON
- CENTER, SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION AREA. 2. TREES BEING REMOVED SHALL NOT BE FELLED, PUSHED OR PULLED INTO A TREE PROTECTION AREA OR INTO
- TREES THAT ARE TO BE RETAINED.
- 3. GRADE CHANGES AND EXCAVATIONS SHALL NOT ENCROACH UPON THE TREE PROTECTION AREA. 4. NO TREE SHOWN TO REMAIN ON AN APPROVED SUBDIVISION OR LAND DEVELOPMENT PLAN SHALL BE REMOVED WITHOUT PRIOR TOWNSHIP APPROVAL UNLESS IT IS THE CAUSE OF IMMEDIATE DANGER TO LIFE
- OR PROPERTY 5. IN THE EVENT THAT A TREE OVER THREE INCHES CALIPER WHICH IS SHOWN ON AN APPROVED PLAN TO REMAIN AND WHICH MUST BE REMOVED DUE TO BEING THE CAUSE OF IMMEDIATE DANGER TO LIFE OR PROPERTY, SUCH TREE SHALL BE REPLACED WITH A TREE TWO AND ONE HALF TO THREE INCHES IN CALIPER OF THE SAME SPECIES OR AS APPROVED BY THE TOWNSHIP AT A RATE OF ONE NEW TREE FOR EVERY TREE REMOVED. THE REPLACEMENT TREE WILL BE SUBJECT TO REPLACEMENT IF IT DIES WITHIN ONE YEAR OF PLANTING.
- 6. ALL TREE PROTECTION FENCES AND BARRIERS SHALL BE REMOVED UPON COMPLETION OF THE PROJECT CONSTRUCTION.

Map Symbol and Soil Description	HSG	н
3aB - Bath channery silt loam 3-8% slopes	96 - T	
Soil Component: Bath	c	
BeB - Benson-Rock outcrop complex 0-8% slopes		
Sail Component: Benson	D	
BeC - Benson-Rock outcrop complex 8-25% slopes	1	
Soil Component: Benson	D	
MaB - Mardin channery silt loam 3-8% slopes		
Soil Component: Mardin	P	
	2	
	8	

	Soil Lir	nitations and Resolutions				
Soil Limitation		Soil Resolutions				
Cut Bank Cave	Consult with engineer	Over-excavate material and replace with suitable material	Construct appropriate rock slope protection or benching as directed by engineer			
Corrosive to Concrete/Steel	Use corrosion resistant pipe materials	Apply corrosion resistant products to surface of constructed features	Over excavate and replace corrosive soils			
Droughty Soils	Slope lining will be installed on all disturbed or proposed slopes 3H:1V or steeper	Soil amendments will be used to promote growth of vegetation	(+):			
Easily Erodible	Install slope blankets on slopes 3:1 or steeper	Stabilize disturbed areas with seeding and soil supplements	Protect downstream areas from sediment laden sheet flow with compost filter sock or silt fence			
High Water Table	Use pump water filter bag to dewater excavation, use trench boxes	Avoid seeps or wet spots	Ensure positive drainage away from excavations			
Hydric Soils/Hydric Inclusions	Mark wetland areas with temporary protective fencing and avoid wetlands/wet areas	Ensure positive drainage away from potentially hydric areas	Return stormwater conveyance to sheetflow			
Low Strength	Consult with engineer	Compact fill with a vibratory roller delivering 50,000 pounds total dynamic force	Over-excavate to firm material and backfill with suitable on-site excavated material			
Slow Percolation	Avoid placing stormwater infiltration basins in these areas	Avoid placing on-lot septic systems in these areas	540 (14)			
Piping	Install end sections or headwalls on all new pipes	Compact fill with a vibratory roller delivering 50,000 pounds total dynamic force	In lieu of extending existing feature, replace with new pipe and end section/end wall			
Poor Source of Topsoil	Strip and stockpile material onsite. Remove stone and coarse fragment	Use for bulk fill and remove excess material from site.	Import suitable topsoil if existing material is inadequate.			
Frost Action	Construction shall be limited when there is a risk of freezing to non-obstructive measures	Contractor shall consult project engineer for earthwork which is to occur during periods of	(*).			
Wetness	Ensure that the site has proper drainage	Avoid seeps or wet spots	Ensure positive drainage away from excavations			

#### MEADOW SEED MIX

NATIVE UPLAND WILDLIFE FORAGE & COVER MEADOW MIX ERNMX-123 ON ALL SPECIFIED AREAS (MEADOW MIX DESIGNATED FOR SEWAGE DISPOSAL AREAS):

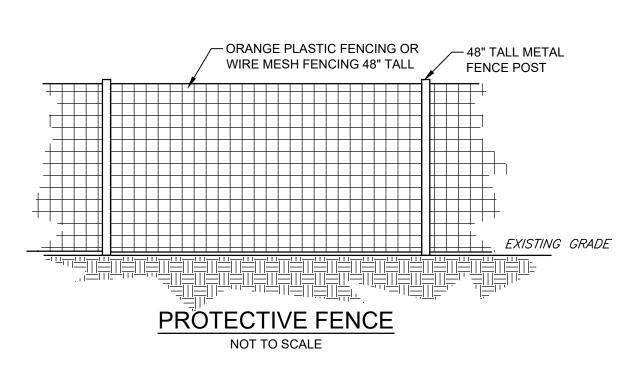
USE THE SPECIFIED MIX OR COMPARABLE)

- I. APPLY PULVERIZED AGRICULTURAL LIMESTONE @ 2480 LBS. PER 1000 SQ. YD. (6.0 T./AC.) APPLY 10-20-20 ANALYSIS COMMERCIAL FERTILIZER @ 140 LBS. PER 1000 SQ. YD. (677.6 LB./AC.)
- APPLY SEED @ 20 LBS. PER ACRE APPLY HAY OR STRAW MULCH AT 3 TONS PER ACRE. 5. PERFORM SEEDING BETWEEN MARCH 15 TO JUNE 1 AND AUGUST 1 TO OCTOBER 15.

35% BIG BLUESTEM, 'PRAIRIE VIEW'-IN ECOTYPE (ANDROPOGON GERARDII, 'PRAIRIE VIEW'-IN ECOTYPE) 21% VIRGINIA WILD RYE, PA ECOTYPE (ELYMUS VIRGINICUS, PA ECOTYPE) 18% SWITCHGRASS, 'SHAWNEE' (PANICUM VIRGATUM, 'SHAWNEE') 5% PARTRIDGE PEA, PA ECOTYPE (CHAMAECRISTA FASCICULATA (CASSIA F.), PA ECOTYPE) 3% INDIANGRASS, PA ECOTYPE (SORGHASTRUM NUTANS, PA ECOTYPE) 2% OXEYE SUNFLOWER, PA ECOTYPE (HELIOPSIS HELIANTHOIDES, PA ECOTYPE) 1.5% SHOWY TICKTREFOIL, PA ECOTYPE (DESMODIUM CANADENSE, PA ECOTYPE) 1% PLAINS COREOPSIS (COREOPSIS TINCTORIA) 0.4% PANICLEDLEAF TICKTREFOIL, PA ECOTYPE (DESMODIUM PANICULATUM, PA ECOTYPE) 0.1% COMMON MILKWEED, PA ECOTYPE (ASCLEPIAS SYRIACA, PA ECOTYPE)

#### TRENCH EXCAVATION NOTES

- INSTALLED AND BACKFILLED IN ONE WORKING DAY.
- THE END OF THE WORKDAY.
- DISPOSAL LOCATION.
- IN PAVEMENT AREAS, AND WITH SEED AND MULCH IN VEGETATED AREAS.



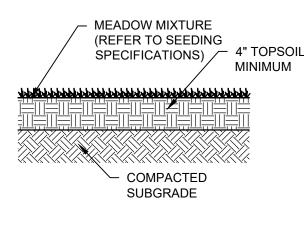
					SOIL LI	ΜΙΤΑΤΙΟ	ONS											
	Depth To			Soil Limitations														
Hydric Soil/ Inclusions	HWT (in)	Bedrock (in)	Cut Banks Cave	Corrosive to Steel/ Concrete	Droughty	Easily Erodible	Flooding	High Water Table	Hydric Soils	Low Strength	Slow Percolation	Piping	Poor Source of Topsoil	Frost Action	Shrink/ Swell	Potential Sinkhole	Ponding	Wetness
No	24-36	26-38	X	C/S	÷.	×.	аñ	×	×	2	×	22	x	×	2	525	12	÷.
No	>80	12-20	×	c	×		4	1	it.	: x	x	x	. × .	×	÷	- 190	×	÷
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No	13-24	14-26	×	s	×	*	i i i	×	×	x	×	*	2	×	<u>, 3</u>	100	102	×

## FOR FINAL SEEDING MEASURES:

#### PRIOR TO PERMANENTLY SEEDING VEGETATED AREAS PLACE A MINIMUM OF FOUR INCHES OF TOPSOIL TO MEET THE PROPOSED FINISH GRADE ELEVATIONS.

- SEED FORMULA (SLOPES 3:1 OR FLATTER): PENNDOT FORMULA B 20% PERENNIAL RYEGRASS 30% CREEPING RED FESCUE OR CHEWINGS FESCUE
- 50% KENTUCKY BLUEGRASS MIXTURE
- 1. APPLY PULVERIZED AGRICULTURAL LIMESTONE @ 2480 LBS. PER 1000 SQ. YD. (6.0 T./AC.) 2. APPLY 10-10-20 ANALYSIS COMMERCIAL FERTILIZER @ 210 LBS. PER 1000 SQ. YD.
- (1000 LB./AC.)
- 3. APPLY FORMULA B SEED @ 42 LBS. PER 1000 SQ. YD. APPLY HAY OR STRAW MULCH AT 3 TONS PER ACRE. 5. ANCHOR HAY OR STRAW MULCH USING A SPRAYED NON-ASPHALTIC
- EMULSION AT MANUFACTURERS RECOMMENDED RATE
- 6. PERFORM SEEDING BETWEEN MARCH 15 TO JUNE 1 AND AUGUST 1 TO OCTOBER 15.
- SEED FORMULA (SLOPES 3:1 OR GREATER): PENNDOT FORMULA D 60% TALL FESCUE 30% CREEPING RED FESCUE OR CHEWINGS FESCUE 10% ANNUAL RYEGRASS (LOLIUM MULTIFLORUM)
- 1. APPLY PULVERIZED AGRICULTURAL LIMESTONE @ 2480 LBS. PER 1000 SQ.
- YD. (6.0 T./AC.) 2. APPLY 10-10-20 ANALYSIS FERTILIZER @ 210 LBS. PER 1000 SQ. YD. (1000
- LB./AC.)
- 3. APPLY FORMULA D SEED @ 50 LBS. PER 1000 SQ. YD. 4. APPLY HAY OR STRAW MULCH AT 3 TONS PER ACRE. ANCHOR HAY OR STRAW MULCH USING A SPRAYED NON-ASPHALTIC
- EMULSION AT MANUFACTURERS RECOMMENDED RATE 6. PERFORM SEEDING BETWEEN MARCH 15 TO JUNE 1 AND AUGUST 1 TO OCTOBER 15.

NOTE: WHEN STABILIZING SITE OUTSIDE OF SPECIFIED SEEDING GERMINATION PERIODS (WINTER MONTHS), STABILIZE DISTURBED AREAS WITH EROSION CONTROL BLANKETS (ERONET S75, STAPLE PATTERN C) AND WINTER RYEGRASS.



MEADOW RESTORATION DETAIL NOT TO SCALE

SEEDING

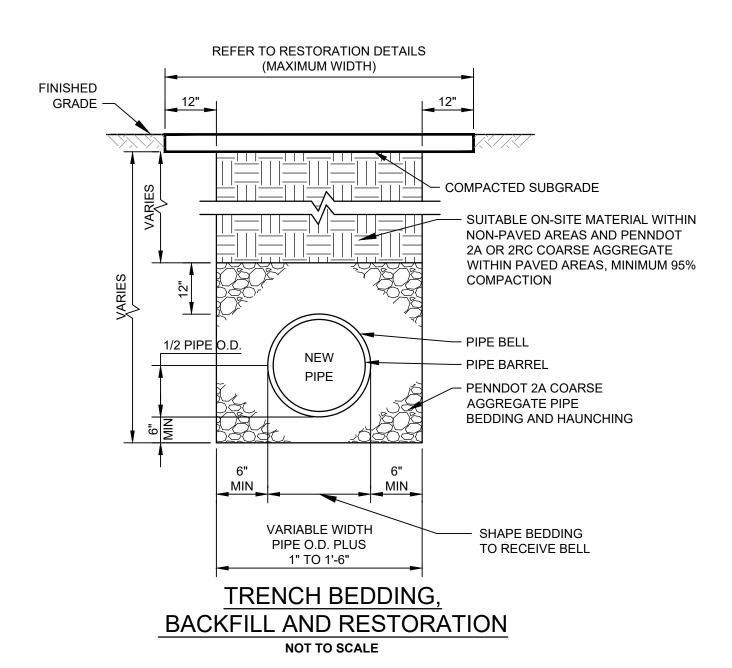
NOTE: IF CONSTRUCTION OCCURS OUTSIDE OF THE GROWING SEASON AS SPECIFIED, TEMPORARILY STABILIZE AREA WITH MULCH AT 3 TONS/ACRE AND THEN PERMANENTLY STABILIZE AREA IN SPRING PER FINAL SEEDING SPECIFICATIONS BELOW.

FOR TEMPORARY CONTROL MEASURES:

SEED FORMULA: PENNDOT FORMULA E

- 100% ANNUAL RYEGRASS
- 1. APPLY FORMULA E SEED @ 48.4 LB./AC. 2. PERFORM SEEDING BETWEEN MARCH 15 AND OCTOBER 15 (RECOMMENDED). APPLY HAY OR
- STRAW MULCH @ 3.0 TONS PER ACRE. 3. PROVIDE ADEQUATE TOPSOIL (MIN. 4") PRIOR TO COMMENCING SEEDING ACTIVITIES.

(NOTE: LIMESTONE AND FERTILIZER MUST BE APPLIED PRIOR TO FINAL SEEDING MEASURES.)

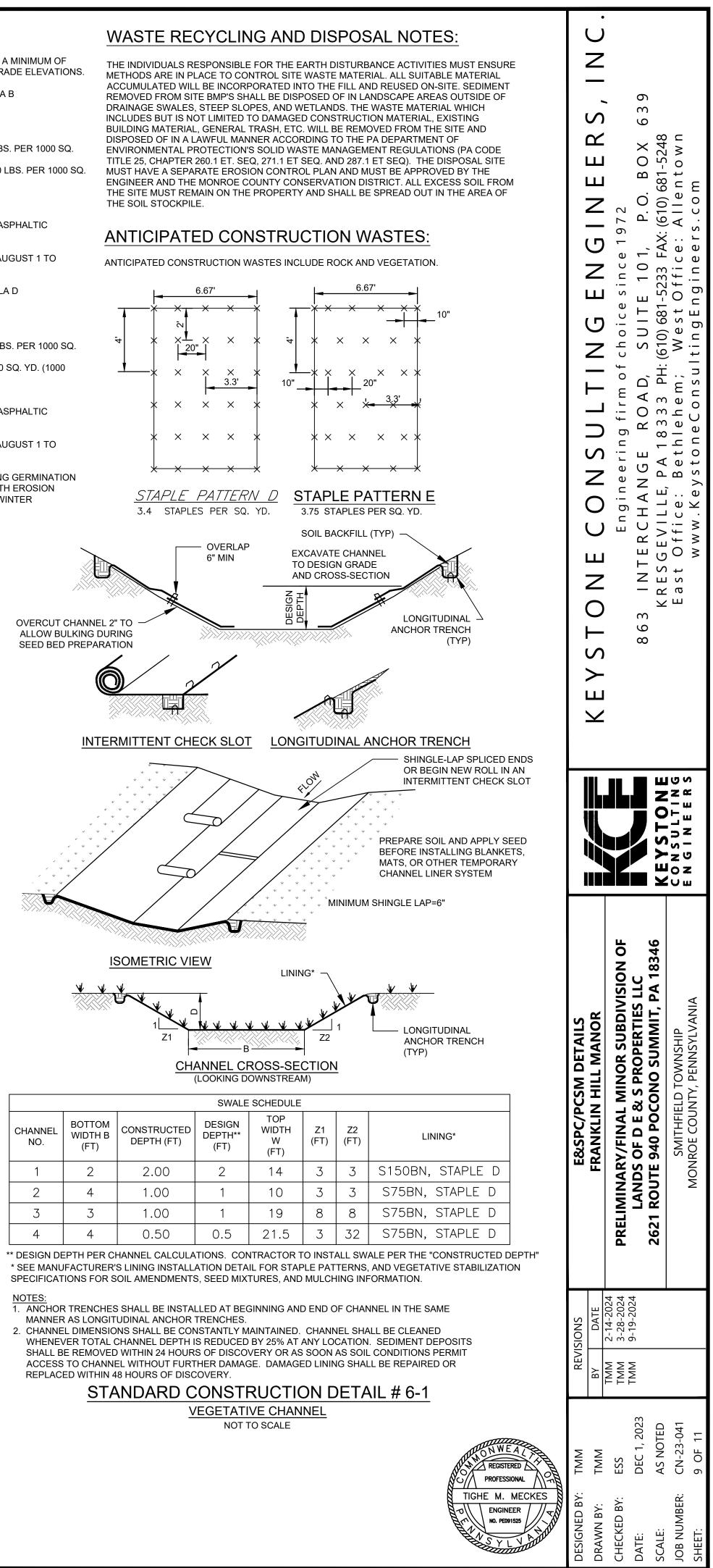


- 10% COASTAL PANIC GRASS, 'ATLANTIC'-VA ECOTYPE (PANICUM AMARUM, 'ATLANTIC'-VA ECOTYPE)
- 3% BLACKEYED SUSAN, COASTAL PLAIN NC ECOTYPE (RUDBECKIA HIRTA, COASTAL PLAIN NC ECOTYPE)

1. LIMIT THE LENGTH OF EXCAVATED TRENCH OPEN AT ANY ONE TIME TO THE AMOUNT OF PIPE THAT CAN BE 2. NO MORE THAN 50 LINEAL FEET OF OPEN TRENCH SHOULD EXIST WHEN UTILITY INSTALLATION CEASES AT

3. EXCAVATED MATERIAL SHOULD BE INCORPORATED AS FILL, OR REMOVED FROM SITE TO AN APPROVED

4. BACKFILL AND STABILIZE TRENCHES AT THE END OF EACH WORK DAY. STABILIZE WITH SUB-BASE MATERIAL 5. MAINTAIN PUMPED WATER FILTER BAG ON-SITE TO DEWATER TRENCHES AS NECESSARY. FILTER BAGS MUST DISCHARGE TO AN INLET, OR TO A WELL VEGETATED AREA AT A GRADE OF LESS THAN 5%.



## PCSM BMP OWNERSHIP, OPERATION AND MAINTENANCE PROCEDURES:

## GENERAL OWNERSHIP, OPERATION, AND MAINTENANCE NOTES:

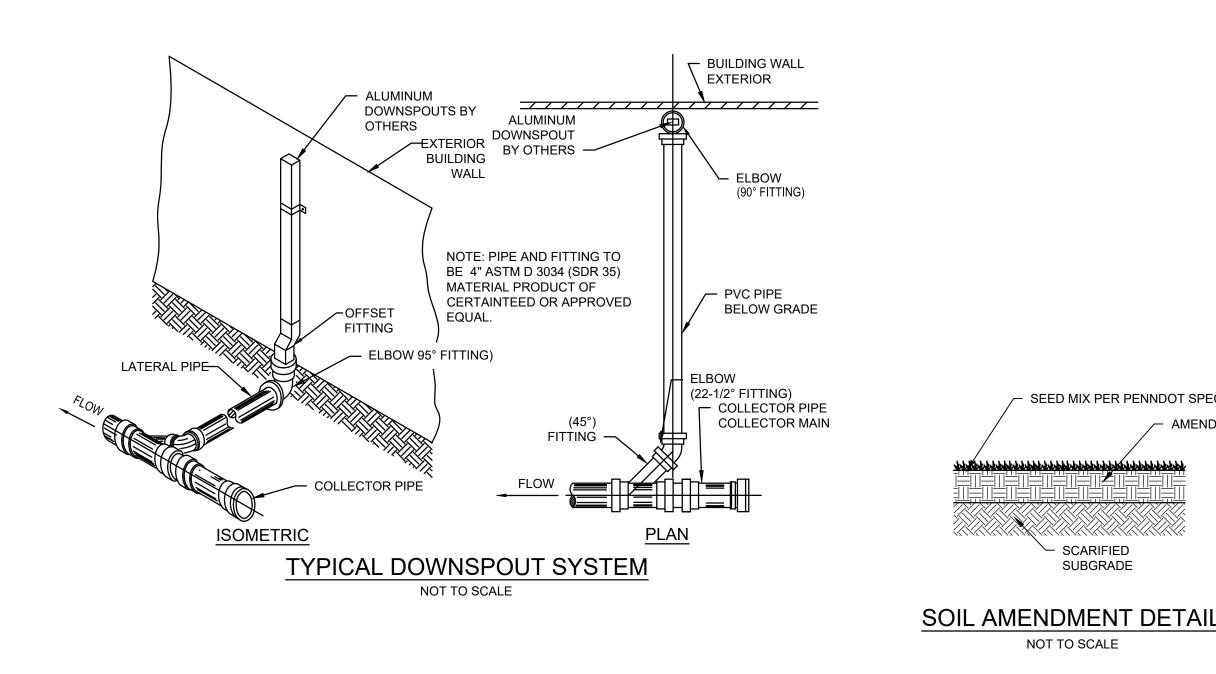
- 1. D E & S PROPERTIES LLC SHALL OWN, OPERATE AND MAINTAIN ALL STORMWATER FACILITIES ON THEIR PROPERTY. ONCE INDIVIDUAL LOTS ARE SOLD THE CURRENT OWNER OF THE PARCEL WILL COME ON THE NPDES PERMIT AS A CO-PERMITTEE AND IS RESPONSIBLE FOR THE MAINTENANCE OF ALL STORMWATER FACILITIES ON THE PROPERTY.
- 2. THE PROPOSED STORMWATER MANAGEMENT FACILITIES ARE INTENDED TO MINIMIZE THE ADVERSE EFFECTS OF DEVELOPMENT BOTH ON AND OFF THE SITE. IN ORDER FOR THE FACILITIES TO CONTINUE TO OPERATE AS INTENDED, THEY SHOULD BE INSPECTED QUARTERLY AND IMMEDIATELY AFTER MAJOR STORMS. THE PROPERTY OWNER IS RESPONSIBLE FOR OPERATION AND MAINTENANCE OF ALL STORMWATER FACILITIES LOCATED ON THE PROPERTY.
- 3. THE COUNTY CONSERVATION DISTRICT SHALL BE INFORMED PRIOR TO ANY CHANGES TO A PCSM BMP.
- 4. ALL BMPS WILL BE INSPECTED ON A QUARTERLY BASIS OR AFTER ANY SIGNIFICANT RAIN EVENT GREATER THAN THE 2-YEAR FREQUENCY (3 INCHES OF RAIN IN A 24-HOUR PERIOD) STORM EVENT UNLESS OTHERWISE NOTED IN THIS SCHEDULE.
- 5. THE PCSM BMPS WILL BE KEPT IN THE FREE FLOW CONDITION; FREE OF DEBRIS, SEDIMENT AND OBSTRUCTIONS. IF THE PCSM BMP IS OBSTRUCTED OR IMPACTED BY DEBRIS OR SEDIMENT, MATERIAL WILL BE REMOVED. THE BMP MUST BE MAINTAINED ACCORDING TO DESIGN PROTOCOLS
- 6. MAINTENANCE SHALL BE IMMEDIATELY PERFORMED ON ANY MALFUNCTIONING PCSM BMP. BMPS SHALL BE REPLACED IF MAINTENANCE DOES NOT RETURN ALL DESIGN FUNCTIONS OF THE PCSM BMP.
- 7. ANY PROPOSED PROPRIETARY BMPS SHALL BE MAINTAINED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
- 8. DEBRIS AND LITTER REMOVAL IS IMPORTANT TO REDUCE THE CHANCE OF CLOGGING IN THE INLETS AND STORM PIPE SYSTEMS. IT ALSO HELPS TO PREVENT DAMAGE TO ADJACENT VEGETATED AREAS AND REDUCES POTENTIAL MOSQUITO BREEDING HABITATS. ALL INLETS AND OUTLETS MUST BE INSPECTED FOR DEBRIS ON A MONTHLY BASIS AND AFTER ANY 2-YEAR 24-HOUR FREQUENCY STORM EVENT OR GREATER. DEBRIS SHALL BE REMOVED WHEN ACCUMULATED TO A DEPTH ABOVE THE INLET BOX INVERT OF TWO INCHES OR GREATER. ALL REMOVED DEBRIS MUST BE DISPOSED OF PROPERLY.
- 9. PERMANENTLY SEEDED AREAS SHOULD BE INSPECTED FOR FAILURE. IF LESS THAN 70 PERCENT OF AN AREA IS COVERED BY ESTABLISHED VEGETATION, REEVALUATE THE CHOICE OF PLANT MATERIALS AND THE QUANTITIES OF LIME AND FERTILIZER USED. REESTABLISH THE STAND AFTER THE SEEDBED IS PREPARED. IF THE SEASON PREVENTS RESOWING, MULCH OR EROSION NETTING IS AN EFFECTIVE TEMPORARY COVER
- 10.THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE CONTROL FACILITIES DURING CONSTRUCTION.
- 11.A LOG BOOK OF ALL MAINTENANCE ACTIVITIES SHALL BE KEPT ON SITE FOR ALL BMPS AT ALL TIMES TO ENSURE COMPLIANCE WITH THE PCSM PLANS THAT INCLUDES AT A MINIMUM: INSPECTION DATES, OBSERVATIONS, AND MAINTENANCE ACTIVITIES

#### **BMP SPECIFIC INSPECTION AND MAINTENANCE NOTES**

- 1. INLETS AND PIPES MUST BE INSPECTED MONTHLY AND AFTER ANY 2-YEAR STORM FREQUENCY OR GREATER (3 INCHES OF RAIN IN A 24-HOUR PERIOD A. INSPECT INLET BOXES FOR ACCUMULATED DEBRIS AND SEDIMENT. DEBRIS MUST BE REMOVED WHEN ACCUMULATED TO A DEPTH ABOVE
- THE INLET BOX INVERT OF TWO INCHES OR GREATER. ALL DEBRIS MUST BE DISPOSED OF PROPERLY. B. INSPECT INLET GRATES FOR PRESENCE OF DEBRIS THAT COULD IMPEDE INLET CAPTURE. REMOVE DEBRIS AND DISPOSE OF PROPERLY
- 2. MAINTENANCE ON VEGETATIVE SWALES:
- A. INSPECT AND CORRECT EROSION PROBLEMS, DAMAGE TO VEGETATION, AND SEDIMENT AND DEBRIS ACCUMULATION.
- B. INSPECT VEGETATION ON SIDE SLOPES FOR EROSION AND FORMATION OF RILLS OR GULLIES, CORRECT AS NEEDED. INSPECT SWALE INLETS AND OUTLET FOR SIGNS OF EROSION OR BLOCKAGE, CORRECT AS NEEDED.
- C. INSPECT FOR POOLS OF STANDING WATER, DEWATER AND DISCHARGE TO AN APPROVED LOCATION AND RESTORE TO DESIGN GRADE. D. MONITOR SWALE FOR INVASIVE SPECIES. REMOVE OR DISPOSE OF INVASIVE SPECIES, IF REQUIRED.
- E. INSPECT FOR LITTER AND DISPOSE OF PROPERLY.

3. MAINTENANCE OF LANDSCAPE RESTORATION/SOIL AMENDMENT AREAS:

- A. MONITOR SITE LANDSCAPING FOR GROWTH AND POTENTIAL PROBLEMS. B. WATER, WEED, AND PROVIDE PROTECTION FROM ANIMALS AND INSECTS, AS REQUIRED.
- 5. MAINTENANCE OF ABOVE GROUND INFILTRATION/DETENTION SYSTEMS:
- A. CATCH BASINS AND INLETS (UPGRADIENT OF INFILTRATION BASIN) SHOULD BE INSPECTED AND CLEANED AT LEAST TWO TIMES PER YEAR
- AND AFTER RUNOFF EVENTS. B. THE VEGETATION ALONG THE SURFACE OF THE INFILTRATION BASIN SHOULD BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS
- REVEGETATED AS SOON AS POSSIBLE.
- C. VEHICLES SHOULD NOT BE PARKED OR DRIVEN ON AN INFILTRATION BASIN, AND CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS.
- D. INSPECT THE BASIN AFTER RUNOFF EVENTS AND MAKE SURE THAT RUNOFF DRAINS DOWN WITHIN 72 HOURS. MOSQUITOS SHOULD NOT BE A PROBLEM IF THE WATER DRAINS IN 72 HOURS. MOSQUITOES REQUIRE A CONSIDERABLY LONG BREEDING PERIOD WITH RELATIVELY STATIC WATER LEVELS.
- E. ALSO INSPECT FOR ACCUMULATION OF SEDIMENT, DAMAGE TO OUTLET CONTROL STRUCTURES, EROSION CONTROL MEASURES, SIGNS OF WATER CONTAMINATION/SPILLS, AND SLOPE STABILITY IN THE BERMS. F. MOW ONLY AS APPROPRIATE FOR VEGETATIVE COVER SPECIES.
- G. REMOVE ACCUMULATED SEDIMENT FROM BASIN AS REQUIRED. RESTORE ORIGINAL CROSS SECTION AND INFILTRATION RATE. PROPERLY DISPOSE OF SEDIMENT.
- 6. MINIMIZE DISTURBED AREAS:
- A. DISTURBED LIMITS SHALL BE STAKED OUT IN THE FIELD FOR EACH LOT PRIOR TO ANY EARTH DISTURBANCE (I.E. MARK WITH ORANGE CONSTRUCTION FENCING AND/OR E&S PERIMETER CONTROLS). NO EARTH DISTURBANCE SHALL BE ALLOWED OUTSIDE OF THE LIMITS AS INDICATED ON THE PLANS.
- B. REMOVE TREES AND VEGETATION IN AREAS ALLOCATED FOR EARTH DISTURBANCE ONLY. C. ORANGE CONSTRUCTION FENCING TO BE PLACED AROUND AREAS OF PROPOSED INFILTRATION SO AS NOT TO COMPACT AREAS DURING CONSTRUCTION.



# **IDENTIFICATION OF CRITICAL STAGES OF BMP IMPLEMENTATION**

MEASURES.

**EXISTING** GROUND

#### CONSTRUCTION FOR INDIVIDUAL ABOVE GROUND INFILTRATION/DETENTION SYSTEMS:

1. PROTECT AREA FROM COMPACTION PRIOR TO AND DURING CONSTRUCTION ACTIVITIES. 2. INSTALL AND MAINTAIN PROPER EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION. 3. CONSTRUCT INFILTRATION BERM FOR SYSTEMS 1-4 ACCORDING TO DETAILS.

7. REMOVE SILT SOCKS WHEN ALL AREAS HAVE REACHED THE REQUIRED 70% VEGETATIVE COVER REQUIREMENT.

#### LONG TERM OPERATION & MAINTENANCE OF PCSM BMP'S & CO-PERMITTEE

1. THE FOLLOWING ITEMS WILL NEED TO BE COMPLETED AFTER PERMIT ISSUANCE AND AS PART OF PROPERTY TRANSFER, AND INDIVIDUAL LOT CONSTRUCTION:

ISSUANCE AND PRIOR TO THE SALE OF INDIVIDUAL LOTS. 1.2. AN "INSTRUMENT FOR THE DECLARATION OF RESTRICTION AND COVENANTS", BETWEEN THE PERMITTEE AND THE HOMEOWNERS,

OUTLINING THE MAINTENANCE RESPONSIBILITIES FOR STORMWATER FACILITIES TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS, SHALL BE RECORDED IN THE MONROE COUNTY RECORDER OF DEEDS OFFICE WITHIN 45 DAYS OF PERMIT ISSUANCE AND PRIOR TO THE SALE OF THE INDIVIDUAL LOTS.

2.1. THE NEW LOT OWNER AND THE INDIVIDUAL LOT SITE CONTRACTOR SHALL BECOME CO-PERMITTEES BY EXECUTING THE

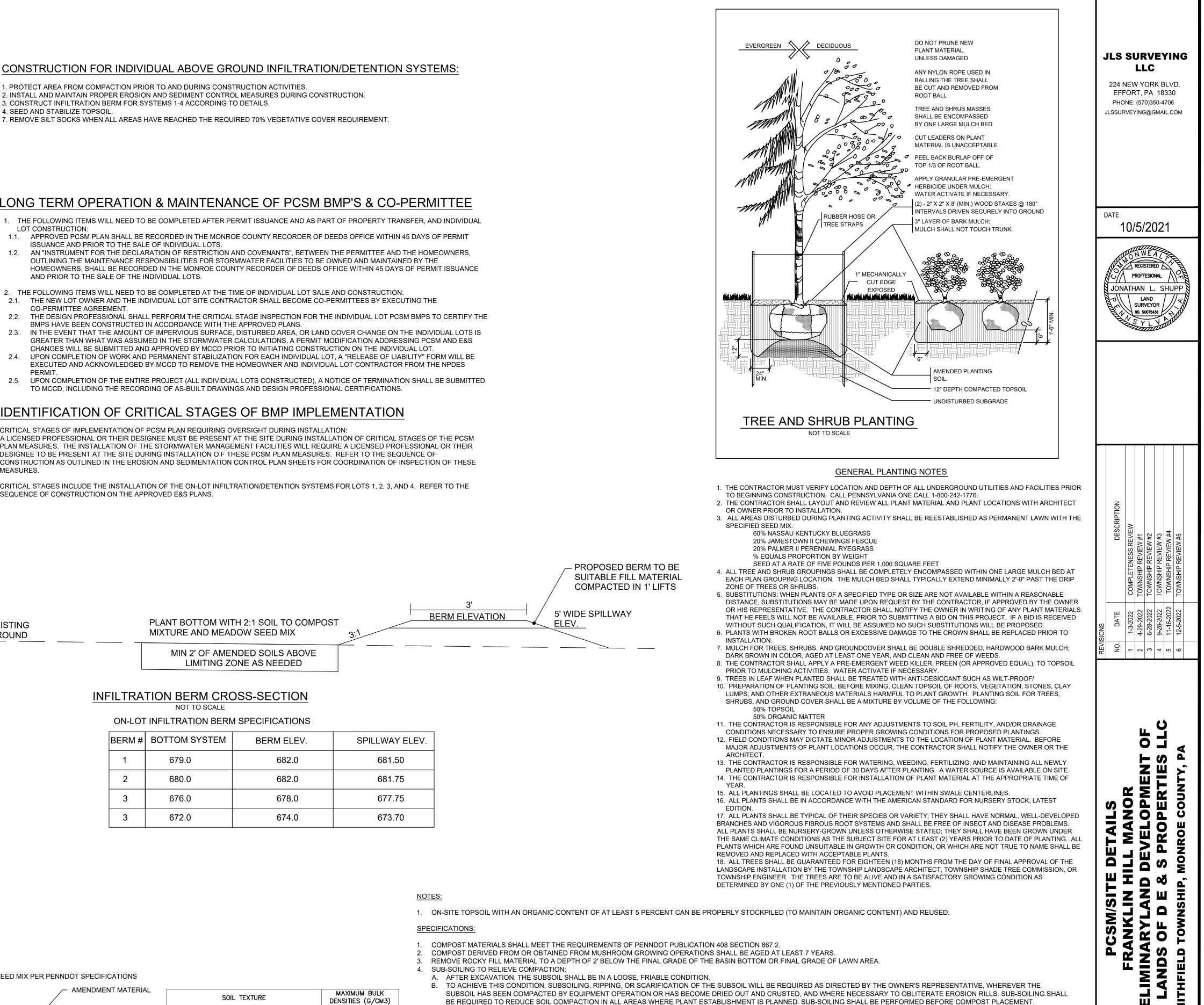
2.2. THE DESIGN PROFESSIONAL SHALL PERFORM THE CRITICAL STAGE INSPECTION FOR THE INDIVIDUAL LOT PCSM BMPS TO CERTIFY THE BMPS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS.

GREATER THAN WHAT WAS ASSUMED IN THE STORMWATER CALCULATIONS. A PERMIT MODIFICATION ADDRESSING PCSM AND E&S CHANGES WILL BE SUBMITTED AND APPROVED BY MCCD PRIOR TO INITIATING CONSTRUCTION ON THE INDIVIDUAL LOT. 2.4. UPON COMPLETION OF WORK AND PERMANENT STABILIZATION FOR EACH INDIVIDUAL LOT, A "RELEASE OF LIABILITY" FORM WILL BE

PERMIT 2.5. UPON COMPLETION OF THE ENTIRE PROJECT (ALL INDIVIDUAL LOTS CONSTRUCTED), A NOTICE OF TERMINATION SHALL BE SUBMITTED TO MCCD, INCLUDING THE RECORDING OF AS-BUILT DRAWINGS AND DESIGN PROFESSIONAL CERTIFICATIONS.

CRITICAL STAGES OF IMPLEMENTATION OF PCSM PLAN REQUIRING OVERSIGHT DURING INSTALLATION: A LICENSED PROFESSIONAL OR THEIR DESIGNEE MUST BE PRESENT AT THE SITE DURING INSTALLATION OF CRITICAL STAGES OF THE PCSM PLAN MEASURES. THE INSTALLATION OF THE STORMWATER MANAGEMENT FACILITIES WILL REQUIRE A LICENSED PROFESSIONAL OR THEIR DESIGNEE TO BE PRESENT AT THE SITE DURING INSTALLATION O F THESE PCSM PLAN MEASURES. REFER TO THE SEQUENCE OF CONSTRUCTION AS OUTLINED IN THE EROSION AND SEDIMENTATION CONTROL PLAN SHEETS FOR COORDINATION OF INSPECTION OF THESE

CRITICAL STAGES INCLUDE THE INSTALLATION OF THE ON-LOT INFILTRATION/DETENTION SYSTEMS FOR LOTS 1, 2, 3, AND 4. REFER TO THE SEQUENCE OF CONSTRUCTION ON THE APPROVED E&S PLANS.

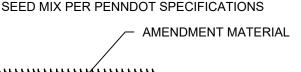


BERM #	BOTTOM SYSTEM	BERM ELEV.	SPILLWAY ELEV.
1	679.0	682.0	681.50
2	680.0	682.0	681.75
3	676.0	678.0	677.75
3	672.0	674.0	673.70

- 5. FINAL AMENDED SOIL QUALITY:
- ORGANIC CONTENT (BY VOLUME) 8 TO 13%

B. FINAL BULK DENSITIES SHALL MEET REQUIREMENTS LISTED IN THE TABLE. SOIL AMENDMENT CONSTRUCTION SEQUENCE

- 3. UNIFORMLY BREAK-UP/SCARIFY SUBSOIL
- COMPOST AND SAND INTO TOPSOIL WITH A ROTARY TILLER THAT IS SET TO A DEPTH OF 12 INCHES. DO TWO 1' LIFTS OF THIS TO PROVIDE FOR 2' OF AMENDED SOIL DEPTH.
- 5. LIME AND FERTILIZER APPLICATION AS DETERMINED BY SOIL TESTING.
- SOIL INTEGRATION 2 PASSES WITH ROTOTILER IN PERPENDICULAR DIRECTIONS PERFORM FINAL GRADING TO SPECIFIED ELEVATION - TO ACHIEVE A UNIFORMLY SMOOTH SITE SURFACE. 8. SEED - AS DIRECTED IN SEEDING SPECIFICATIONS - USE OF HYDROSEED IS ACCEPTABLE.
- 9. PROVIDE SOIL SAMPLES PER PROJECT SPECIFICATIONS.



SCARIFIED

SUBGRADE

# NOT TO SCALE

SOIL TEXTURE	MAXIMUM BULK DENSITIES (G/CM3)			
SANDS, LOAMY SANDS	1.60			
SANDY LOAMS, LOAMS	1.40			
SANDY CLAY LOAMS, LOAMS, CLAY LOAMS	1.40			
SILT, SILT LOAMS	1.30			
SILT LOAMS, SILTY CLAY LOAMS	1.10			
SANDY CLAYS, SILTY CLAYS, SOME CLAY LOAMS (35-45% CLAY)	1.10			
CLAYS (>45% CLAY)	1.10			

1. ALL OTHER CONSTRUCTION WITHIN THE TRIBUTARY AREA TO THE AREA TO BE AMENDED SHALL BE COMPLETED AND STABILIZED BEFORE BEGINNING SOIL AMENDMENT. 2. REMOVE ROCKY FILL MATERIAL TO A DEPTH OF 24" BELOW THE FINAL GRADE OF THE BOTTOM OF THE BASIN OR FINAL GRADE OF LAWN AREA.

4. DISTRIBUTION OF IMPORTED MATERIAL. FIRST PLACE 6" OF TOPSOIL OVER THE AMENDMENT AREA. SPREAD 3 INCHES OF APPROVED COMPOST AND 3 INCHES OF SAND ON TOPSOIL. TILL

DRAWING NO.

