

PRELIMINARY MAJOR LAND DEVELOPMENT PLANS WATER GAP WELLNESS RECREATION CENTER

WATER GAP ACQUISITIONS PARTNERS, LLC

SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

AUGUST 26, 2024

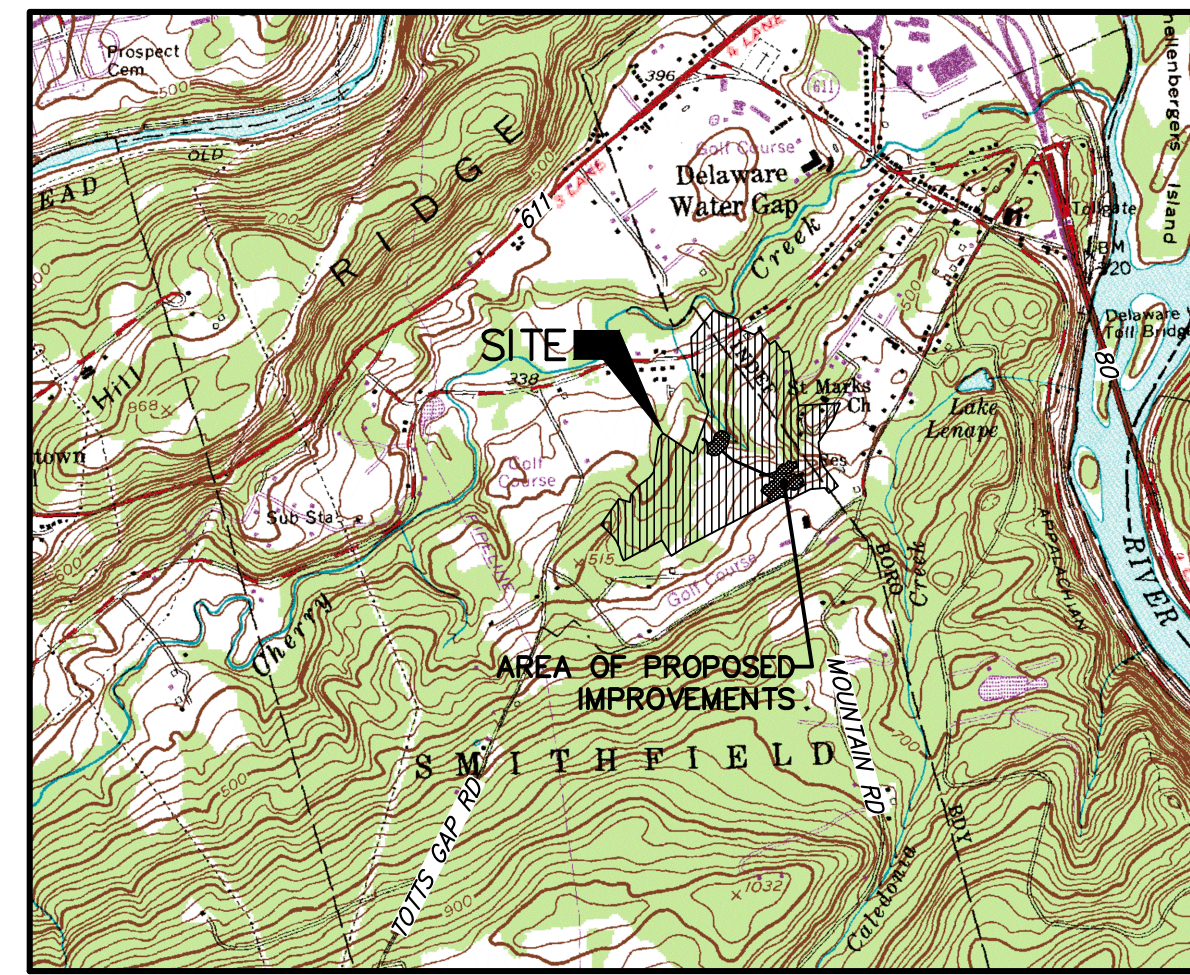
Plans Prepared by:



☎ 272.200.2050

🌐 barryisett.com

525 Main Street, Suite 200
Stroudsburg, PA 18360



Location Map
USGS STROUDSBURG QUADRANGLE
SCALE: 1"=2000'

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USERS (OWNERS, CONTRACTORS) OF THIS PLAN ARE ADVISED THAT ALL PLANS SHOWN IN THE ABOVE REFERENCED PLAN INDEX SHALL BE UTILIZED WHEN PREPARING ESTIMATES, MANUFACTURING STRUCTURES, AND PERFORMING CONSTRUCTION. CERTAIN PLANS MAY HAVE FEATURES (EXISTING OR PROPOSED) WHICH MAY BE HIDDEN FROM VIEW TO PROVIDE CLARITY FOR THAT PARTICULAR PLAN. ALL DRAWINGS WITHIN THIS PLAN SET SHALL BE REVIEWED AND UTILIZED.

GENERAL NOTES

- CONTRACTOR SHALL NOTIFY THE PENNSYLVANIA ONE-CALL SYSTEM NO LESS THAN THREE DAYS AND NO GREATER THAN TEN DAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES AND STRUCTURES.
- THE CONTRACTOR SHALL CONDUCT EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS IF NECESSARY. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES IN UTILITY LINE LOCATIONS ARE FOUND.
- CONTRACTOR SHALL COORDINATE ALL WORK PERFORMED WITH THE APPROPRIATE UTILITY COMPANY OR AUTHORITY AND WITH ALL UTILITIES TO ENSURE ALL UTILITY SERVICES SERVE ALL UTILITY CUSTOMERS FOR CONTINUOUS FACILITY OPERATIONS OF ALL UTILITY CUSTOMERS. CONTRACTOR SHALL REWORK ALL UTILITY SERVICES INCLUDING PROVIDING TEMPORARY UTILITY SERVICES UNTIL PERMANENT UTILITY SERVICES ARE PROVIDED.
- CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO PUBLIC/PRIVATE PROPERTY AS A RESULT OF CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- CONTRACTOR SHALL ENSURE THE SAFETY OF THE GENERAL PUBLIC, EXISTING STRUCTURES, AND OTHER PUBLIC AND PRIVATE PROPERTY.
- SITE SAFETY AND MAINTENANCE IS THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE TO KEEP EXISTING ROADWAYS, PARKING AREAS AND LOCAL ROADS FREE OF CONSTRUCTION MATERIALS. ANY DIRT OR DEBRIS TRACKED ON TO SUCH AREAS WILL BE IMMEDIATELY REMOVED.
- THE CONTRACTOR IS RESPONSIBLE FOR BACKFILLING ALL TRENCHES, FENCING OFF CONSTRUCTION AREAS AND REMOVING UNSUITABLE MATERIAL AND DEBRIS FROM THE CONSTRUCTION SITE.
- CONSTRUCTION CREWS, VEHICLES AND ACTIVITIES SHALL NOT INTERFERE WITH NORMAL OPERATIONS OF THE FACILITY. DESIGNATED PARKING AREAS SHALL BE ESTABLISHED AND USED FOR ALL CONSTRUCTION PERSONNEL.
- CONSTRUCTION VEHICLES, MATERIALS OR ACTIVITIES SHALL NOT INTERFERE WITH PUBLIC ACCESS EXCEPT WHERE SHOWN ON THE PLANS. CONTROL VEHICULAR PARKING TO PREVENT INTERFERENCE WITH PUBLIC TRAFFIC AND PARKING, ACCESS BY EMERGENCY VEHICLES, AND OWNER'S OPERATIONS.
- PREVENT PARKING ON OR ADJACENT TO ACCESS ROADS OR IN NON-DESIGNATED AREAS.
- THE CONTRACTOR SHALL REMOVE ALL DEBRIS AND FLUSH OUT EXISTING AND PROPOSED STORM SEWER SYSTEMS WITHIN THE PROJECT AREA UPON COMPLETION OF CONSTRUCTION.
- TRANSPORT, HANDLE, STORE AND PROTECT PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- PROTECT TREES, PLANT GROWTH, AND FEATURES DESIGNATED TO REMAIN, AS FINAL LANDSCAPING.
- PROTECT BENCH MARKS, (SURVEY CONTROL POINTS, AND EXISTING STRUCTURES) FROM DAMAGE OR DISPLACEMENT. CONTRACTOR TO REPLACE BENCHMARKS DISTURBED.
- STAGING AND STOCKPILE AREAS WILL BE LIMITED TO ONLY THE AREAS NOTED ON THE PLANS. STOCKPILING OF MATERIALS ON RIVERSIDE OF LEVEE OR SHEETPIILING SHALL BE AT THE CONTRACTOR'S RISK. ANY LOSS OF MATERIAL SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. STOCKPILE IN SUFFICIENT QUANTITIES TO MEET PROJECT SCHEDULE AND REQUIREMENTS.
- SEPARATE DIFFERING MATERIALS WITH DIVIDERS OR STOCKPILE APART TO PREVENT MIXING.
- DIRECT SURFACE WATER AWAY FROM STOCKPILE SITE SO AS TO PREVENT EROSION OR DETERIORATION OF MATERIALS.
- ALL ACTIVITIES SHALL REMAIN WITH THE AREA DESIGNATED THE "LIMIT OF DISTURBANCE" AS SHOWN ON THE EROSION AND SEDIMENT POLLUTION CONTROL PLANS.
- THE CONTRACTORS WORKING ON THIS PROJECT SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES RELATED TO THIS PROJECT ARE PERFORMED IN ACCORDANCE WITH ALL O.S.H.A. (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION) STANDARDS AND REQUIREMENTS.
- IN ALL CASES, WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL NOT USE SCALED DIMENSIONS FOR CONSTRUCTION WITHOUT CONFIRMATION BY ENGINEER. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON THE PROJECT SITE. ENGINEER MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.
- AS-BUILT PLANS SHALL BE PROVIDED TO THE TOWNSHIP AFTER CONSTRUCTION IS COMPLETE.

SITE DATA

OWNER/DEVELOPER: WATER GAP ACQUISITIONS PARTNERS, LLC
P.O. BOX 244
DELAWARE WATER GAP, PA 18327
PHONE: 203-524-3039

SITE ADDRESS: WATER GAP WELLNESS
296 MOUNTAIN ROAD
STROUDSBURG, PA 18360

DEED BOOK: D.B.V. 2418, PG. 6739
TAX MAP: 16-9-1-26
PIN: 16731000755147

NUMBER OF LOTS: ONE (1)
TOTAL AREA: 105.71 AC.

SEWER: ON-SITE
WATER: ON-SITE

BENCHMARK

IRON PIN LOCATED APPROXIMATELY 53.4 FEET FROM THE SOUTHEAST CORNER OF THE EXISTING GARAGE AND APPROXIMATELY 20.6 FEET FROM THE LIGHT STANDARD LOCATED ALONG THE SOUTHERN PORTION OF THE PROPERTY WHERE THE PRIVATE DRIVEWAY ENDS AND THE GRAVEL LANE BEGINS. ELEVATION: 555.39 NAD83 DATUM.

ZONING DATA

ZONING DISTRICT: R-1: LOW DENSITY RESIDENTIAL ON-SITE SEWER AND WATER

PROPOSED USE: PROPOSED BUILDING FOR PRIVATE RECREATION FACILITY
MINIMUM LOT AREA: 50,000 SF
MINIMUM LOT WIDTH: 150 FEET
MINIMUM LOT DEPTH: 150 FEET
MINIMUM YARDS (BUILDING SETBACKS):
FRONT: 40 FEET
REAR: 20 FEET
SIDE: 20 FEET
LOT COVERAGE (BUILDING): 50%

BUILDING HEIGHT: 35 FEET OR 2 1/2 STORIES

ZONING NOTE: ZONING DATA PROVIDED IS BASED ON AN INTERPRETATION OF THE ZONING ORDINANCE BY THE PLAN PREPARER AND IS SUBJECT TO CONFIRMATION BY THE APPROPRIATE MUNICIPAL OFFICIAL.

**SMITHFIELD TOWNSHIP PLANNING COMMISSION
CERTIFICATE OF REVIEW AND RECOMMENDATION**

AT A PUBLIC MEETING HELD ON _____, 2024, THE PLANNING COMMISSION OF SMITHFIELD TOWNSHIP REVIEWED AND BY A MOTION, DULY CARRIED, DOES HEREBY RECOMMEND APPROVAL OF THIS LAND DEVELOPMENT PLAN FOR THE PROPERTY AS SHOWN HEREON.

CHAIRMAN _____

SECRETARY _____

**SMITHFIELD TOWNSHIP BOARD OF SUPERVISORS
CERTIFICATE OF REVIEW AND APPROVAL**

AT A PUBLIC MEETING HELD ON _____, 2024, THE BOARD OF SUPERVISORS OF SMITHFIELD TOWNSHIP REVIEWED AND BY A MOTION, DULY CARRIED, DOES HEREBY APPROVE THIS LAND DEVELOPMENT PLAN FOR THE PROPERTY AS SHOWN HEREON.

CHAIRMAN _____

SUPERVISOR _____

SUPERVISOR _____

CERTIFICATION OF ACCURACY AND COMPLETENESS

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON, AS WELL AS ALL RELATED DRAWINGS AND DOCUMENTS SUBMITTED HERewith ARE TRUE AND CORRECT TO THE ACCURACY AND COMPLETENESS REQUIRED BY THE SMITHFIELD TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND/OR THE SMITHFIELD TOWNSHIP ZONING ORDINANCE AND WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND FOR WHICH I ACCEPT FULL AND COMPLETE RESPONSIBILITY.

SIGNATURE OF PROFESSIONAL _____ DATE: _____

PRINT NAME _____

CERTIFICATION OF OWNERSHIP AND ACKNOWLEDGMENT OF PLAN

COMMONWEALTH OF PENNSYLVANIA SS:
COUNTY OF MONROE
ON THIS THE _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED

WHO BEING DULY SWORN, ACCORDING TO LAW, DOTH DEPOSE AND SAY THAT THEY ARE THE OWNERS OF THE PROPERTY SHOWN AND DEPICTED ON THIS PLAN, THAT THIS LAND DEVELOPMENT PLAN WAS MADE AT THEIR DIRECTION, AND THAT THEY ACKNOWLEDGE THE SAME AND DESIRES THE SAME TO BE RECORDED ACCORDING TO LAW.

SIGNATURE OF PRESIDENT _____ SIGNATURE OF SECRETARY _____

SIGNATURE OF NOTARY PUBLIC

MY COMMISSION EXPIRES: _____, 20____

MONROE COUNTY PLANNING COMMISSION REVIEW

REVIEWED BY THE SMITHFIELD TOWNSHIP ENGINEER

SIGNATURE: _____

DATE: _____, 20____

RECORDER OF DEEDS CERTIFICATION

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS, IN MONROE COUNTY, PENNSYLVANIA, IN SUBDIVISION BOOK VOLUME _____ PAGE _____, WITNESS MY HAND AND SEAL OF THE OFFICE THIS _____ DAY OF _____ A.D. 20____

RECORDER OF DEEDS _____

NOTIFICATION

THE DEVELOPER SHALL, AT LEAST FIFTEEN (15) CALENDAR DAYS PRIOR TO THE INITIATION OF CONSTRUCTION OF ANY REQUIRED IMPROVEMENTS, SUBMIT TO THE TOWNSHIP A SCHEDULE OF CONSTRUCTION FOR ALL REQUIRED IMPROVEMENTS, INCLUDING THE TIMING OF THE DEVELOPMENT OF ANY PROPOSED SECTIONS. THE SCHEDULE MAY BE REVISED FROM TIME TO TIME UPON MUTUAL AGREEMENT OF THE APPLICANT ENGINEER AND THE TOWNSHIP ENGINEER.

IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO NOTIFY THE APPROPRIATE INSPECTION CONSULTANT FOR THE TOWNSHIP OR DESIGNATED AUTHORITY AT LEAST SEVENTY-TWO (72) HOURS PRIOR TO COMMENCING A CONSTRUCTION ACTIVITY.

AMERICANS WITH DISABILITIES ACT (ADA)

THIS PERMIT AND/OR PLAN HAS NOT BEEN REVIEWED TO DETERMINE ITS COMPLIANCE WITH TITLE III OF THE AMERICANS WITH DISABILITIES ACT OF 1990 (ADA) WHICH PROHIBITS DISCRIMINATION ON THE BASIS OF DISABILITY IN PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES. COMPLIANCE WITH TITLE III OF THIS ACT WITH REGARD TO PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/OWNER.

THE LAND DEVELOPMENT AS SUBMITTED AND AS BUILT ACCORDING TO THE INFORMATION INCLUDED IN THE CURRENT DESIGN WILL MEET THE ACCESSIBILITY REQUIREMENTS AS EXISTING UNDER THE CURRENT BUILDING CODES ESTABLISHED IN SMITHFIELD TOWNSHIP.

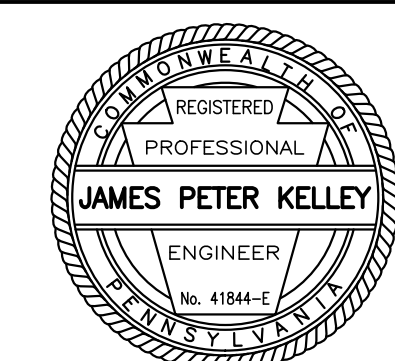
TOWNSHIP LIMITED REVIEW STATEMENT

THIS PLAN HAS BEEN REVIEWED BY THE TOWNSHIP STAFF AND TOWNSHIP ENGINEER FOR CONSISTENCY WITH MUNICIPAL REGULATIONS AND ORDINANCES RELATING TO LAND USAGE AND DIMENSIONAL REQUIREMENTS OF ZONING. INVESTIGATIONS REGARDING PERIPHERAL LAND AND PLAN ISSUES WHICH ARE NOT REQUIRED AS PART OF A REVIEW PROCESS SUCH AS CLARITY OF TITLE, SUBSURFACE CONDITIONS INCLUDING BUT NOT LIMITED TO, SOIL AND WATER QUALITY, AND HISTORIC AND ARCHEOLOGICAL ISSUES, OR SUCH OTHER ISSUES (AS APPROPRIATE) THAT MAY AFFECT THE MERCHANTABILITY OF THE LAND, HAVE NOT BEEN INVESTIGATED OR REVIEWED BY THE TOWNSHIP ENGINEER MAKE NO REPRESENTATION OR WARRANTY CONCERNING THESE ISSUES, WHICH SHOULD BE ADDRESSED BY QUALIFIED PROFESSIONALS, COMMISSIONED BY THE DEVELOPER AND/OR LAND OWNER(S) AS APPROPRIATE, AND ENGAGED IN THE APPROPRIATE FIELD OF PRACTICE.



**Know what's below.
Call before you dig.**

PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL PENNSYLVANIA ONE CALL SYSTEM, INC. 1-800-242-1776 THE SITE SERIAL NUMBER IS 20240651009



ENGINEER:
JAMES P. KELLEY, P.E.
BARRY ISETT & ASSOCIATES, INC.
1444 E. LACKAWANNA AVE., SUITE 214
OLYHPTAN, PA 18447
(570) 285-8183

CS-1
SHEET: 1 of 24
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SITE DATA

OWNER/DEVELOPER: WATER GAP ACQUISITIONS PARTNERS, LLC
P.O. BOX 244
DELAWARE WATER GAP, PA 18327
PHONE: 203-524-3039

SITE ADDRESS: WATER GAP WELLNESS
296 MOUNTAIN ROAD
STROUDSBURG, PA 18360

DEED BOOK: D.B.V. 2418, PG. 6739
TAX MAP: 16-9-1-26
PIN: 16731000755147
NUMBER OF LOTS: ONE (1)
TOTAL AREA: 105.71 AC.

SEWER: ON-SITE
WATER: ON-SITE

ZONING DATA

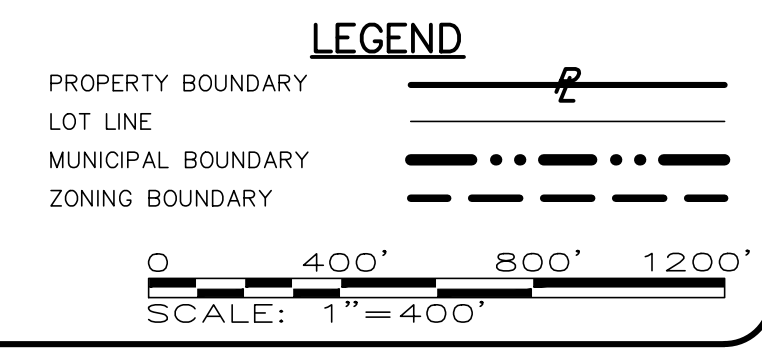
ZONING DISTRICT: R-1: LOW DENSITY RESIDENTIAL ON-SITE SEWER AND WATER

PROPOSED USE: PROPOSED BUILDING FOR PRIVATE RECREATION FACILITY
MINIMUM LOT AREA: 50,000 SF
MINIMUM LOT WIDTH: 150 FEET
MINIMUM LOT DEPTH: 150 FEET
MINIMUM YARDS (BUILDING SETBACKS):
FRONT: 40 FEET
REAR: 20 FEET
SIDE: 20 FEET
LOT COVERAGE (BUILDING): 50%
BUILDING HEIGHT: 35 FEET OR 2½ STORIES
ZONING NOTE:
ZONING DATA PROVIDED IS BASED ON AN INTERPRETATION OF THE ZONING ORDINANCE BY THE PLAN PREPARER AND IS SUBJECT TO CONFIRMATION BY THE APPROPRIATE MUNICIPAL OFFICIAL.

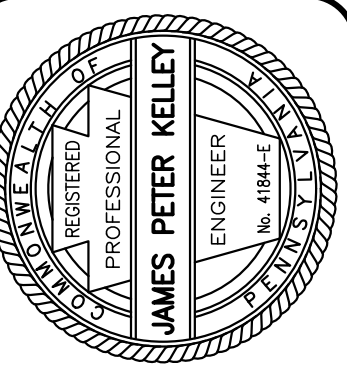
ZONING CLASSIFICATIONS

SMITHFIELD TOWNSHIP
R1 LOW-DENSITY RESIDENTIAL
RC RESIDENTIAL CONSERVATION
BOROUGH OF DELAWARE WATER GAP
R1 LOW-DENSITY RESIDENTIAL
S1 CONSERVATION & PARK
VC1 VILLAGE COMMERCIAL/RESIDENTIAL

NOTE
ALL BOUNDARY, ZONING, AND MUNICIPAL LINE INFORMATION IS SHOWN AS PER THE MONROE COUNTY, PA PUBLIC GIS DATA.



REVISIONS	DATE	BY



272.200.2050
barryisett.com
525 Main Street, Suite 200
Stroudsburg, PA 18360



SITE CONTEXT MAP
WATER GAP WELLNESS RECREATION CENTER
WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

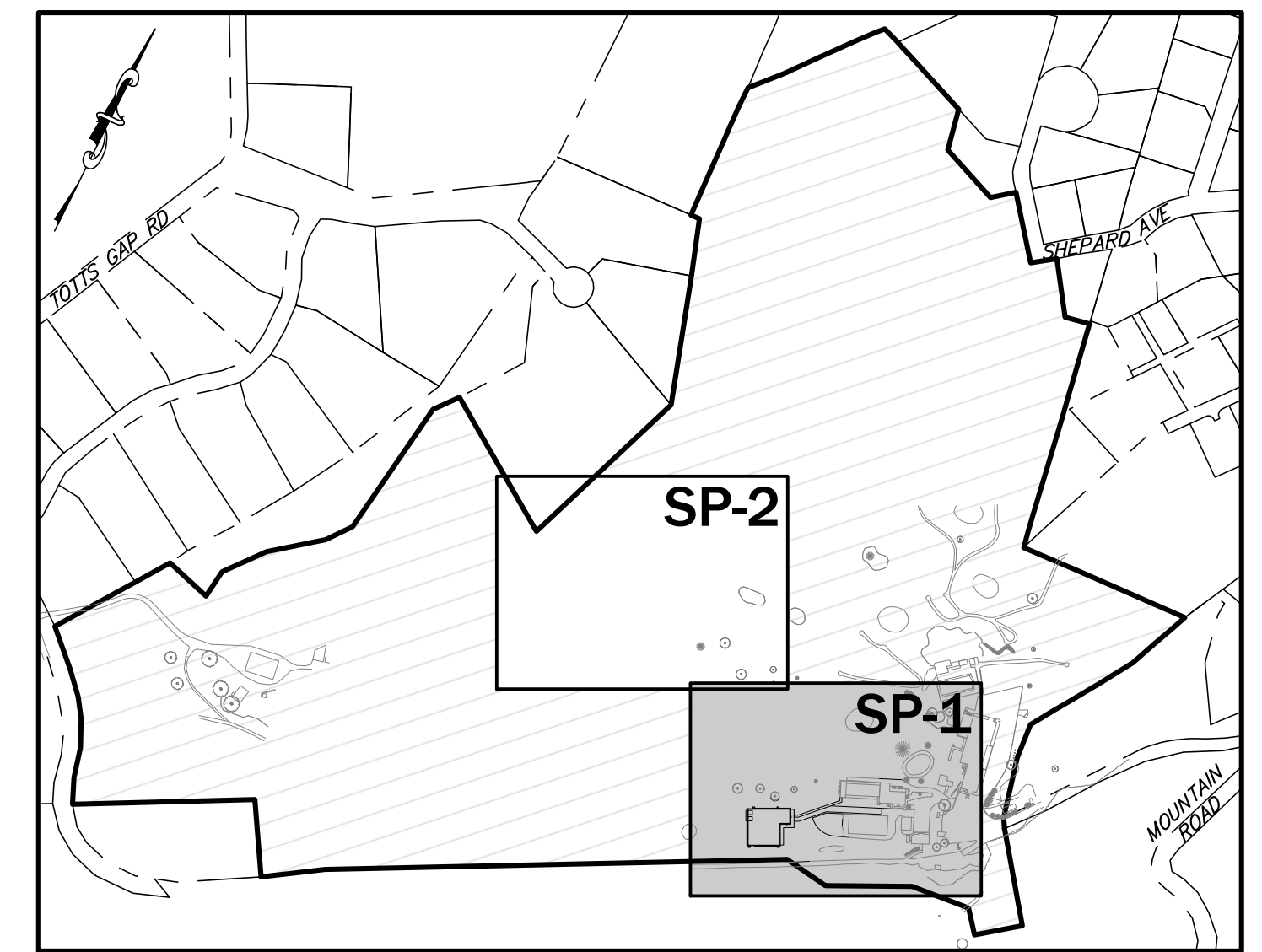
DATE: 8/28/2024	DSGN: TAL/DFG
SCALE: 1"=400'	CHK: CRS
DRAWN: TAL	APPRD: JPK
JOB: 1022419.004	P MGR: JPK

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SHEET: 2 OF 24

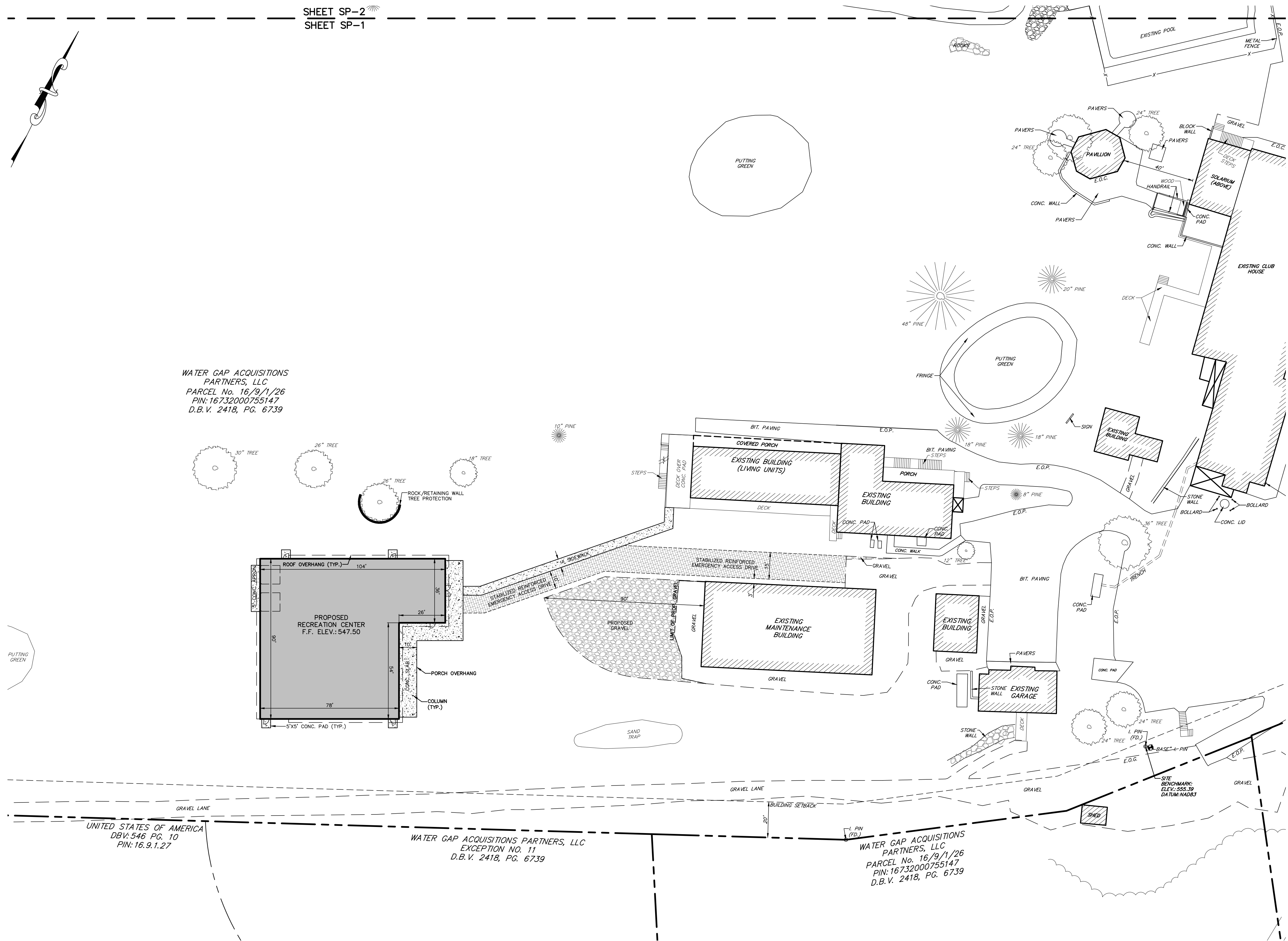
SCM-1



WATER GAP ACQUISITIONS PARTNERS, LLC
PARCEL No. 16/9/1/26
PIN: 16732000755147
D.B.V. 2418, PG. 6739



KEY MAP
SCALE: 1"=400'



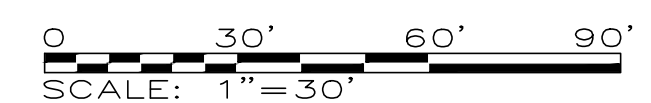
NOTES

1. THE OWNER/DEVELOPER OF THE PROPOSED LOT SHALL BE RESPONSIBLE FOR ACQUIRING ANY APPLICABLE APPROVALS/PERMITS PRIOR TO PERFORMING ANY SITE DEVELOPMENT.
2. THERE ARE NO HISTORICALLY SIGNIFICANT SITES OR STRUCTURES ON THE TRACT, INCLUDING BUT NOT LIMITED TO CELLAR HOLES, STONE WALLS, EARTHWORKS AND GRAVES.

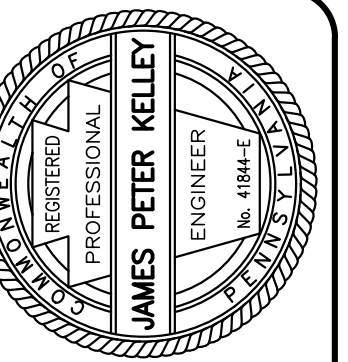
LEGEND

	EXISTING	PROPOSED		EXISTING	PROPOSED
PROPERTY BOUNDARY	---	---	SANITARY LINE, MANHOLE, & CLEANOUT	SAW MH - SAN - CO	PROP. MH - SAN - C.O.
LOT LINE	---	---	STORM LINE, MANHOLE, & INLET	STORM MH - INLET	NEW MH - NEW INLET
BUILDING SETBACK	---	---	DECIDUOUS TREE	6" MAPLE	
LEGAL RIGHT-OF-WAY	---	---	EVERGREEN TREE	6" PINE	
EASEMENT	---	---	TREE ROW	---	---
BUILDING	EXST. BUILDING	PROP. BUILDING	CONTOUR	590	590
CONCRETE	---	---	SPOT ELEVATION	590.53	590.53
GRAVEL	---	---	EDGE OF PAVEMENT	E.O.P.	
EMERGENCY ACCESS DRIVE	---	---	EDGE OF GRAVEL	E.O.G.	
SOIL BOUNDARY	---	---	BITUMINOUS	BIT.	
UTILITY POLE	U.P.		TYPICAL FINISHED FLOOR	(TYP.)	(TYP.)
OVERHEAD ELECTRIC	O/E	O/E	FINISHED FLOOR	F.F.	F.F.
WATER MAIN & VALVE	W	W	DOOR SILL	D.S.	

NOTE: VERTICAL TEXT INDICATES PROPOSED FEATURES
SLANTED TEXT INDICATES EXISTING FEATURES



REVISIONS	DATE	BY



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525 Main Street, Suite 200
Stroudsburg, PA 18360



SITE DEVELOPMENT PLAN
WATER GAP WELLNESS RECREATION CENTER
WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

DATE: 8/28/2024	DSGN: TAL/DFG
SCALE: 1"=30'	CHK: CRS
DRAWN: TAL	APPRD: JPK
JOB: 1022419.004	P MGR: JPK

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SHEET: 3 OF 24

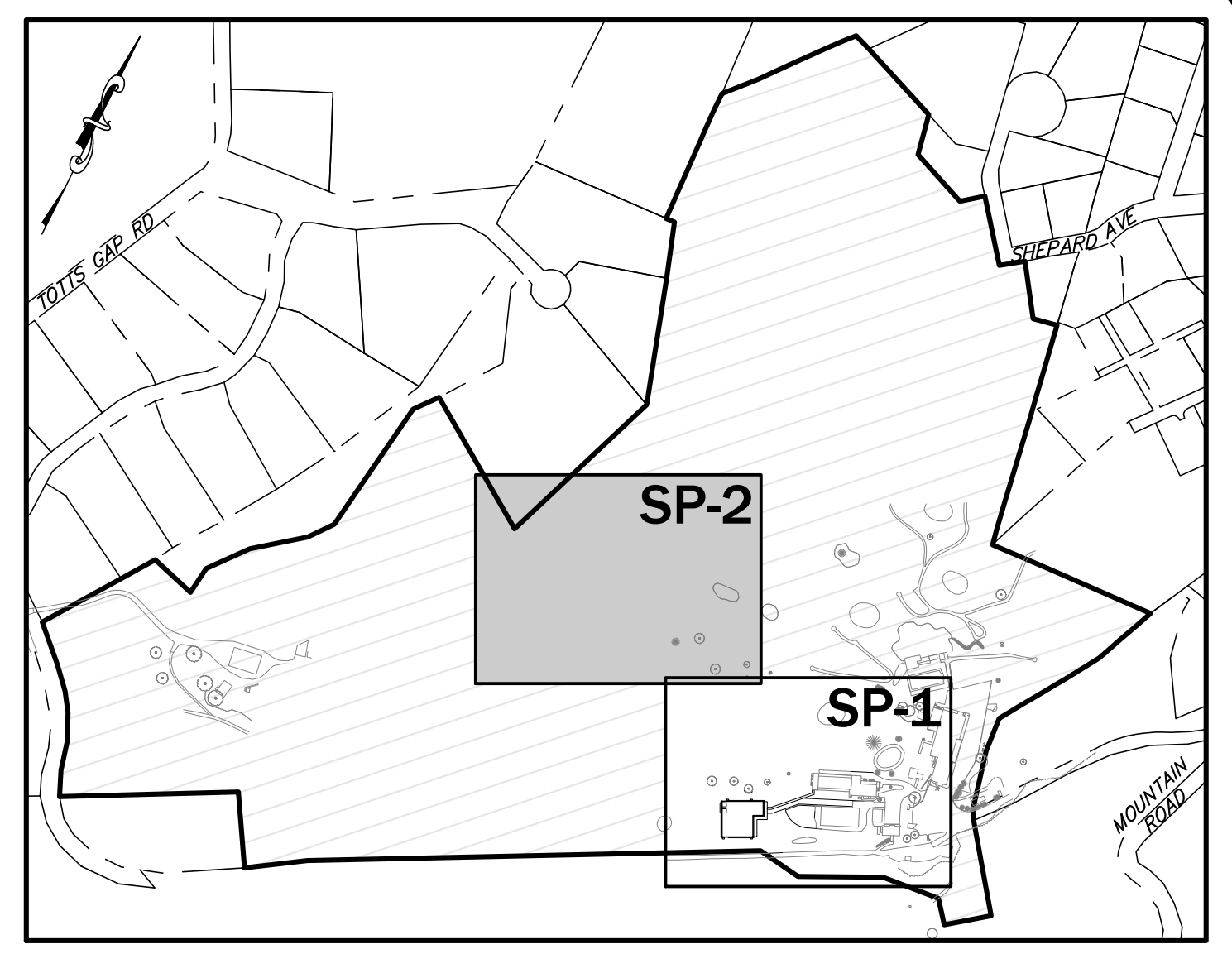
SP-1



Know what's below.
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SITE SERIAL #20240651009



WATER GAP ACQUISITIONS PARTNERS, LLC
 PARCEL No. 16/19/1/26
 PIN: 16732000755147
 D.B.V. 2418, PG. 6739



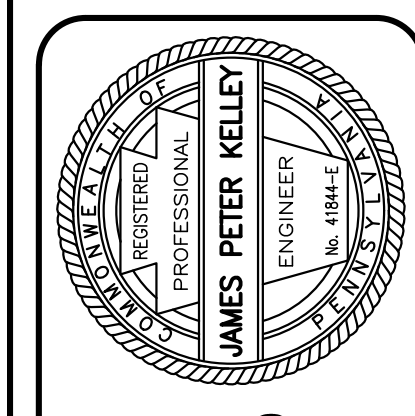
SHEET SP-2
 SHEET SP-1

LEGEND	
EXISTING	PROPOSED
PROPERTY BOUNDARY	PROPERTY BOUNDARY
LOT LINE	LOT LINE
BUILDING SETBACK	BUILDING SETBACK
LEGAL RIGHT-OF-WAY	LEGAL RIGHT-OF-WAY
EASEMENT	EASEMENT
BUILDING	EXIST. BUILDING
CONCRETE	PROP. BUILDING
GRAVEL	PROP. BUILDING
EMERGENCY ACCESS DRIVE	PROP. BUILDING
UTILITY POLE	PROP. BUILDING
OVERHEAD ELECTRIC	PROP. BUILDING
WATER MAIN & VALVE	PROP. BUILDING
SANITARY LINE, MANHOLE, & CLEANOUT	SAN. MH
STORM LINE, MANHOLE, & INLET	STORM MH
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EDGE OF GRAVEL	E.O.G.
BITUMINOUS	BIT.
TYPICAL FINISHED FLOOR	(TYP.)
DOOR SILL	F.F.
	D.S.

NOTE: VERTICAL TEXT INDICATES PROPOSED FEATURES
 SLANTED TEXT INDICATES EXISTING FEATURES

SCALE: 1"=30'

REVISIONS	DATE	BY



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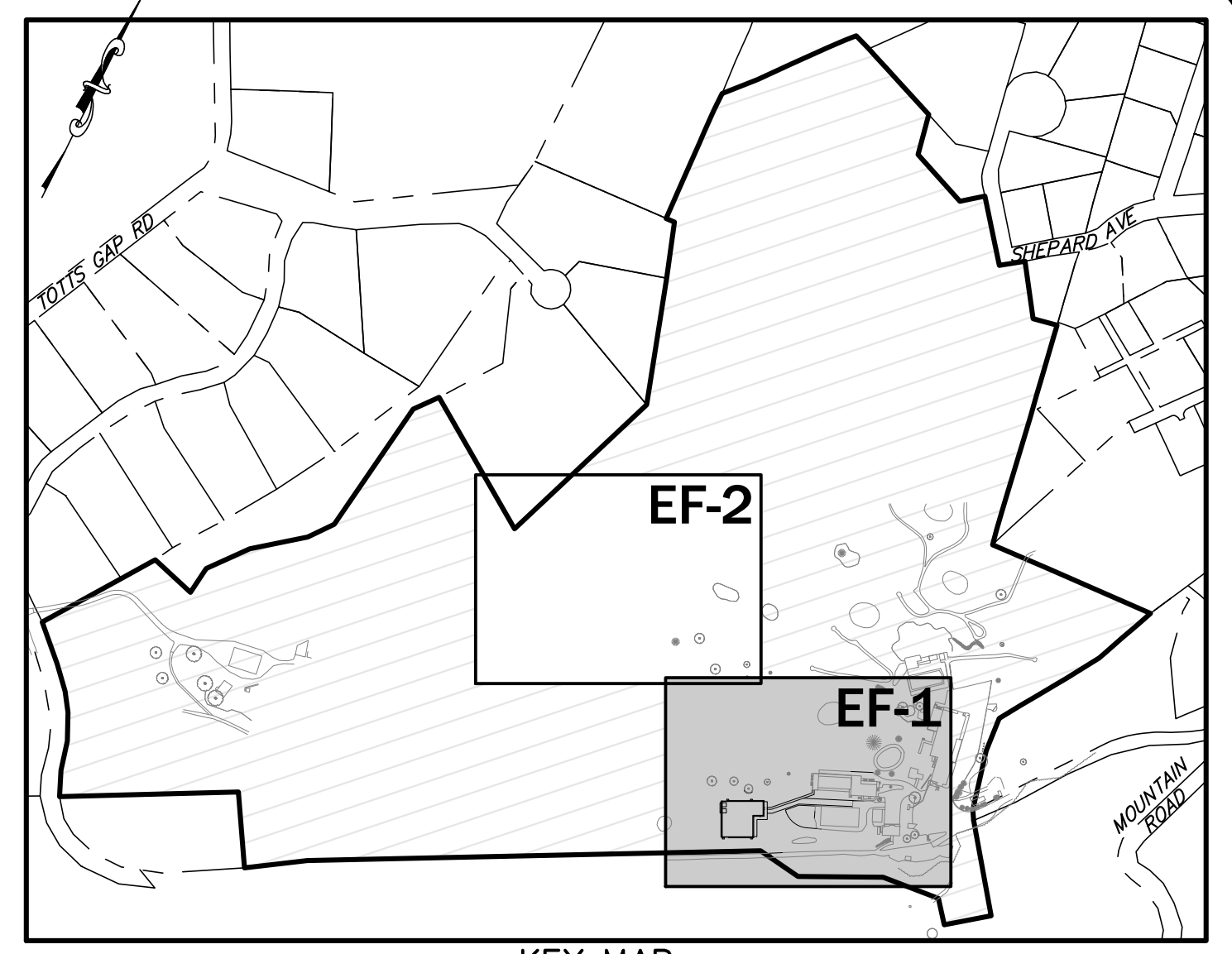
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SP-2	



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WATER GAP ACQUISITIONS
BARTNERS, LLC
PARCEL No. 16/9/1/26
PIN: 16732000755147
D.B.V. 2418, PG. 6739



KEY MAP
SCALE: 1"=400'

SOIL CLASSIFICATIONS

BaB	BATH CHANNERY SILT LOAM 3 TO 8 PERCENT SLOPES
BaC	BATH CHANNERY SILT LOAM 8 TO 15 PERCENT SLOPES
BbB	BATH CHANNERY SILT LOAM 0 TO 8 PERCENT SLOPES, EXTREMELY STONY
BbC	BATH CHANNERY SILT LOAM 8 TO 25 PERCENT SLOPES, EXTREMELY STONY
BcC	BENSON-ROCK OUTCROP COMPLEX 8 TO 25 PERCENT SLOPES
CbB	CHIPPEWA AND NORWICH SOIL 0 TO 8 PERCENT SLOPES, EXTREMELY STONY
LbE	LACKAWANNA AND BATH SOILS STEEP, RUBBLY
MbB	MARION VERY STONY SILT LOAM 0 TO 8 PERCENT SLOPES

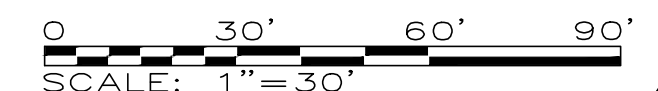
NOTES:

1. THIS DRAWING HAS BEEN PREPARED BASED ON THE BEST AVAILABLE INFORMATION. THE SURVEYOR HAS NOT VERIFIED THE ACCURACY OF THE UNDERGROUND UTILITIES AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE INCORPORATED HEREIN AS A RESULT. CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS PRIOR TO ANY FUTURE CONSTRUCTION.
2. DATE OF SURVEY: MAY 2, 2023.
3. THIS IS NOT A BOUNDARY SURVEY AND SHALL NOT BE CONSTRUED AS ONE. ALL BOUNDARY LINE INFORMATION IS SHOWN AS PER DEEDS OF RECORD.
4. WETLANDS ARE PRESENT ON THE SITE, BASED ON ISETT SITE INVESTIGATIONS ON FEBRUARY 1, APRIL 16, 17, AND 23 2024.
5. THE OWNER/DEVELOPER OF THE LOT SHALL BE RESPONSIBLE FOR ACQUIRING ANY APPLICABLE APPROVALS/PERMITS PRIOR TO PERFORMING ANY SITE DEVELOPMENT.
6. HORIZONTAL DATUM: S.P.C.S. NAD83 & VERTICAL DATUM: NAVD88
7. PROJECT SITE IS IN AREA OF MINIMAL FLOOD HAZARD: ZONE X. ACCORDING TO FEMA FIRM PANEL 42089C0432E, EFFECTIVE 05/02/2013.
8. NO ADDITIONAL LANDSCAPING OR SCREENING IS PROPOSED FOR THE PROJECT AREA.

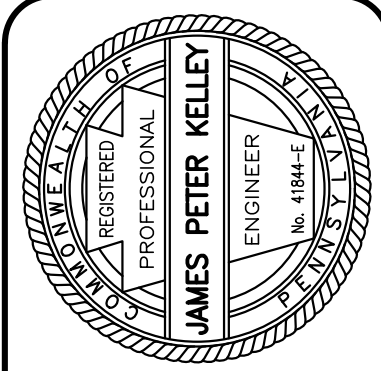
LEGEND

	EXISTING	DEMOLITION	EXISTING	DEMOLITION
PROPERTY BOUNDARY	---	---	CHAIN-LINK FENCE	---
LOT LINE	---	---	WOOD FENCE	---
BUILDING SETBACK	---	---	SIGN	---
LEGAL RIGHT-OF-WAY	---	---	DECIDUOUS TREE	---
EASEMENT	---	---	EVERGREEN TREE	---
CURBING	---	---	TREE ROW	---
BUILDING	---	---	CONTOUR	---
PAVEMENT	---	---	SPOT ELEVATION	---
GRAVEL	---	---	STREAM	---
SOIL BOUNDARY	---	---	EDGE OF PAVEMENT	---
UTILITY POLE	---	---	EDGE OF GRAVEL	---
OVERHEAD ELECTRIC	---	---	BITUMINOUS	---
WATER MAIN & VALVE	---	---	TYPICAL	---
GAS MAIN & VALVE	---	---	TO BE REMOVED	---
SANITARY LINE, MANHOLE, & CLEANOUT	---	---	FINISHED FLOOR	---
STORM LINE, MANHOLE, & INLET	---	---	DOOR SILL	---

NOTE:
VERTICAL TEXT INDICATES PROPOSED FEATURES
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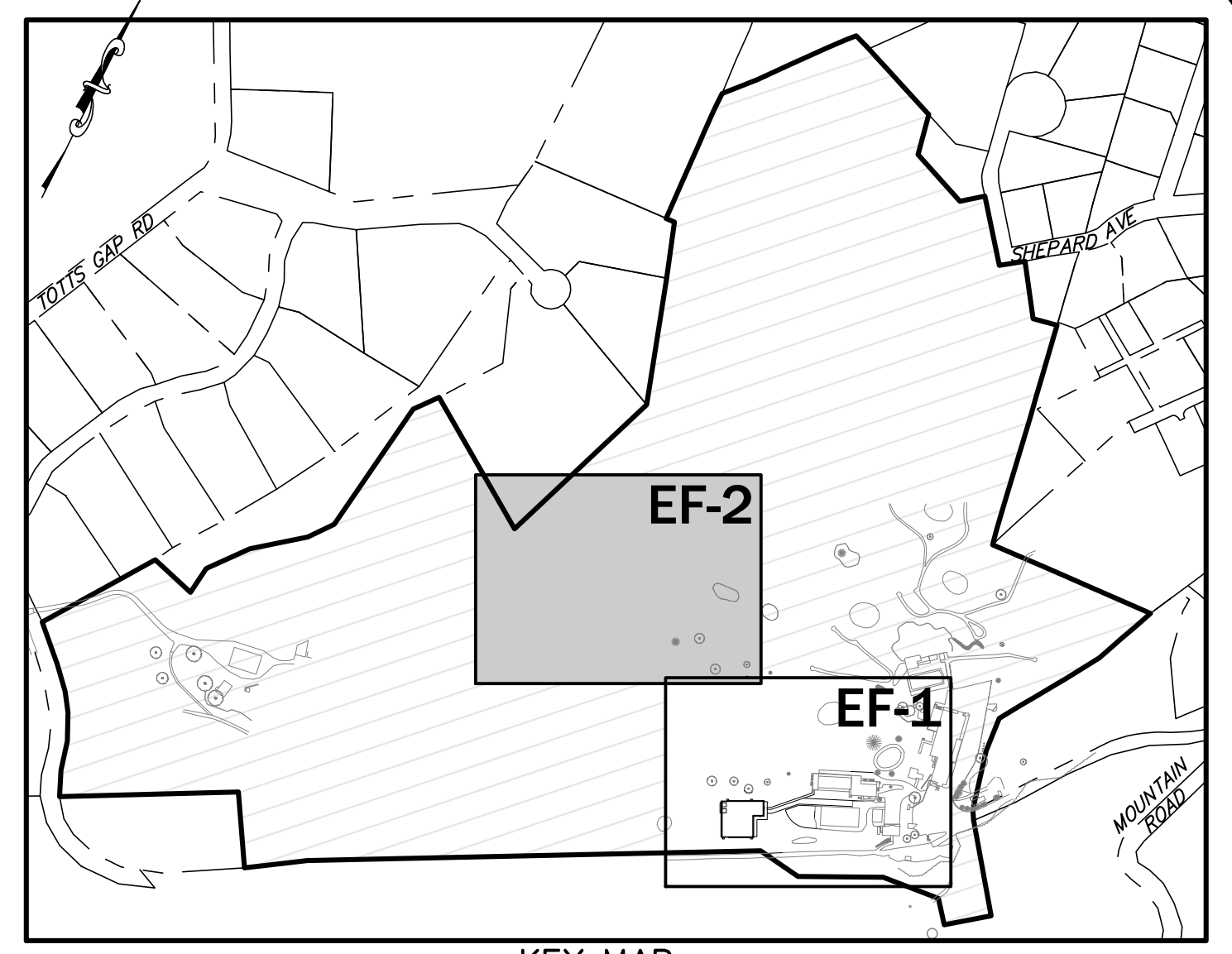
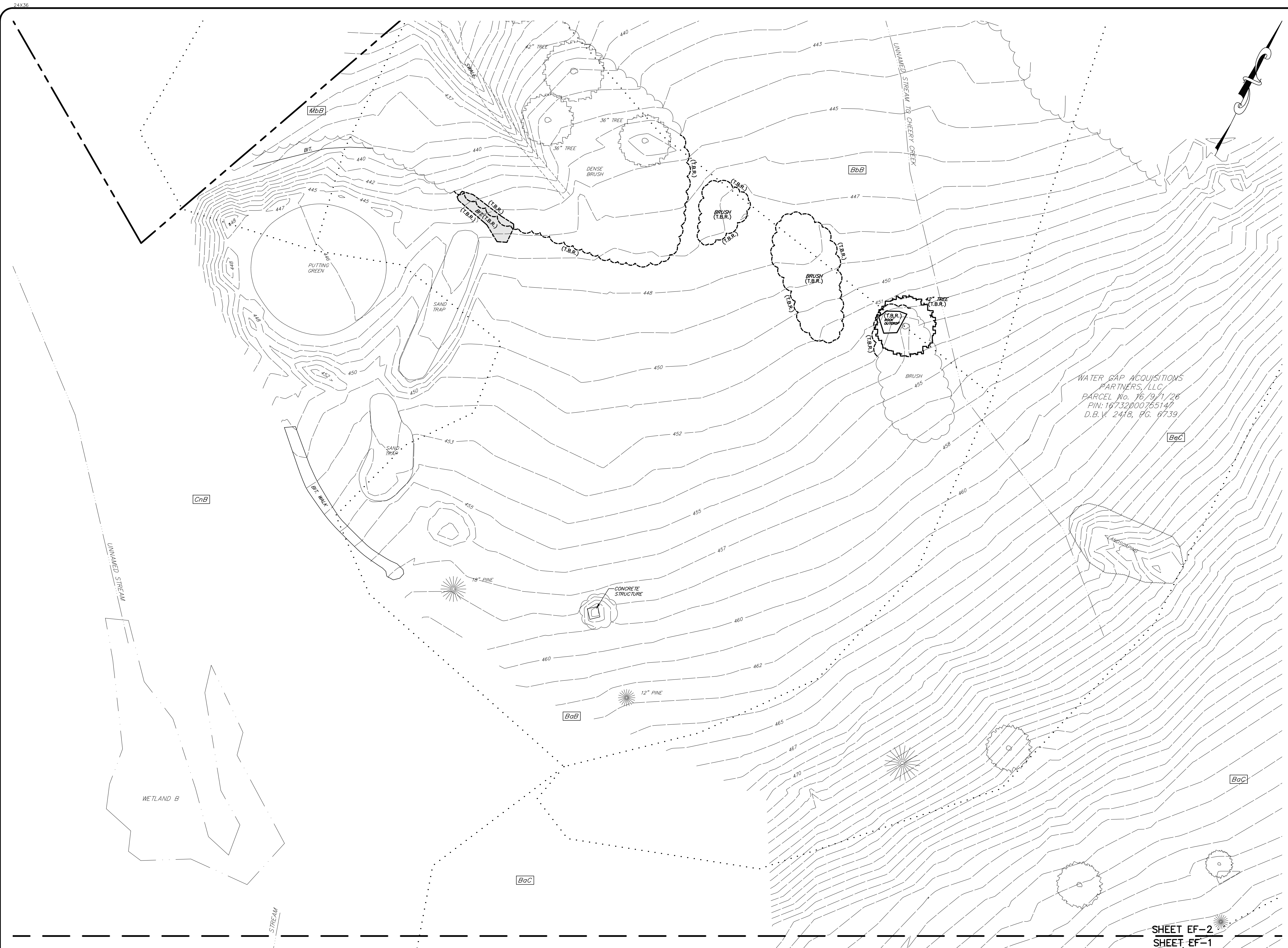
EXISTING FEATURES & DEMOLITION PLAN
WATER GAP WELLNESS RECREATION CENTER
WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

DATE:	8/28/2024	DSGN:	TAL/DFG
SCALE:	1"=30'	CHK:	CRS
DRAWN:	TAL	APPRD:	JKP
JOB:	1022419.004	P MGR:	JKP

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SITE SERIAL #20240651009



KEY MAP
SCALE: 1"=400'

WATER GAP ACQUISITIONS PARTNERS, LLC
PARCEL No. 16,19,11,26
PIN: 16732000765147
D.B.V. 2418, PG. 6739

SOIL CLASSIFICATIONS

- BaB** BATH CHANNERY SILT LOAM
3 TO 8 PERCENT SLOPES
- BaC** BATH CHANNERY SILT LOAM
8 TO 15 PERCENT SLOPES
- BbB** BATH CHANNERY SILT LOAM
0 TO 8 PERCENT SLOPES, EXTREMELY STONY
- BbC** BATH CHANNERY SILT LOAM
8 TO 25 PERCENT SLOPES, EXTREMELY STONY
- BcC** BENSON-ROCK OUTCROP COMPLEX
8 TO 25 PERCENT SLOPES
- CnB** CHIPPEWA AND NORWICH SOIL
0 TO 8 PERCENT SLOPES, EXTREMELY STONY
- LbE** LACKAWANNA AND BATH SOILS
STEEP, RUBBLY
- MbB** MARDIN VERY STONY SILT LOAM
0 TO 6 PERCENT SLOPES

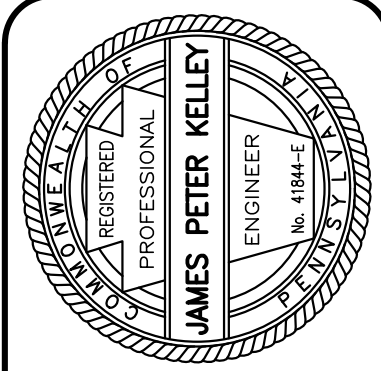
LEGEND

	EXISTING	DEMOLITION	EXISTING	DEMOLITION
PROPERTY BOUNDARY				
LOT LINE				
BUILDING SETBACK				
LEGAL RIGHT-OF-WAY				
EASEMENT				
CURBING				
BUILDING				
PAVEMENT				
GRAVEL				
SOIL BOUNDARY				
UTILITY POLE				
OVERHEAD ELECTRIC				
WATER MAIN & VALVE				
GAS MAIN & VALVE				
SANITARY LINE, MANHOLE, & CLEANOUT				
STORM LINE, MANHOLE, & INLET				
CHAIN-LINK FENCE				
WOOD FENCE				
SIGN				
DECIDUOUS TREE				
EVERGREEN TREE				
TREE ROW				
CONTOUR				
SPOT ELEVATION				
STREAM				
EDGE OF PAVEMENT				
EDGE OF GRAVEL				
BITUMINOUS				
TYPICAL				
TO BE REMOVED				(T.B.R.)
FINISHED FLOOR				
DOOR SILL				

NOTE:
VERTICAL TEXT INDICATES PROPOSED FEATURES
SLANTED TEXT INDICATES EXISTING FEATURES



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EXISTING FEATURES & DEMOLITION PLAN
WATER GAP WELLNESS RECREATION CENTER
WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

DATE: 8/28/2024	DSGN: TAL/DFG
SCALE: 1"=30'	CHK: CRS
DRAWN: TAL	APPRD: JPK
JOB: 1022419.004	P MGR: JPK

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SOIL CLASSIFICATIONS

BaB	BATH CHANNERY SILT LOAM 3 TO 8 PERCENT SLOPES
BaC	BATH CHANNERY SILT LOAM 8 TO 15 PERCENT SLOPES
BbB	BATH CHANNERY SILT LOAM 0 TO 8 PERCENT SLOPES, EXTREMELY STONY
BbC	BATH CHANNERY SILT LOAM 8 TO 25 PERCENT SLOPES, EXTREMELY STONY
BcC	BENSON-ROCK OUTCROP COMPLEX 8 TO 25 PERCENT SLOPES
ChB	CHIPPEWA AND NORWICH SOIL 0 TO 8 PERCENT SLOPES, EXTREMELY STONY
LbE	LACKAWANNA AND BATH SOILS STEEP, RUBBLY
MbB	MARDIN VERY STONY SILT LOAM 0 TO 8 PERCENT SLOPES

SITE DATA

OWNER/DEVELOPER: WATER GAP ACQUISITIONS PARTNERS, LLC
 P.O. BOX 244
 DELAWARE WATER GAP, PA 18327
 PHONE: 203-524-3039

SITE ADDRESS: WATER GAP WELLNESS
 296 MOUNTAIN ROAD
 STROUDSBURG, PA 18360

DEED BOOK: D.B.V. 2418, PG. 6739
 TAX MAP: 16-9-1-26
 PIN: 16731000755147

NUMBER OF LOTS: ONE (1)
 TOTAL AREA: 105.71 AC.

SEWER: ON-SITE
 WATER: ON-SITE

ZONING DATA

ZONING DISTRICT: R-1: LOW DENSITY RESIDENTIAL ON-SITE SEWER AND WATER

PROPOSED USE: PROPOSED BUILDING FOR PRIVATE RECREATION FACILITY

MINIMUM LOT AREA: 50,000 SF
 MINIMUM LOT WIDTH: 150 FEET
 MINIMUM LOT DEPTH: 150 FEET
 MINIMUM YARDS (BUILDING SETBACKS):
 FRONT: 40 FEET
 REAR: 20 FEET
 SIDE: 20 FEET

LOT COVERAGE (BUILDING): 50%
 BUILDING HEIGHT: 35 FEET OR 2½ STORIES

ZONING NOTE:
 ZONING DATA PROVIDED IS BASED ON AN INTERPRETATION OF THE ZONING ORDINANCE BY THE PLAN PREPARER AND IS SUBJECT TO CONFIRMATION BY THE APPROPRIATE MUNICIPAL OFFICIAL.

TOTAL ACREAGE TO BE DEVELOPED: 3.22 ACRES

PROPERTY SLOPE DATA

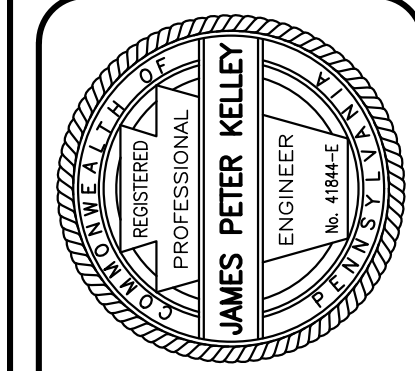
MINIMUM SLOPE	MAXIMUM SLOPE	COLOR	AREA
15%	25%	[Light Gray Box]	17.72 AC.
25%	100%	[Dark Gray Box]	8.79 AC.

LEGEND

- PROPERTY BOUNDARY: Dashed line
- LOT LINE: Solid line
- BUILDING: Hatched area
- SOIL BOUNDARY: Dotted line
- DECIDUOUS TREE: Circle with cross
- EVERGREEN TREE: Circle with star
- TREE ROW: Wavy line
- CONTOUR: Solid line with elevation
- STREAM: Dashed line with wavy border

Scale: 1" = 120'

REVISIONS	DATE	BY

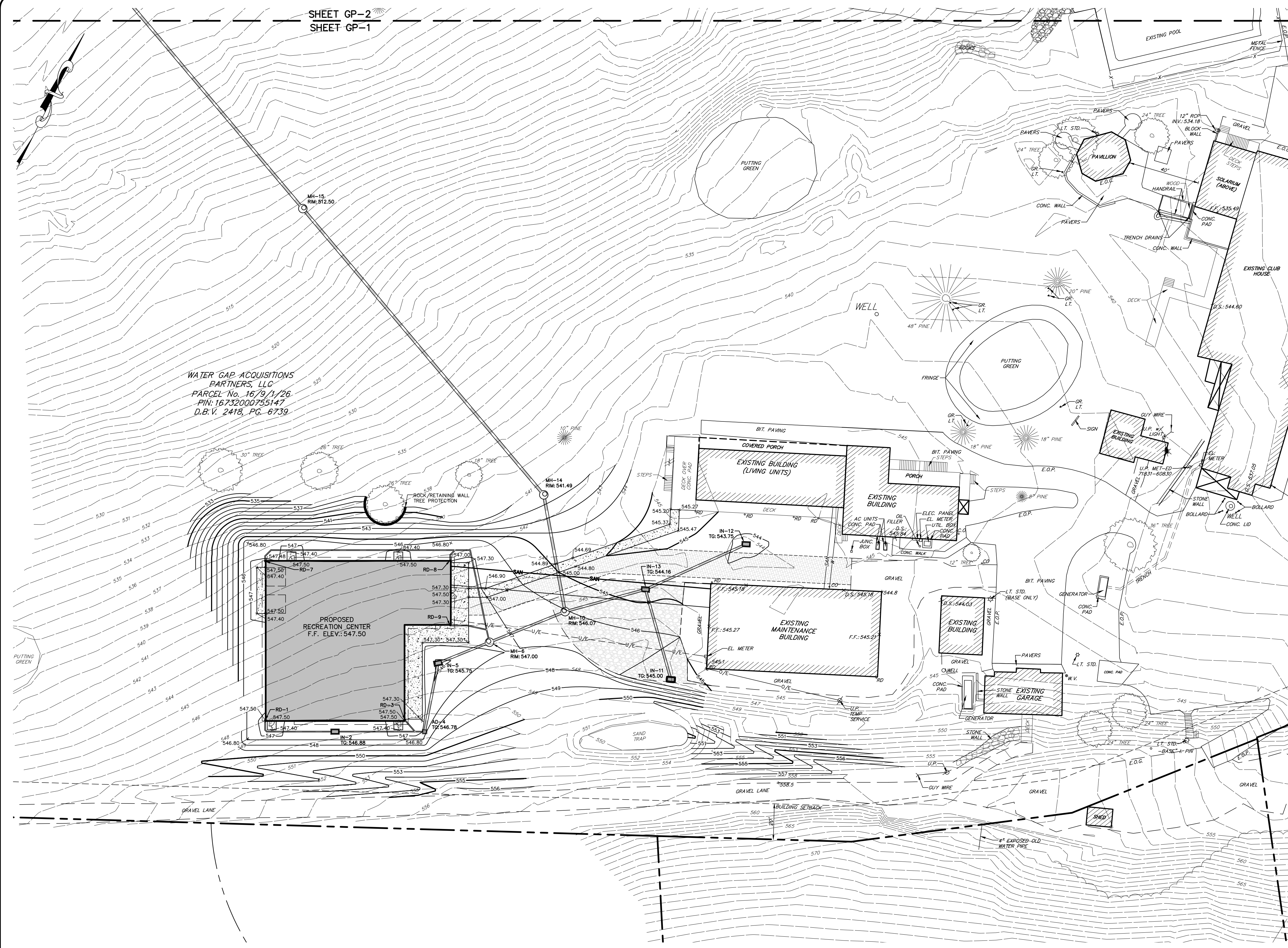


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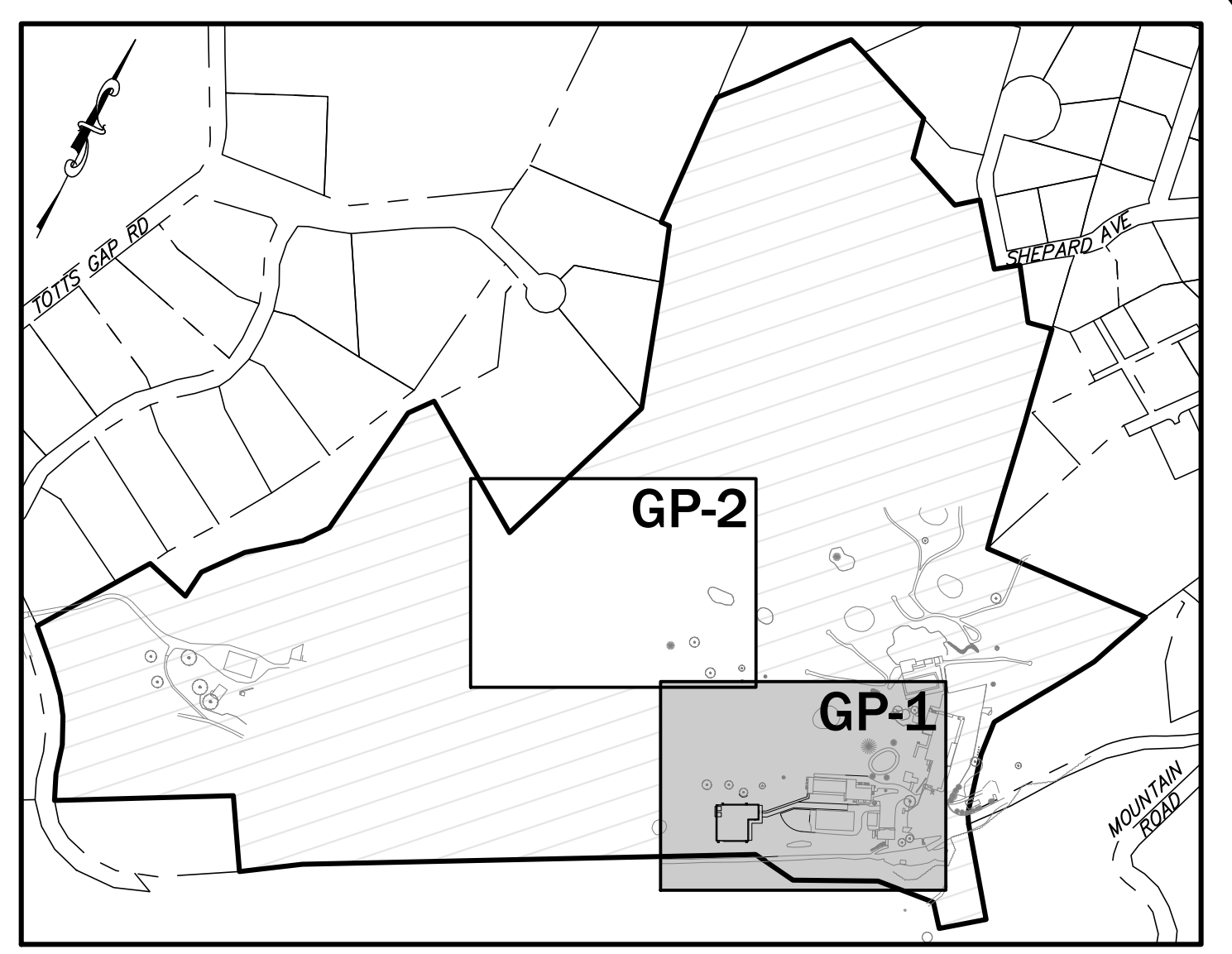


EXISTING RESOURCES & SITE ANALYSIS PLAN
 WATER GAP WELLNESS RECREATION CENTER
 WATER GAP ACQUISITIONS PARTNERS, LLC
 SMITHFIELD TOWNSHIP
 MONROE COUNTY, PA

DATE: 8/26/2024	DSGN: TAL/DFG
SCALE: 1"=120'	CHK: CRS
DRAWN: TAL	APPRD: JPK
JOB: 1022419.004	P MGR: JPK
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WATER GAP ACQUISITIONS PARTNERS, LLC
PARCEL No. 16791/26
PIN: 16732000755147
D.B.V. 2418, PG. 6739



KEY MAP
SCALE: 1"=400'

GRADING NOTES

- IN ACCORDANCE TO STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL PA ONE-CALL FOR UTILITY MARK-OUT IN ADVANCE OF ANY UTILITY EXCAVATION.
- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICES CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST POINTS. CROSSINGS WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED FOR INVERT ELEVATIONS AND LOCATION BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THESE DRAWINGS HAVE BEEN PREPARED BASED ON THE BEST AVAILABLE INFORMATION. THE ENGINEER CAN NOT VERIFY THE ACCURACY BETWEEN VISIBLE OR MARKED POINTS OF THE UNDERGROUND UTILITIES AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE INCORPORATED HEREIN AS A RESULT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHY AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
- THE OWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE AND OWNERSHIP RESPONSIBILITIES OF THE PROPOSED DETENTION SYSTEM, POST CONSTRUCTION STORMWATER BMP'S, AND OTHER STORMWATER MANAGEMENT FACILITIES ON SITE.
- ALL EXCAVATIONS, TRENCHING, AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U.S. DEPT. OF LABOR, OSHA.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY DESIGN ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES.
- CONTRACTOR MUST OBTAIN ANY REQUIRED UTILITY DETAILS FOR RECONNECTION OF EXISTING SERVICES OR NEW SERVICE, AND IS RESPONSIBLE FOR THE CONSTRUCTION OF EACH NEW SERVICE. CONNECTIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE OPERATING UTILITY.
- SOILS TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL/SOILS ENGINEER. THE SOILS ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR, SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
- COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LIFTS NOT TO EXCEED 6 INCHES IN COMPACTED FILL THICKNESS. RUNOFF FROM IMPERVIOUS AREAS SHALL NOT BE DIRECTED INTO THE SANITARY SEWER NOR ONTO ADJACENT PROPERTIES.
- MINIMUM/MAXIMUM SLOPES AROUND BUILDING AND ASSEMBLY AREAS SHALL MEET THE LATEST CODE REQUIREMENTS.
- ALL EXISTING UTILITY STRUCTURES (MANHOLES, INLETS, VALVES, ETC.) TO REMAIN SHALL BE ADJUSTED TO FINISHED GRADE.

LEGEND

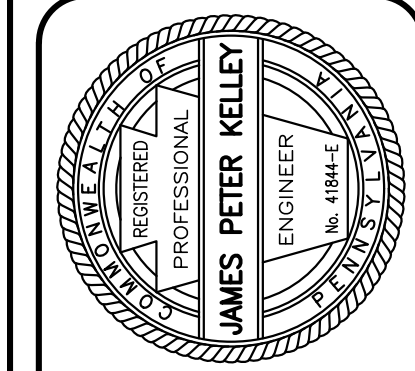
	EXISTING	PROPOSED		EXISTING	PROPOSED
PROPERTY BOUNDARY	---	---	SANITARY LINE, MANHOLE, & CLEANOUT	SAW MH SAW CO	PROP. MH SAN CO
LOT LINE	---	---	STORM LINE, MANHOLE, & INLET	STORM MH INLET	NEW MH NEW INLET
BUILDING SETBACK	---	---	DECIDUOUS TREE	6" MAPLE	
LEGAL RIGHT-OF-WAY	---	---	EVERGREEN TREE	6" PINE	
EASEMENT	---	---	TREE ROW		
BUILDING	EXST. BUILDING	PROP. BUILDING	CONTOUR	590	590
CONCRETE			SPOT ELEVATION	590.53	590.53
GRAVEL			EDGE OF PAVEMENT	E.O.P.	
EMERGENCY ACCESS DRIVE			EDGE OF GRAVEL	E.O.G.	
SOIL BOUNDARY			BITUMINOUS	BIT.	
UTILITY POLE			TYPICAL	(TYP.)	(TYP.)
OVERHEAD ELECTRIC			FINISHED FLOOR	F.F.	F.F.
WATER MAIN & VALVE			DOOR SILL	D.S.	

NOTE: VERTICAL TEXT INDICATES PROPOSED FEATURES
SLANTED TEXT INDICATES EXISTING FEATURES



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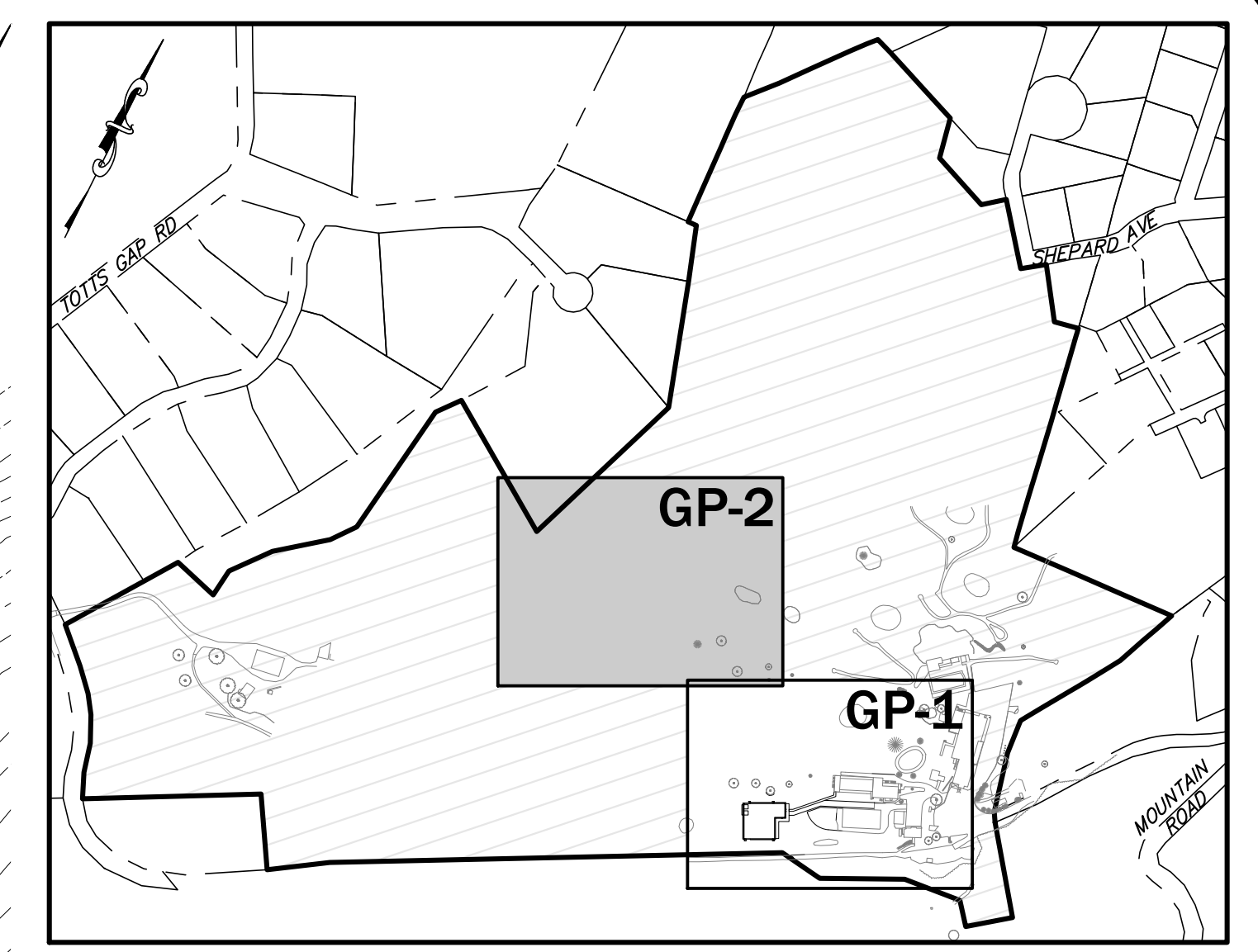
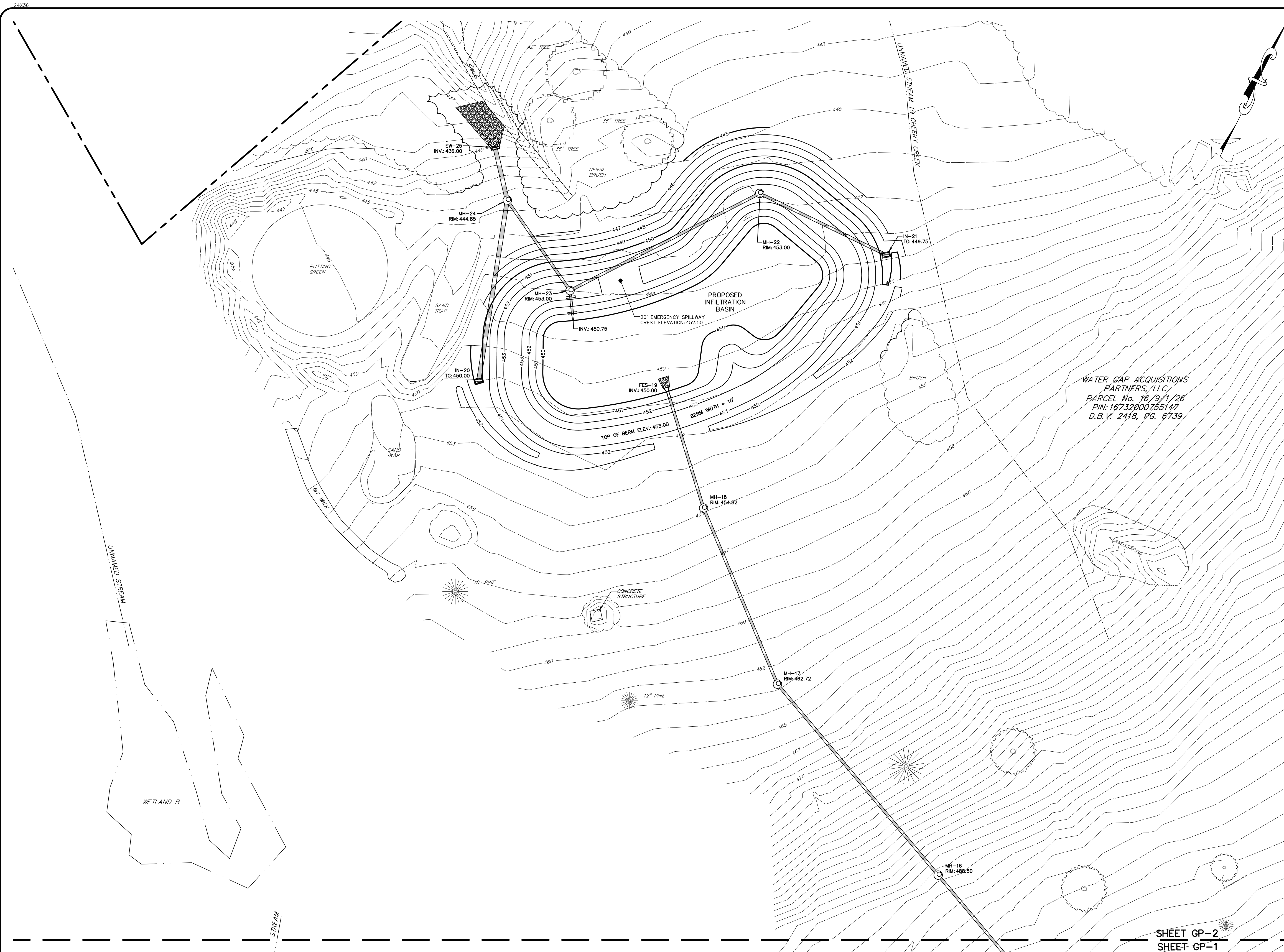


GRADING PLAN
WATER GAP WELLNESS RECREATION CENTER
WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

DATE: 8/28/2024	DSGN: TAL/DFG
SCALE: 1"=30'	CHK: CRS
DRAWN: TAL	APPRD: JPK
JOB: 1022419.004	P MGR: JPK

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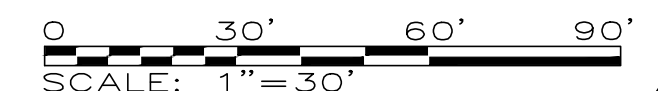
KEY MAP
SCALE: 1"=400'

WATER GAP ACQUISITIONS
PARTNERS, LLC
PARCEL No. 16/19/1/26
PIN: 16732000755147
D.B.V. 2418, PG. 6739

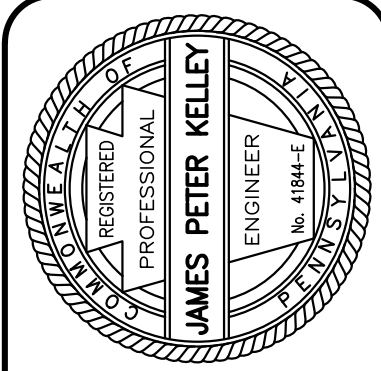
SHEET GP-2
SHEET GP-1

LEGEND	
EXISTING	PROPOSED
PROPERTY BOUNDARY	PROPERTY BOUNDARY
LOT LINE	LOT LINE
BUILDING SETBACK	BUILDING SETBACK
LEGAL RIGHT-OF-WAY	LEGAL RIGHT-OF-WAY
EASEMENT	EASEMENT
BUILDING	BUILDING
CONCRETE	CONCRETE
GRAVEL	GRAVEL
EMERGENCY ACCESS DRIVE	EMERGENCY ACCESS DRIVE
SOIL BOUNDARY	SOIL BOUNDARY
UTILITY POLE	UTILITY POLE
OVERHEAD ELECTRIC	OVERHEAD ELECTRIC
WATER MAIN & VALVE	WATER MAIN & VALVE
SANITARY LINE, MANHOLE, & CLEANOUT	SANITARY LINE, MANHOLE, & CLEANOUT
STORM LINE, MANHOLE, & INLET	STORM LINE, MANHOLE, & INLET
DECIDUOUS TREE	DECIDUOUS TREE
EVERGREEN TREE	EVERGREEN TREE
TREE ROW	TREE ROW
CONTOUR	CONTOUR
SPOT ELEVATION	SPOT ELEVATION
EDGE OF PAVEMENT	EDGE OF PAVEMENT
EDGE OF GRAVEL	EDGE OF GRAVEL
BITUMINOUS	BITUMINOUS
TYPICAL FINISHED FLOOR	TYPICAL FINISHED FLOOR
DOOR SILL	DOOR SILL

NOTE:
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GRADING PLAN
WATER GAP WELLNESS RECREATION CENTER
WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

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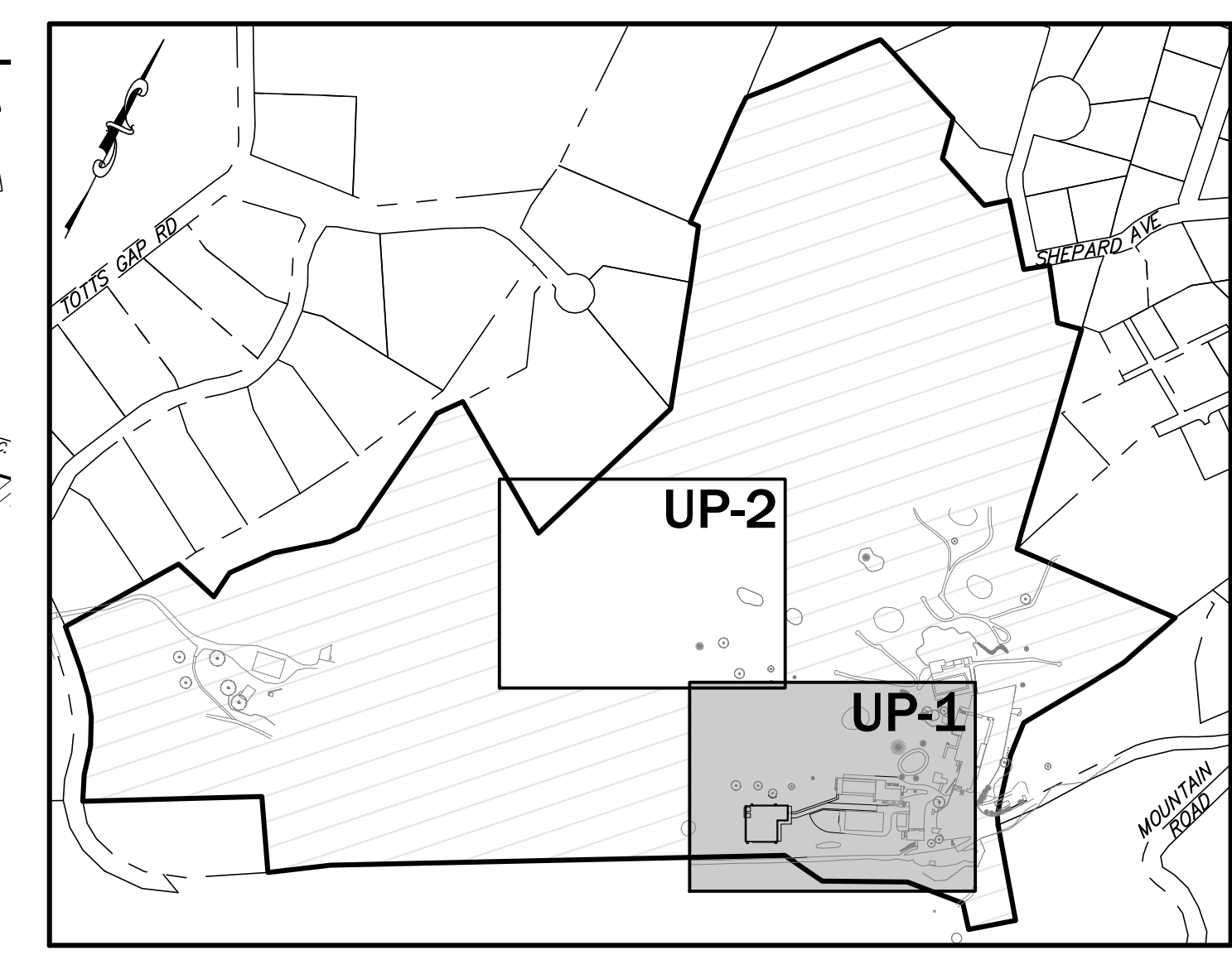
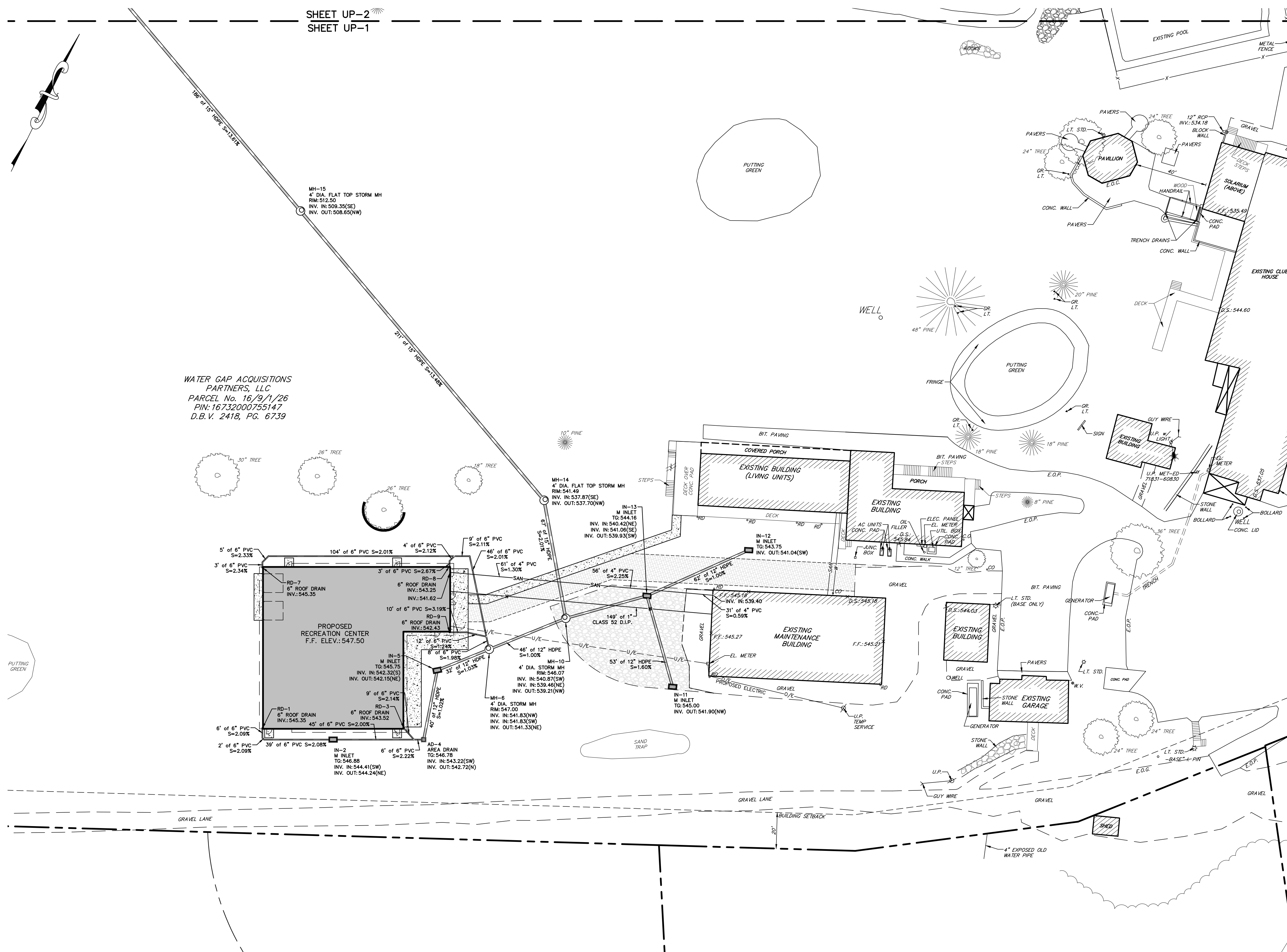
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FILENAME: C:\Users\jpetrod\OneDrive\Documents\Barry Isett and Associates\1022419_004_GW_Assessory_Blogs_LDP\Project_Files\Civil\Prod\1022419_004_06_GradingPlan.dwg -- August 26, 2024 11:55 AM

WATER GAP ACQUISITIONS
PARTNERS, LLC
PARCEL No. 16/9/1/26
PIN: 16732000755147
D.B.V. 2418, PG. 6739



KEY MAP
SCALE: 1"=400'

LIGHTING NOTE
NEW BUILDING LIGHTING TO BE FITTED WITH WALL-MOUNTED FIXTURES THAT ILLUMINATE FRONT DOOR AND SIDEWALK. ADDITIONAL WALL MOUNTED LIGHTING SHALL BE ADDED TO THE LIVING UNITS BUILDING DECK ACROSS FROM THE RECREATION CENTER TO ILLUMINATE THE CONNECTING SIDEWALK.

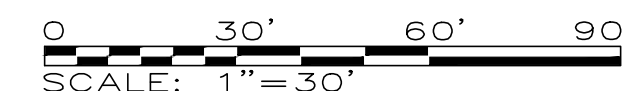
UTILITY NOTES

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- IN ACCORDANCE TO STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL PA ONE-CALL FOR UTILITY MARK-OUT IN ADVANCE OF ANY UTILITY EXCAVATION.
- ALL UTILITY CONNECTIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE OPERATING UTILITY.
- ALL PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- ALL PROPOSED PIPE SLOPES ARE MEASURED IN FT/FT, UNLESS NOTED OTHERWISE BY PERCENTAGE.
- ALL HDPE PIPE SHALL BE SMOOTH BORE INTERIOR, CORRUGATED HIGH DENSITY POLYETHYLENE PIPING WITH WATER-TIGHT BELL AND SPIGOT JOINTS IN ADDITION, PERFORATED HDPE PIPE SHALL MEET THE MINIMUM PERFORMANCE REQUIREMENTS FOR AASHTO CLASS II PERFORMANCES.
- NO STORM SEWER SHALL ENTER OR EXIT THE CORNERS OF INLET OR JUNCTION BOXES.
- INLETS & DRAINAGE STRUCTURES WITH A DEPTH GREATER THAN 5 FEET MUST BE PROVIDED WITH LADDER RUNGS.
- MANHOLES AND INLETS MUST CONFORM TO THE STANDARDS ESTABLISHED BY PENNDOT AND MUST BE SUPPLIED BY A PENNDOT BULLETIN 15 APPROVED SUPPLIER.
- THE WATER SYSTEM, INCLUDING ALL SERVICE PIPING AND EQUIPMENT, SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH AWWA STANDARDS AND ALL APPLICABLE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS.
- A MINIMUM COVER OF 4 FEET SHALL BE MAINTAINED OVER ALL WATERLINES.
- PROVIDE HORIZONTAL & VERTICAL THRUST BLOCKS AT ALL WATERLINE BENDS AND CONSTRUCT TO DETAILS AS SHOWN ON PLANS.
- ALL ON-SITE LIGHTING, POWER/ELECTRIC, COMMUNICATIONS, TELEVISION AND TELEPHONE UTILITIES ARE TO BE INSTALLED BY THE ELECTRICAL CONTRACTOR.
- UNDERGROUND MARKING TAPE IS REQUIRED TO BE INSTALLED WITHIN THE PROPOSED UTILITY TRENCHES.

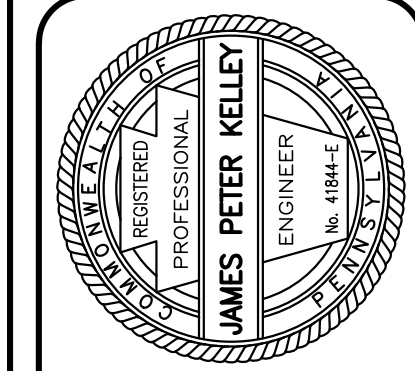
LEGEND

	EXISTING	PROPOSED		EXISTING	PROPOSED
PROPERTY BOUNDARY	---	---	SANITARY LINE, MANHOLE, & CLEANOUT		
LOT LINE	---	---	STORM LINE, MANHOLE, & INLET		
BUILDING SETBACK	---	---	DECIDUOUS TREE		
LEGAL RIGHT-OF-WAY	---	---	EVERGREEN TREE		
EASEMENT	---	---	TREE ROW		
BUILDING			CONTOUR		
CONCRETE			SPOT ELEVATION		
GRAVEL			EDGE OF PAVEMENT		
EMERGENCY ACCESS DRIVE			EDGE OF GRAVEL		
SOIL BOUNDARY			BITUMINOUS		
UTILITY POLE			TYPICAL		
OVERHEAD ELECTRIC			FINISHED FLOOR		
WATER MAIN & VALVE			DOOR SILL		

NOTE: VERTICAL TEXT INDICATES PROPOSED FEATURES
SLANTED TEXT INDICATES EXISTING FEATURES



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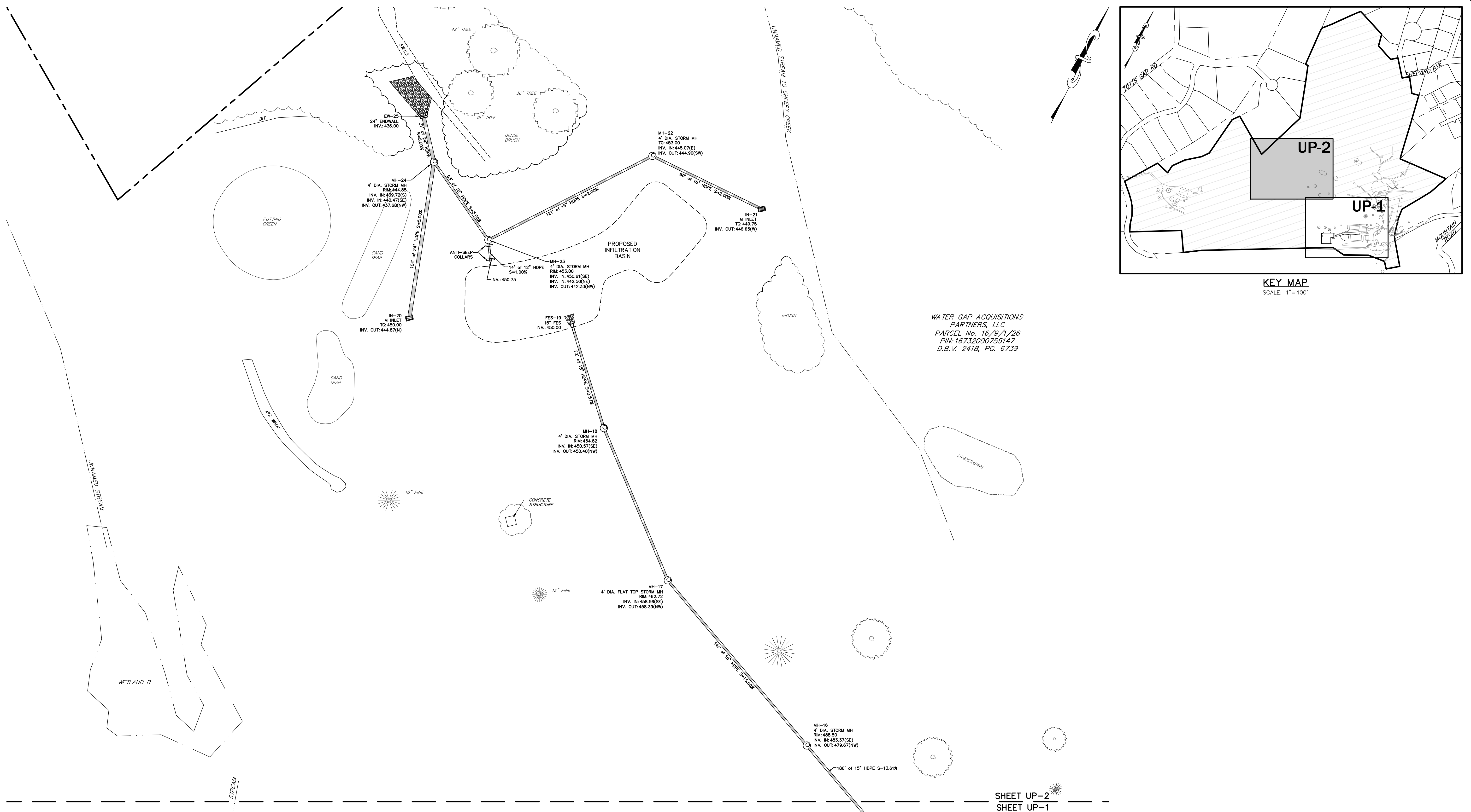


UTILITY PLAN
WATER GAP WELLNESS RECREATION CENTER
WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

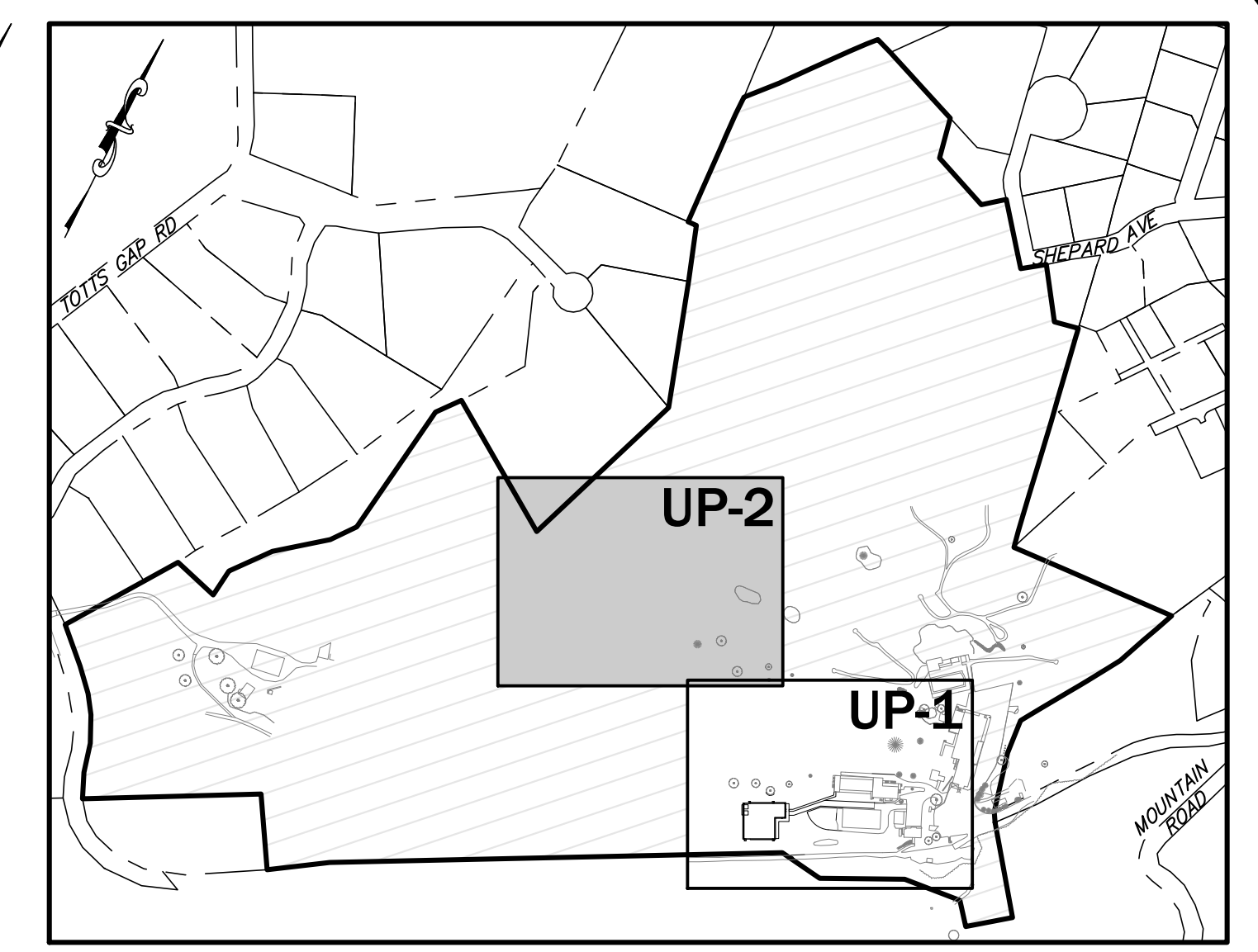
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SCALE: 1"=30'	CHK: CRS
DRAWN: TAL	APPRD: JPK
JOB: 1022419.004	P MGR: JPK
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SHEET: 10 OF 24	

UP-1





WATER GAP ACQUISITIONS PARTNERS, LLC
 PARCEL No. 16/19/1/26
 PIN: 16732000755147
 D.B.V. 2418, PG. 6739



KEY MAP
 SCALE: 1"=400'

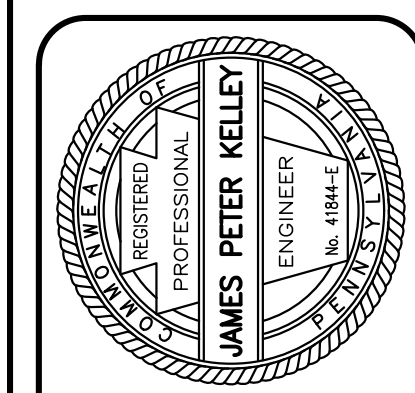
SHEET UP-2
 SHEET UP-1

LEGEND	
EXISTING	PROPOSED
PROPERTY BOUNDARY	SANITARY LINE, MANHOLE, & CLEANOUT
LOT LINE	STORM LINE, MANHOLE, & INLET
BUILDING SETBACK	DECIDUOUS TREE
LEGAL RIGHT-OF-WAY	EVERGREEN TREE
EASEMENT	TREE ROW
BUILDING	CONTOUR
CONCRETE	SPOT ELEVATION
GRAVEL	EDGE OF PAVEMENT
EMERGENCY ACCESS DRIVE	E.O.G.
SOIL BOUNDARY	EDGE OF GRAVEL
UTILITY POLE	BITUMINOUS
OVERHEAD ELECTRIC	TYPICAL FINISHED FLOOR
WATER MAIN & VALVE	DOOR SILL

NOTE:
 VERTICAL TEXT INDICATES PROPOSED FEATURES
 SLANTED TEXT INDICATES EXISTING FEATURES



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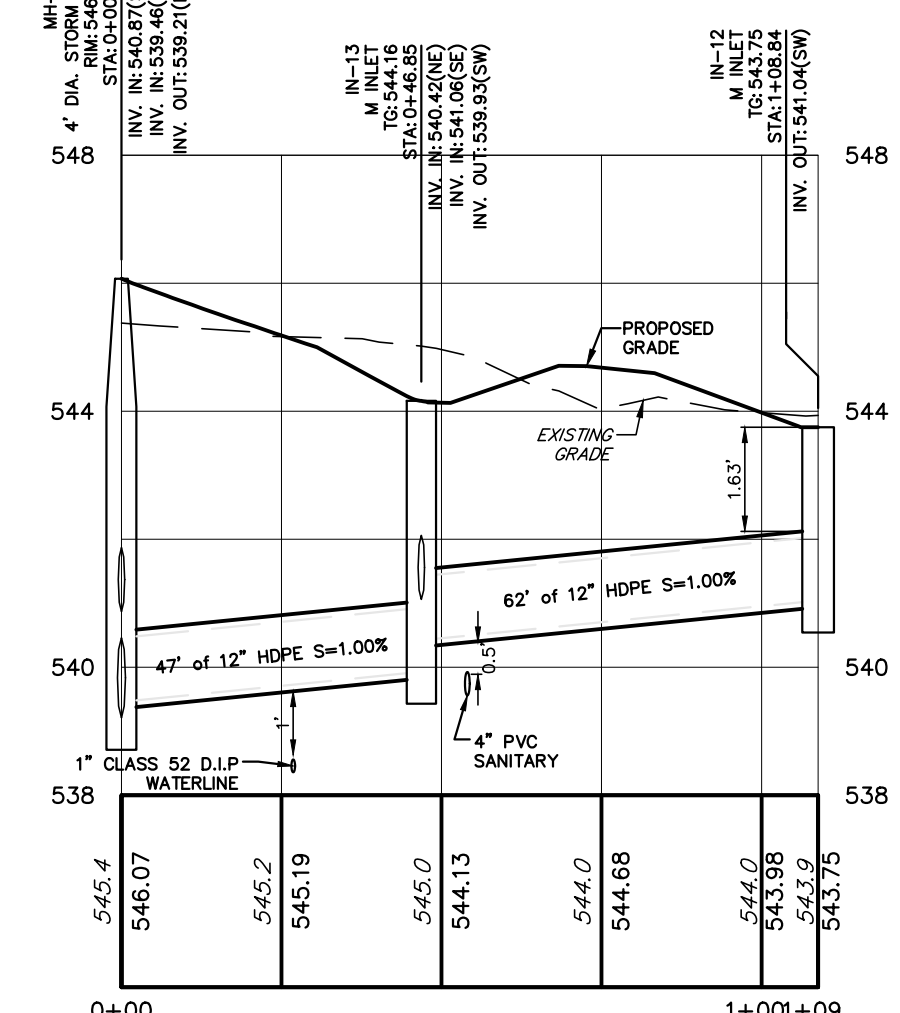
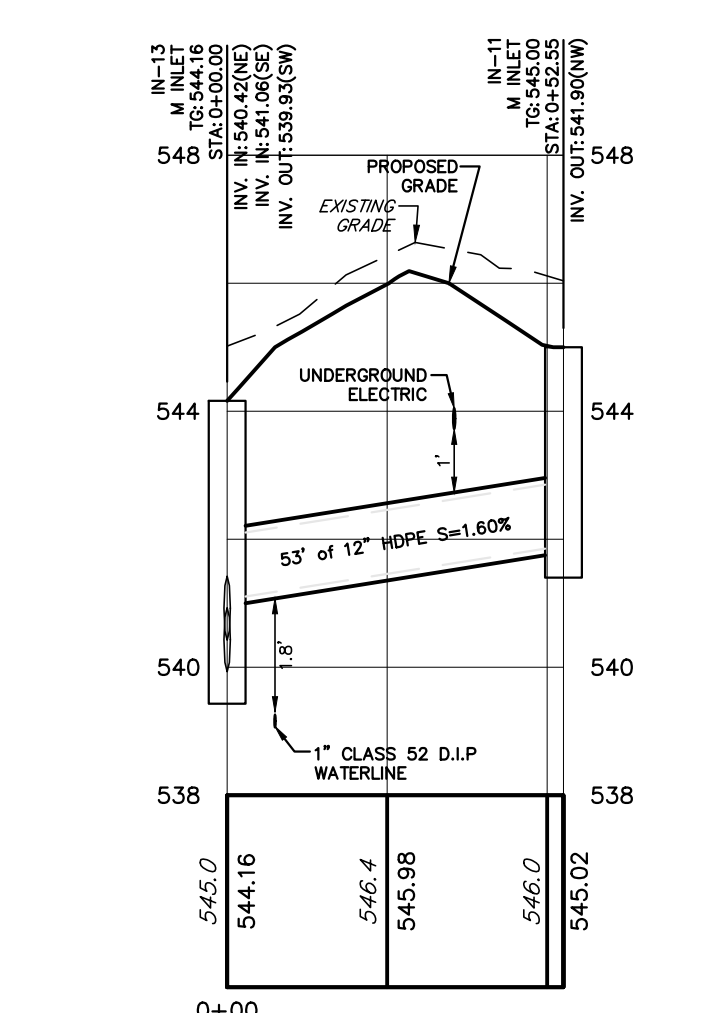
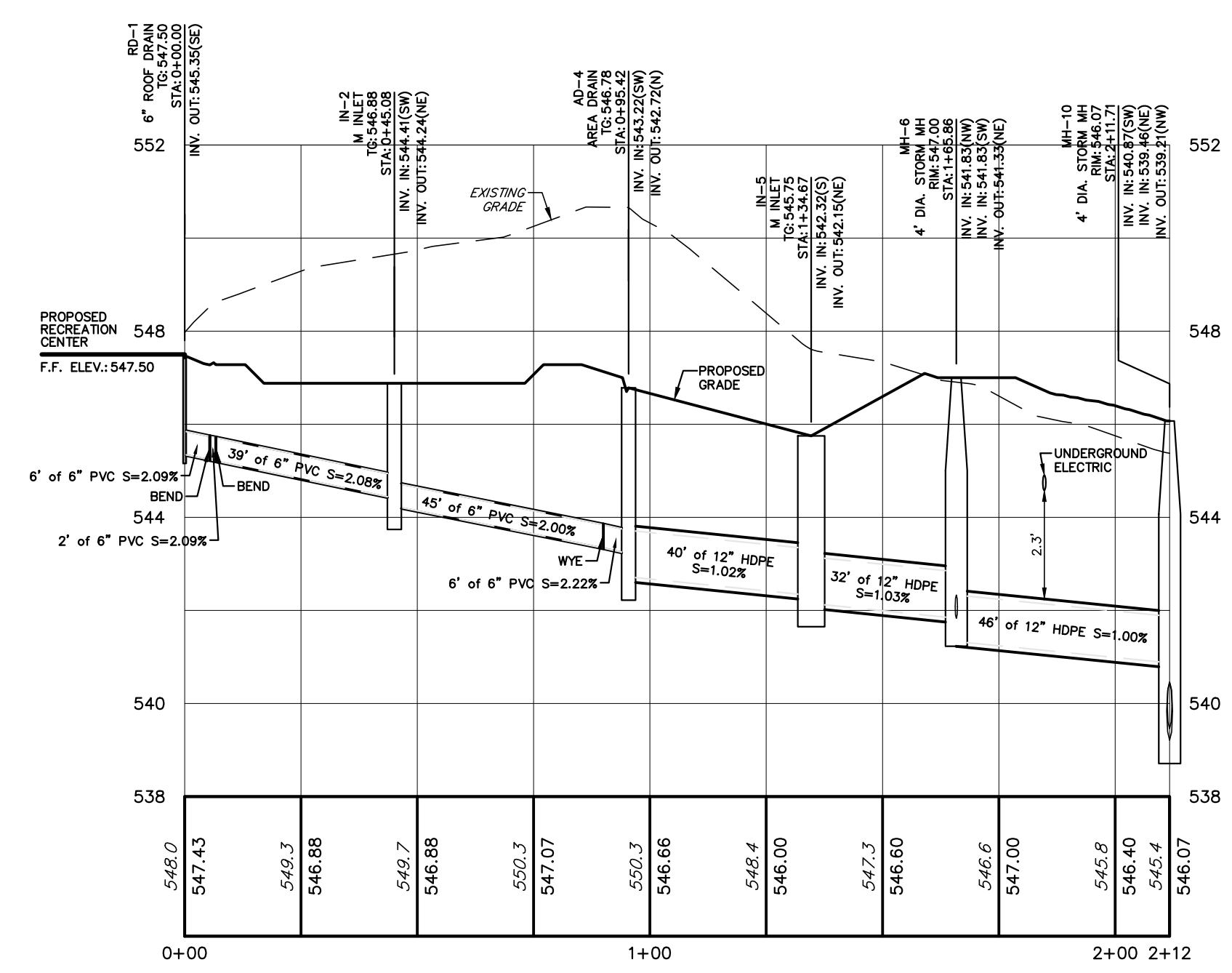
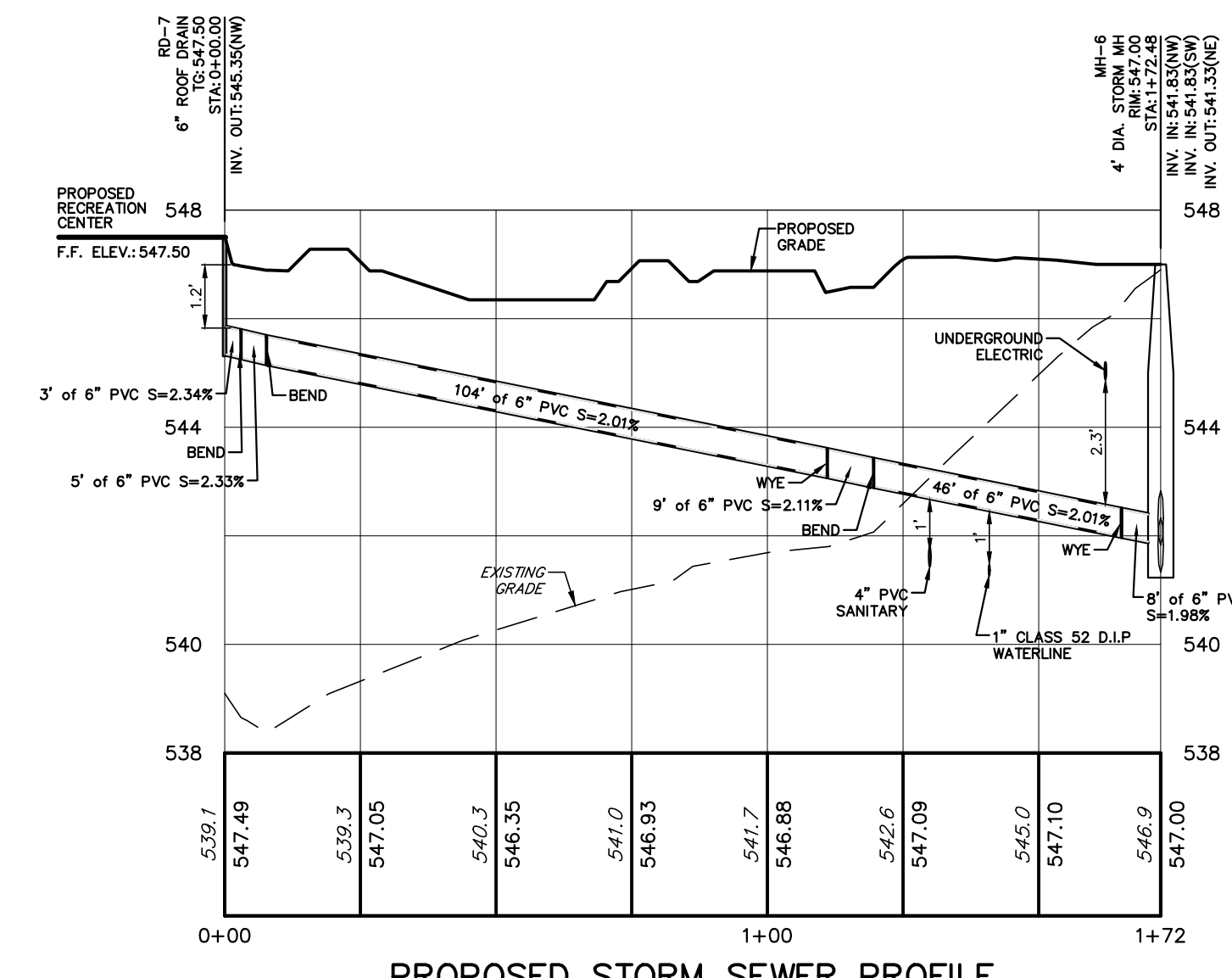
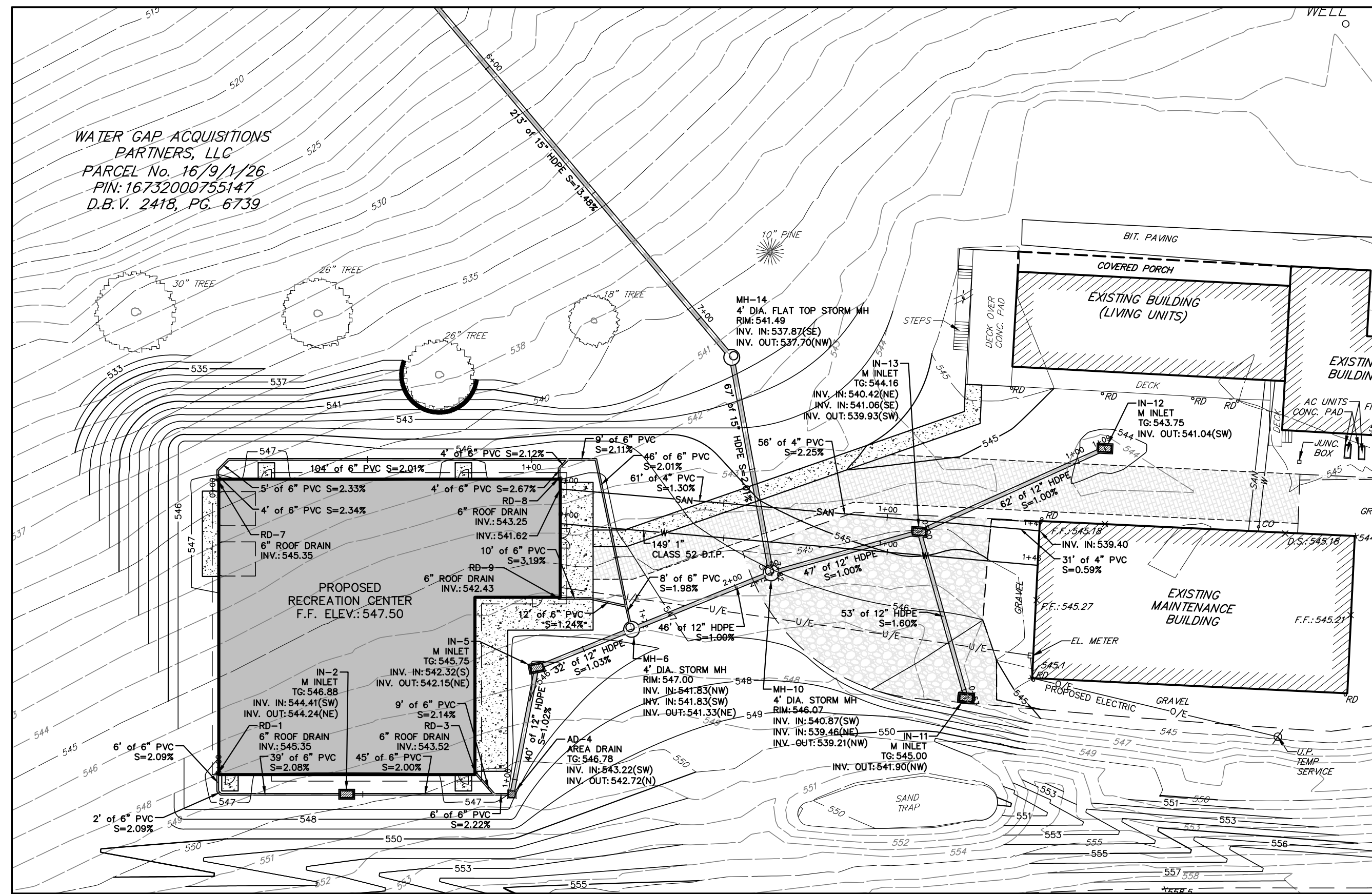


UTILITY PLAN
WATER GAP WELLNESS RECREATION CENTER
WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

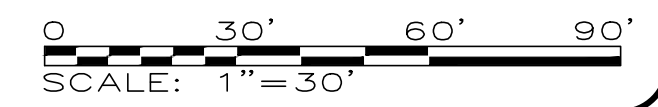
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UP-2

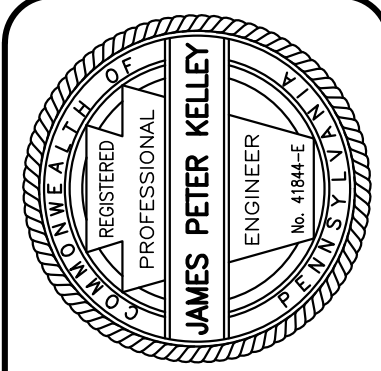
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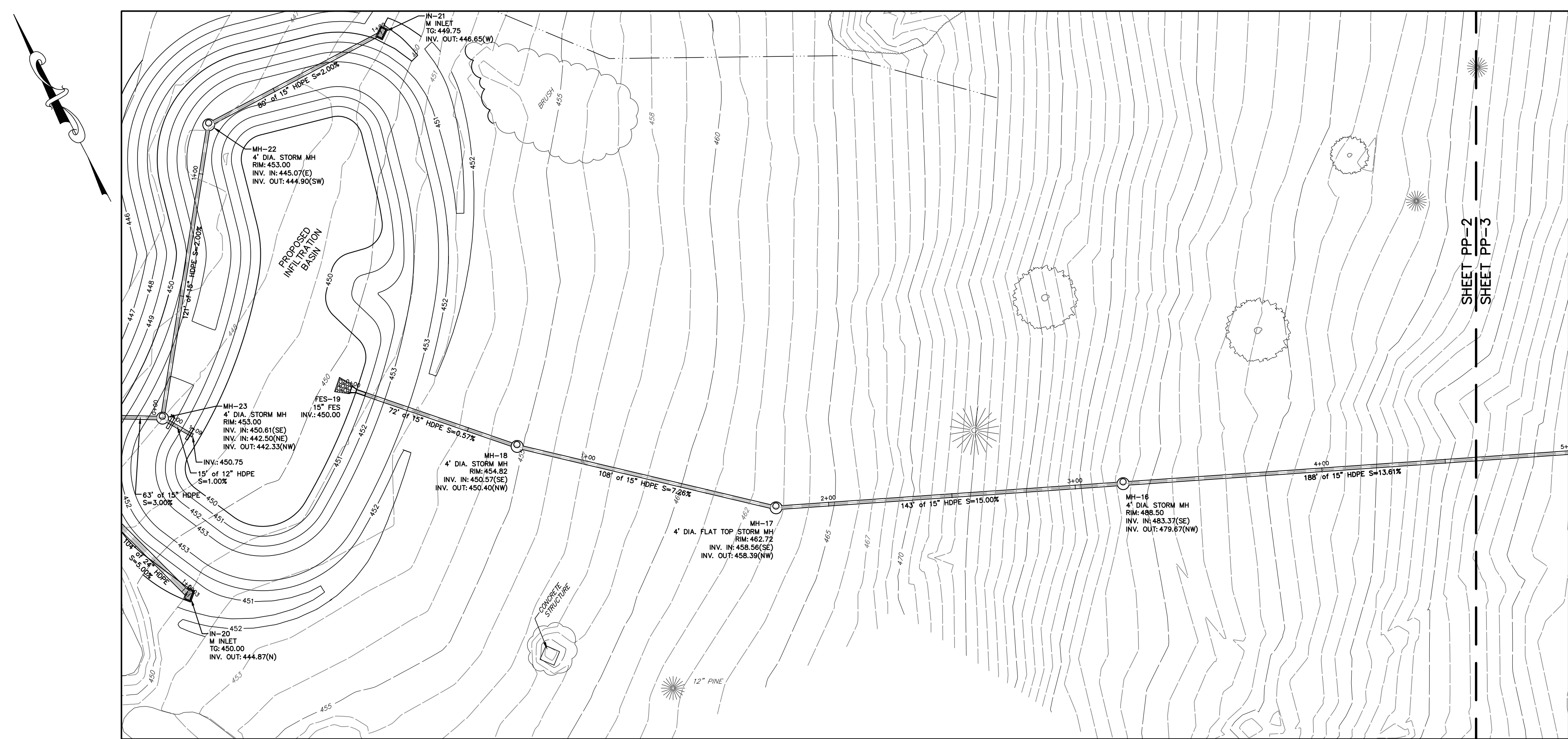


STORM SEWER PLAN & PROFILES
WATER GAP WELLNESS RECREATION CENTER
WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

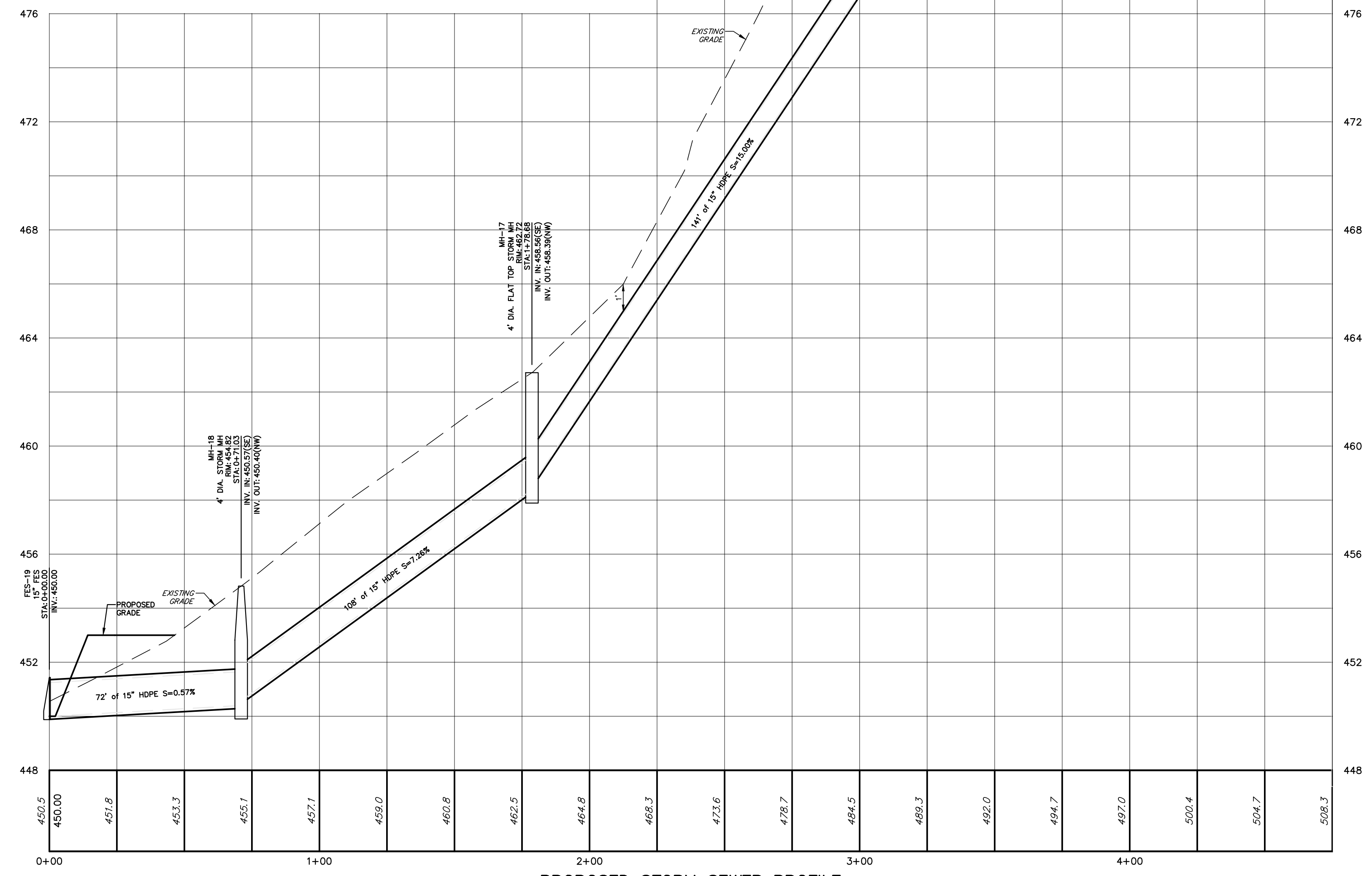
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PP-1

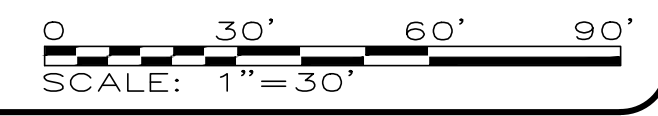


PLAN VIEW
SCALE: 1"=30'

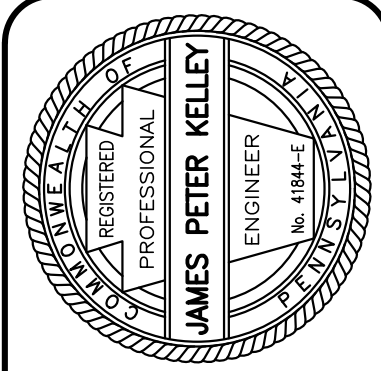


PROPOSED STORM SEWER PROFILE
(MH-10 TO DETENTION BASIN)

STA.: 0+00 TO 7+82.12
SCALE: 1"=30'(H), 1"=3'(V)



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STORM SEWER PLAN & PROFILES
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WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

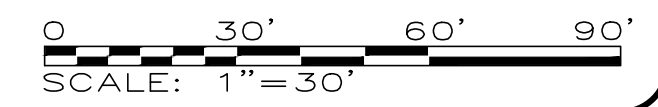
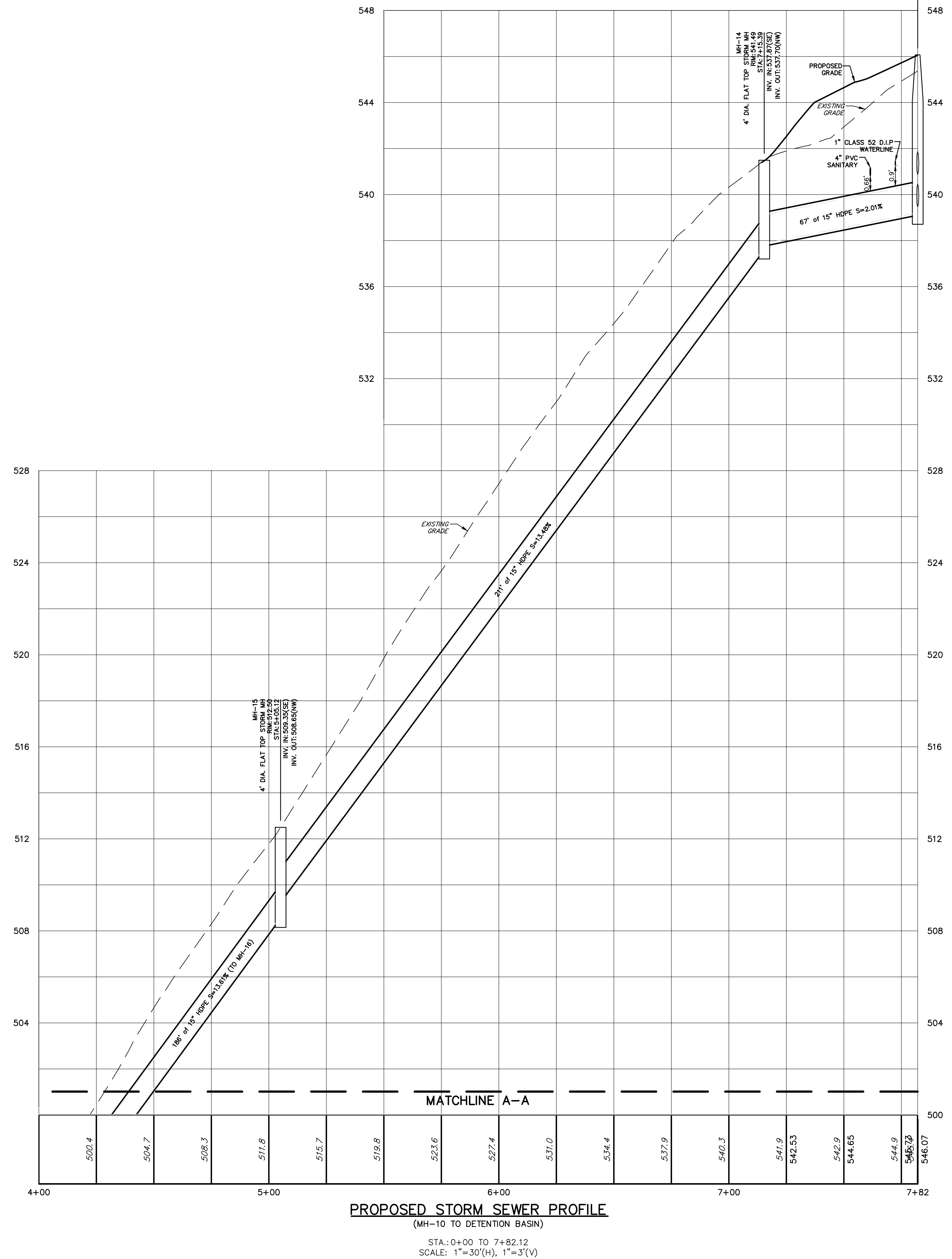
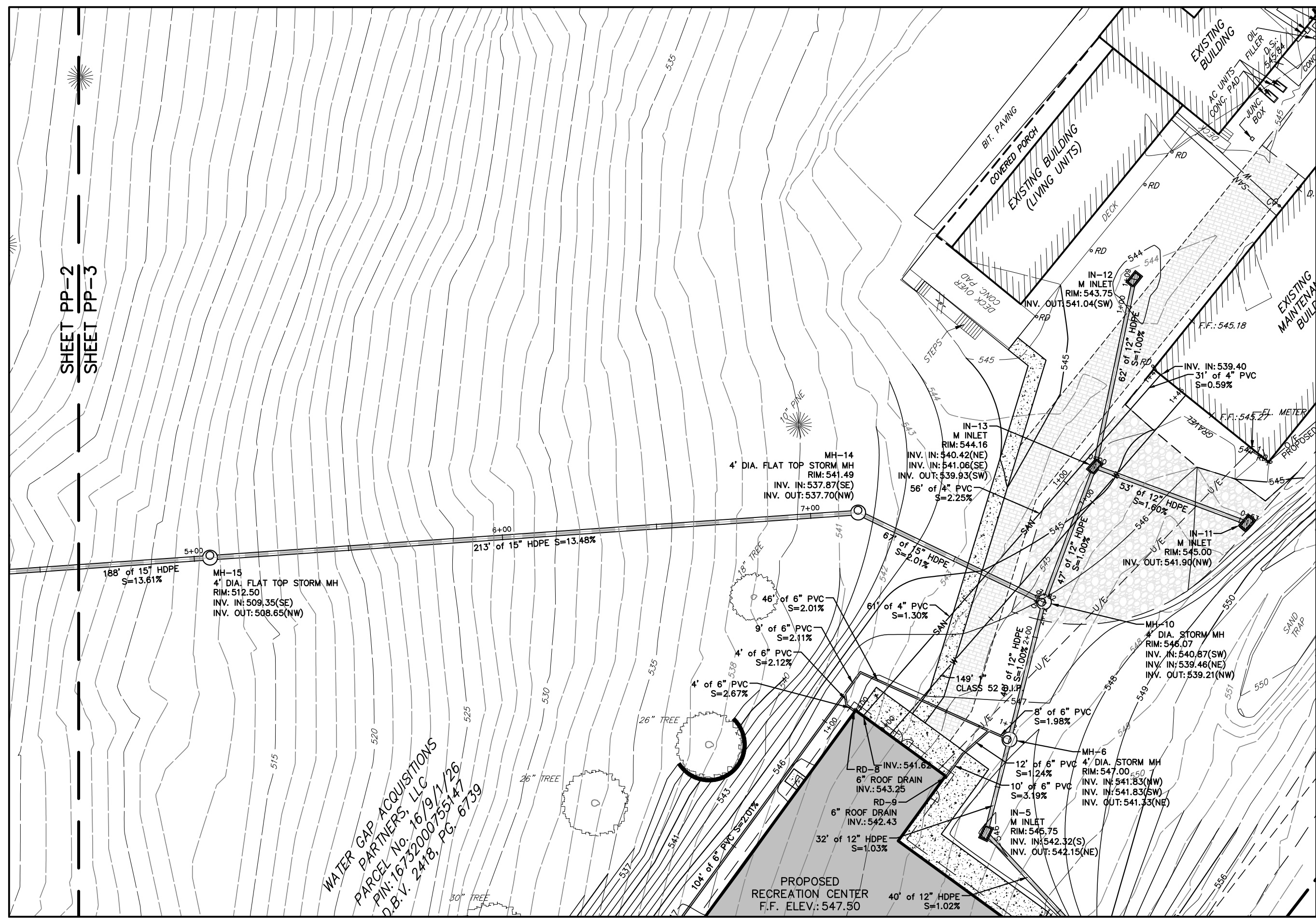
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DRAWN: TAL	APPRD: JPK
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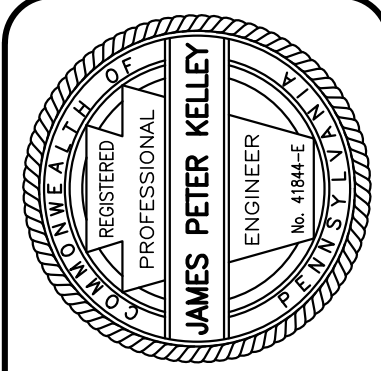
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PP-2





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WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

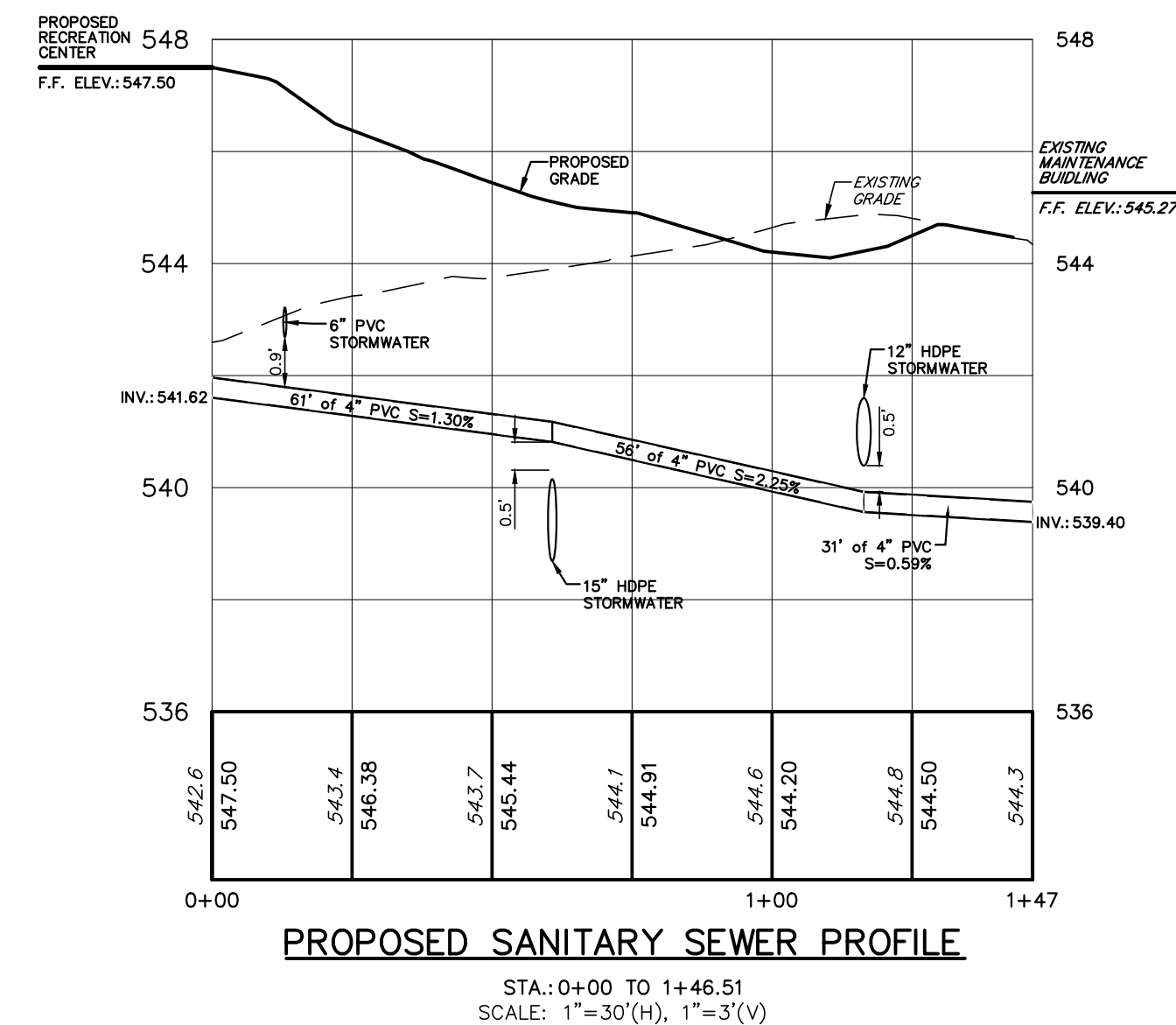
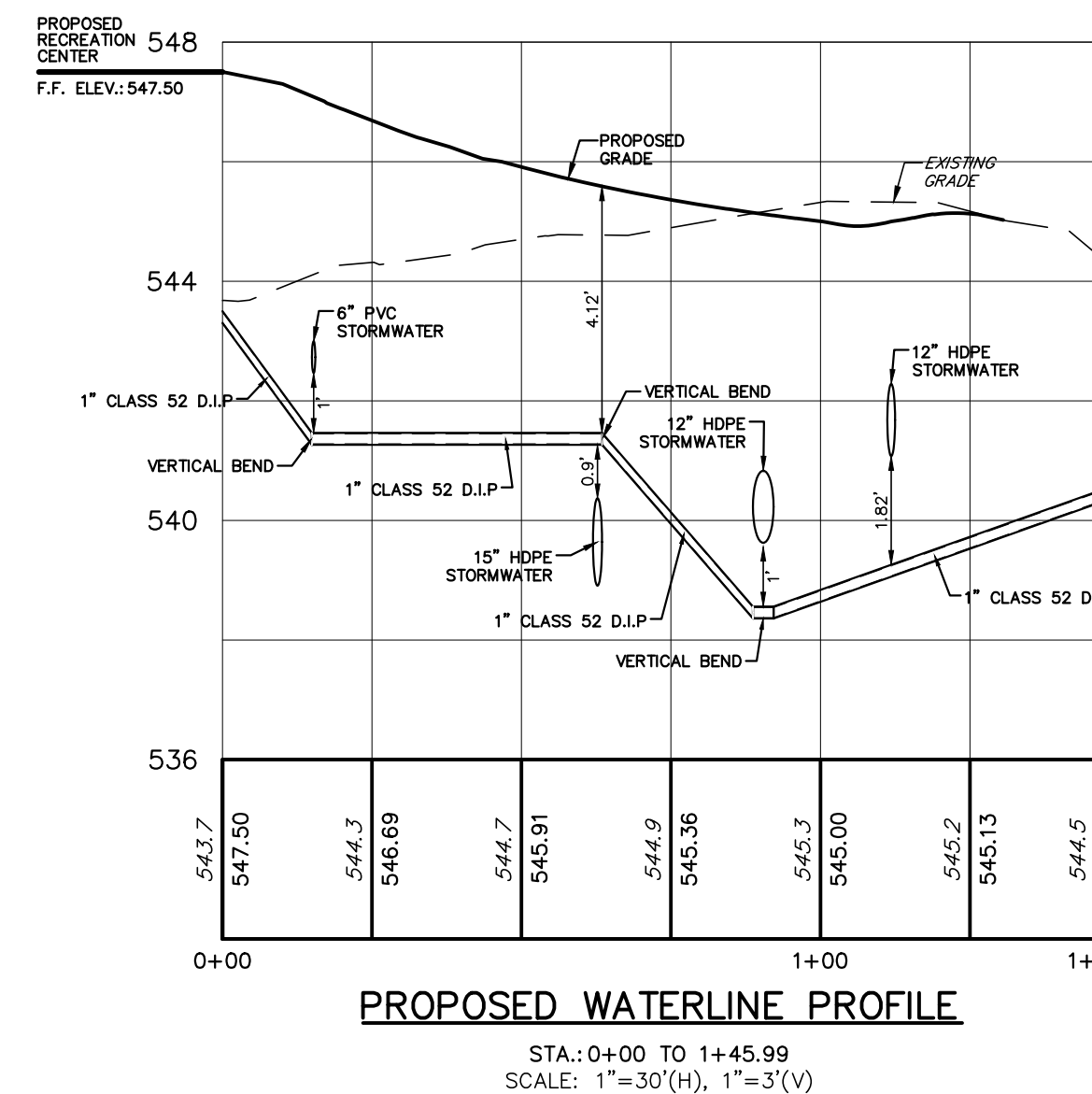
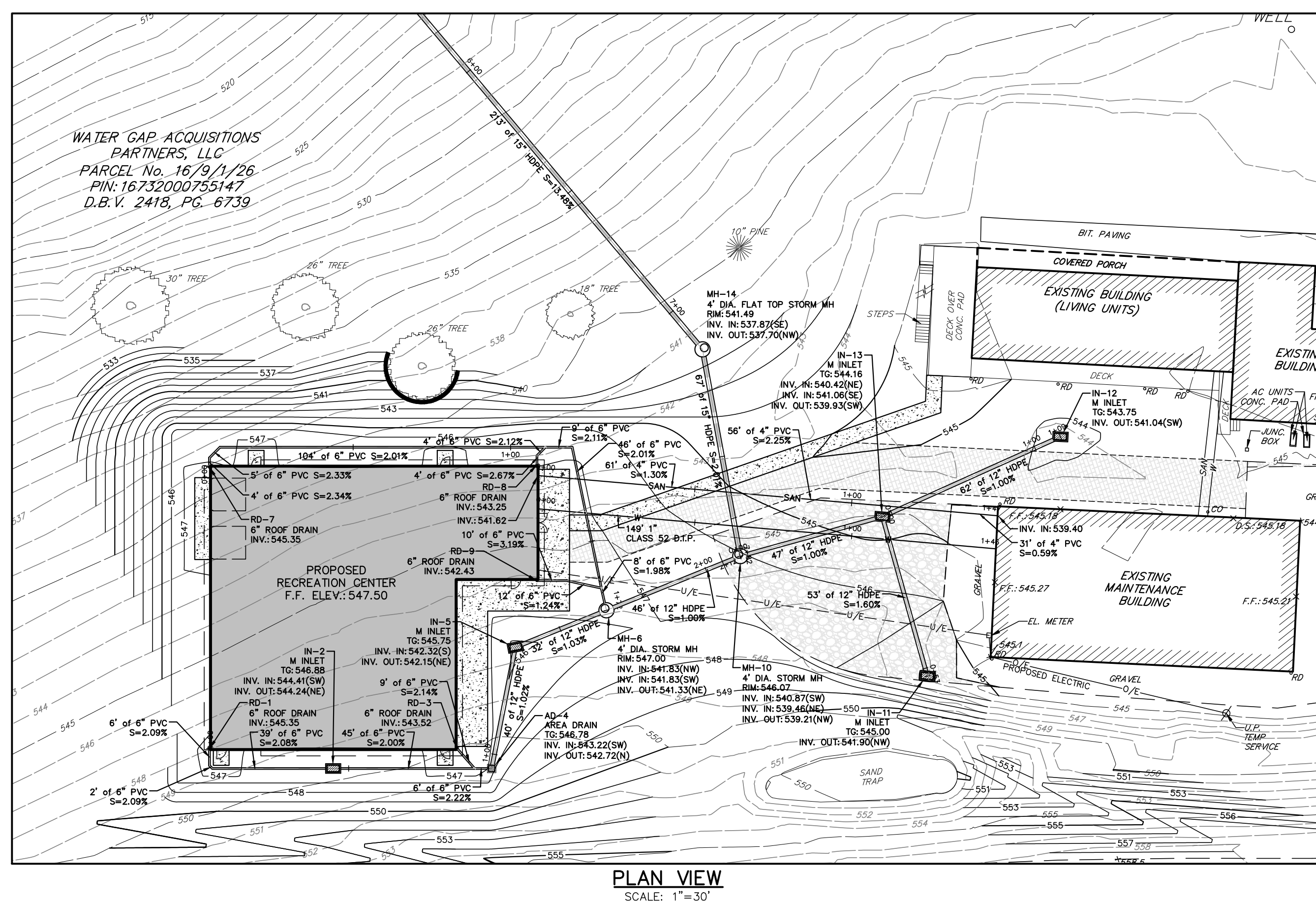
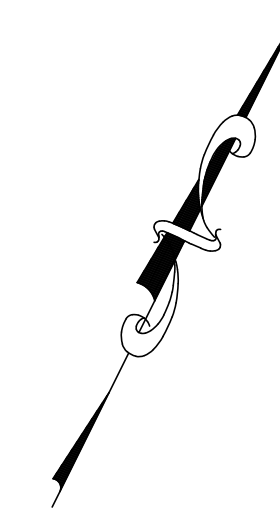
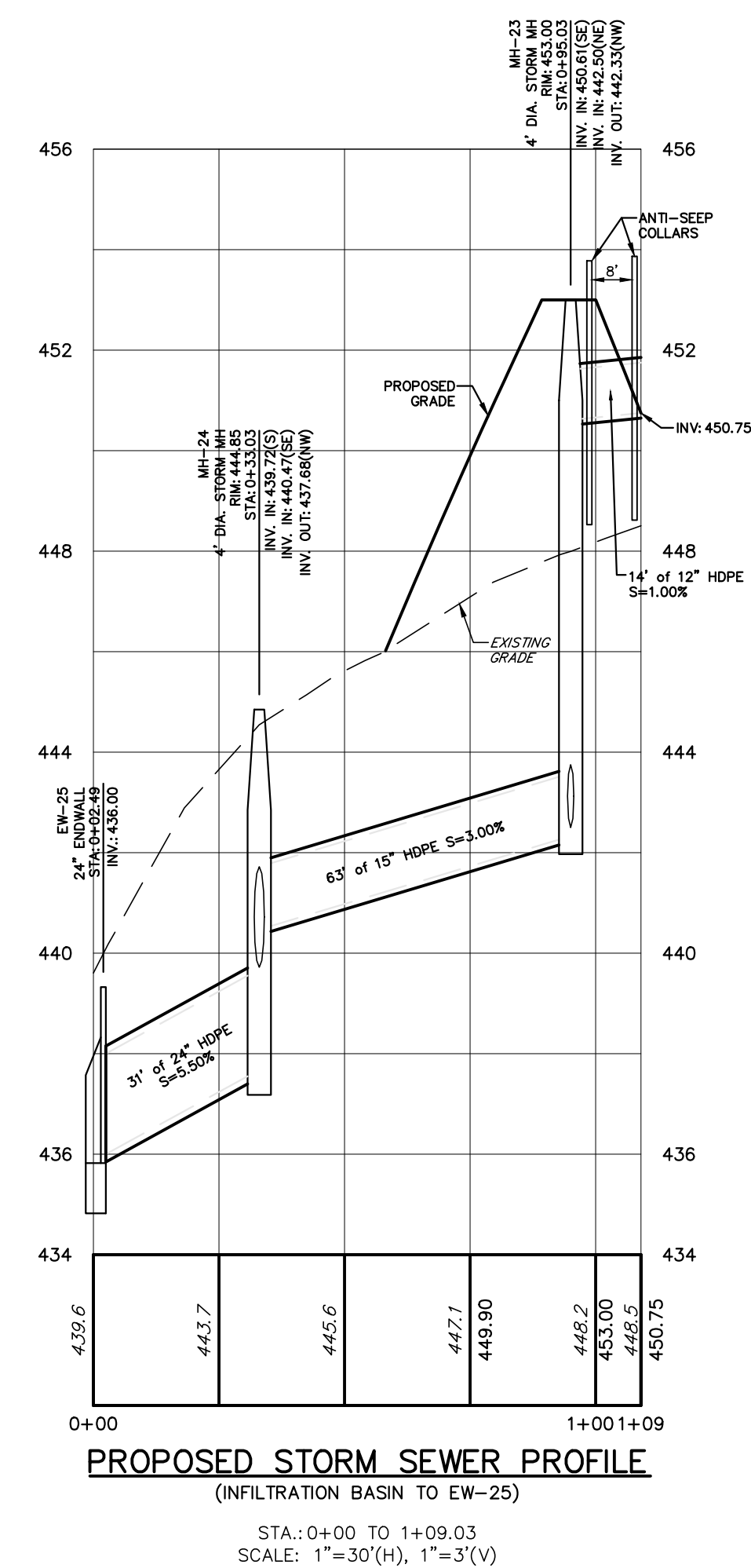
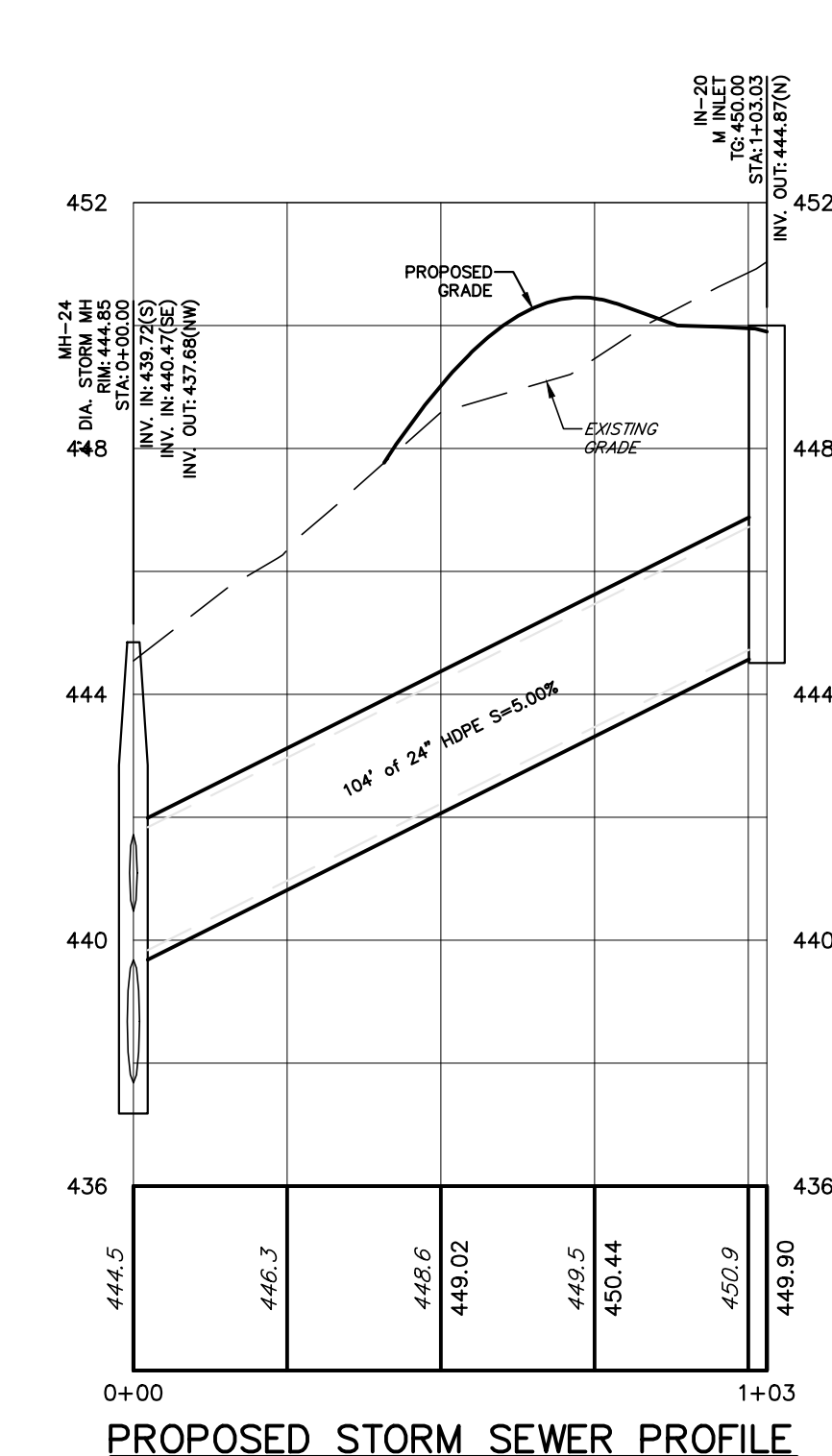
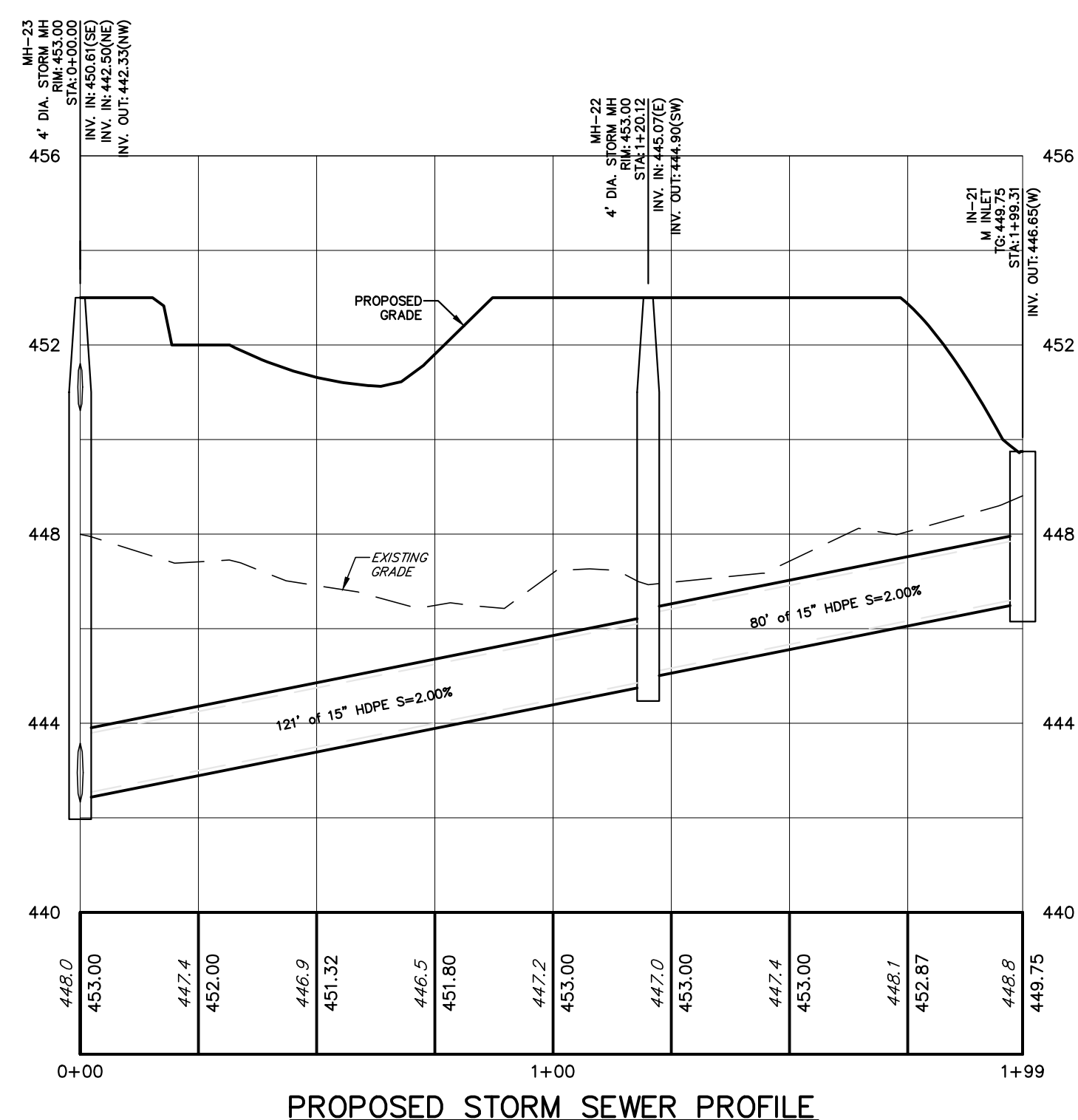
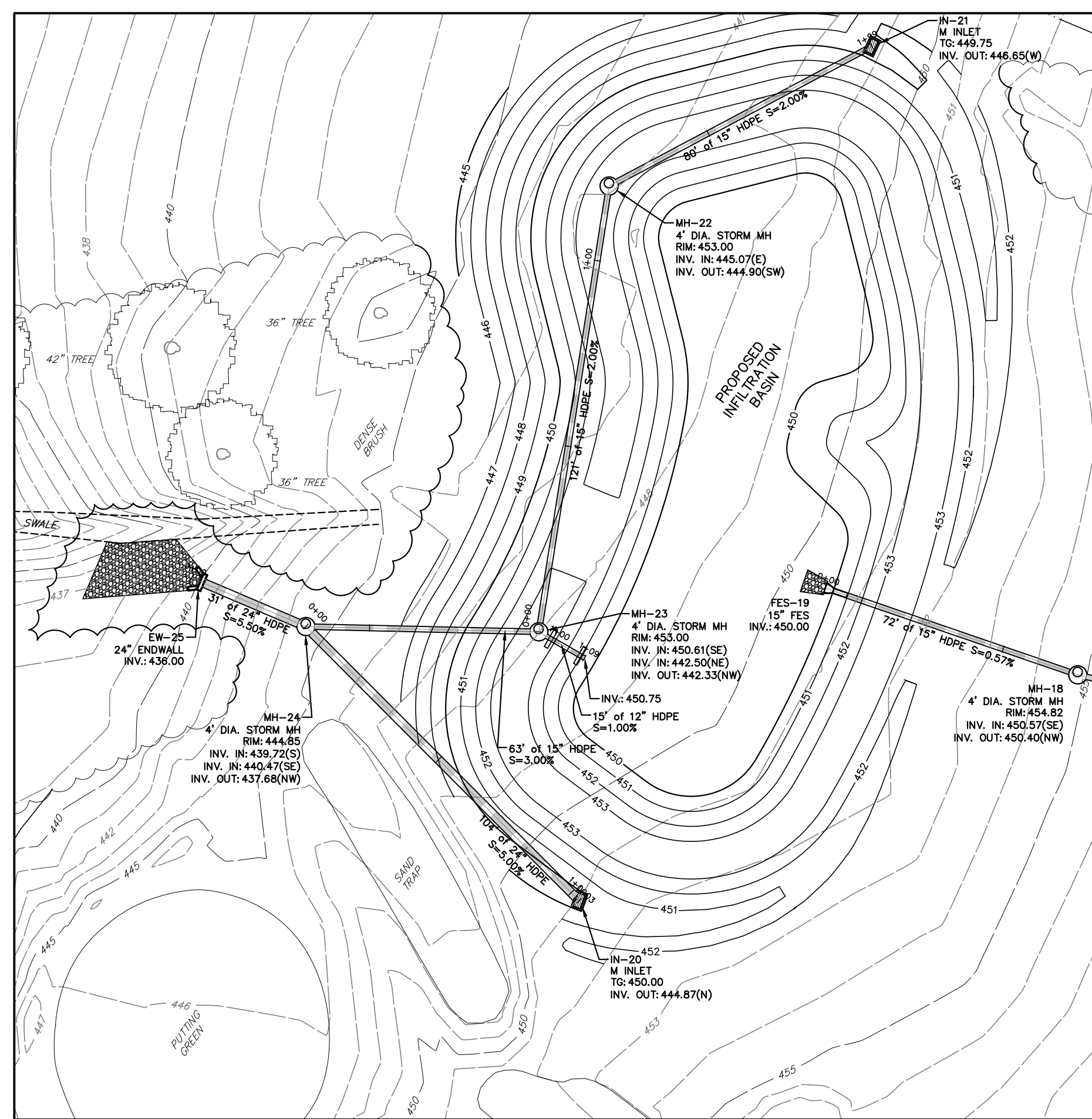
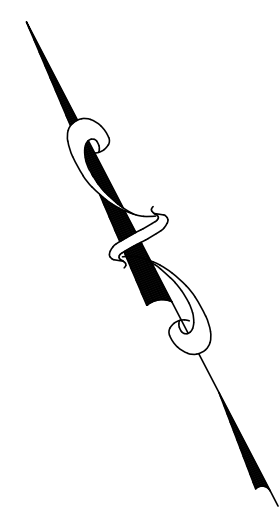
DATE: 8/28/2024	DSGN: TAL/DFG
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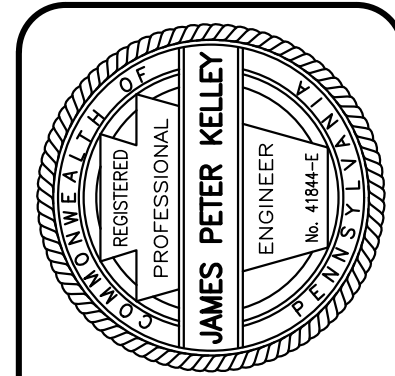
PP-3





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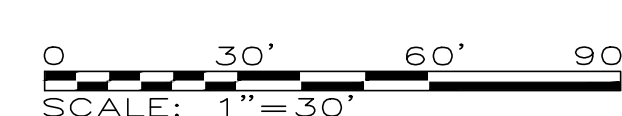
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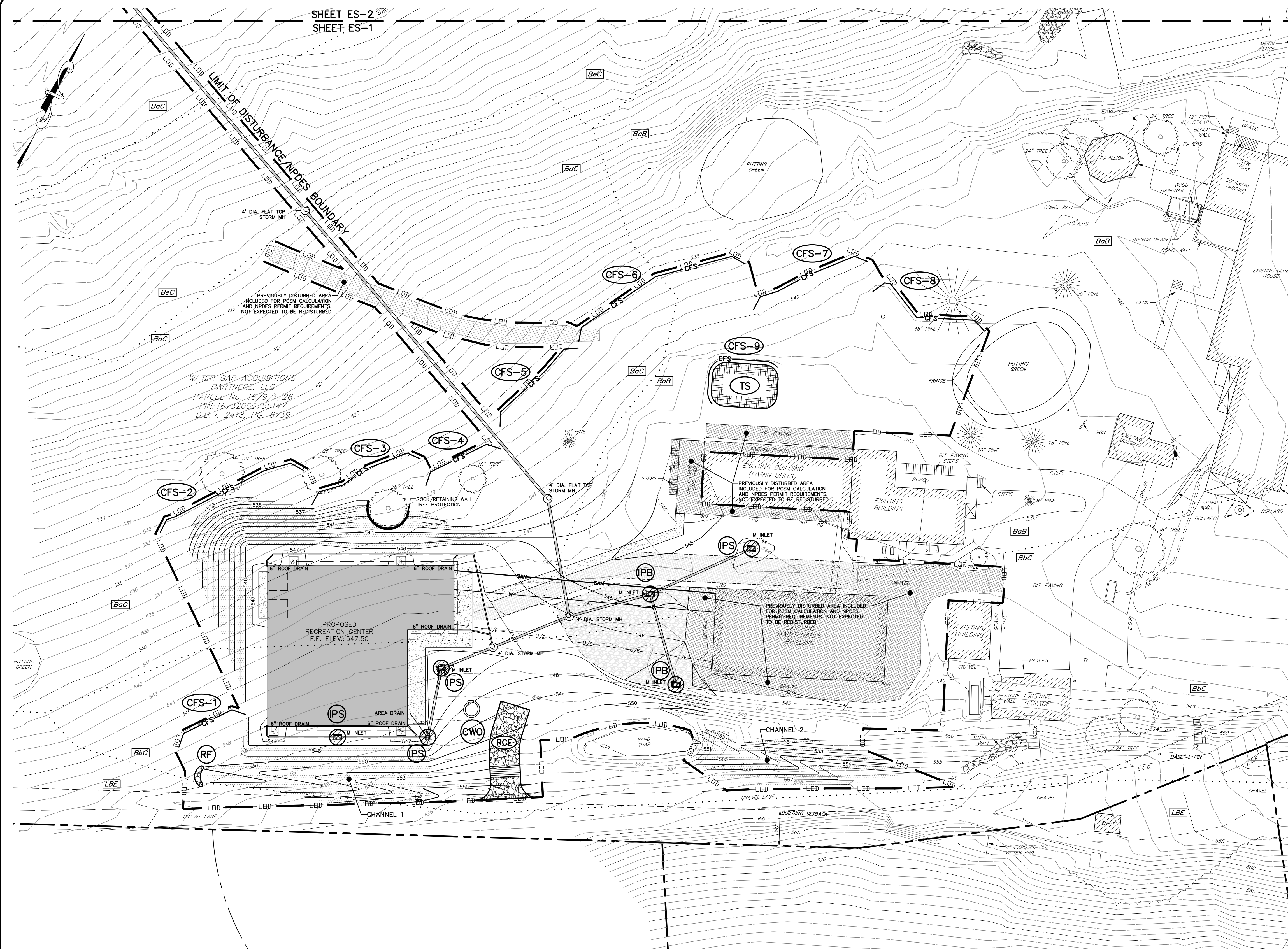


PLAN & PROFILES
WATER GAP WELLNESS RECREATION CENTER
WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

DATE: 8/28/2024	DSGN: TAL/DFG
SCALE: 1"=30'	CHK: CRS
DRAWN: TAL	APPRD: JPK
JOB: 1022419.004	P MGR: JPK
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PP-4

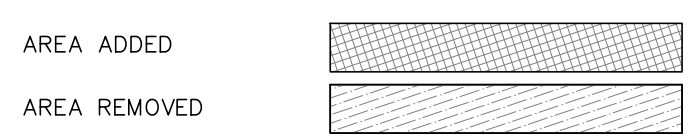




WATER GAP ACQUISITIONS
BARTNERS, LLC
PARCEL No. 16/9/1/26
PIN: 16732000755147
D.B.V. 2418, PG. 6739

PROPOSED RECREATION CENTER
F.F. ELEV.: 547.50

PREVIOUSLY DISTURBED AREAS
INCLUDED FOR PCSM CALCULATION AND NPDES PERMIT REQUIREMENTS, NOT EXPECTED TO BE REDISTURBED

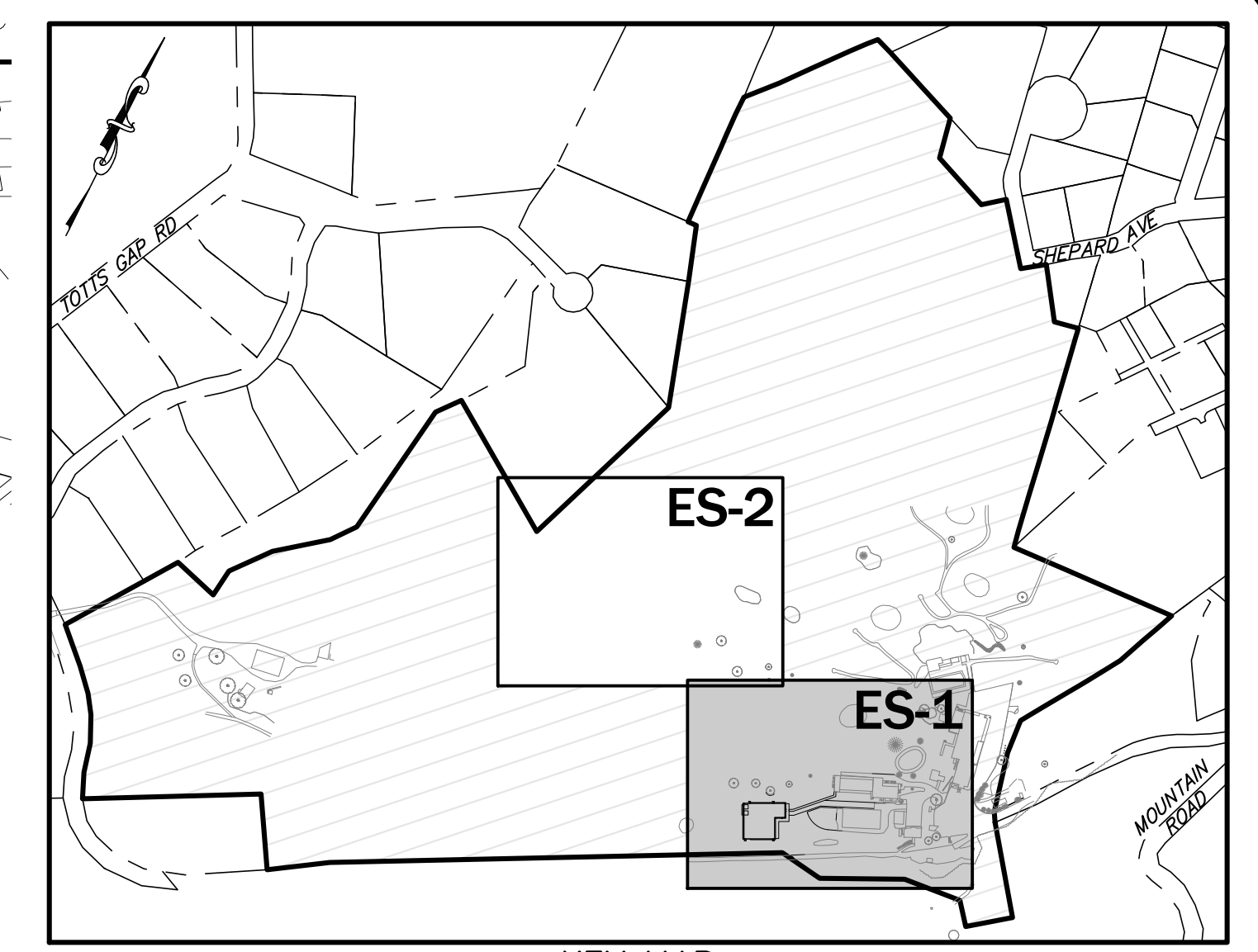


SOIL CLASSIFICATIONS

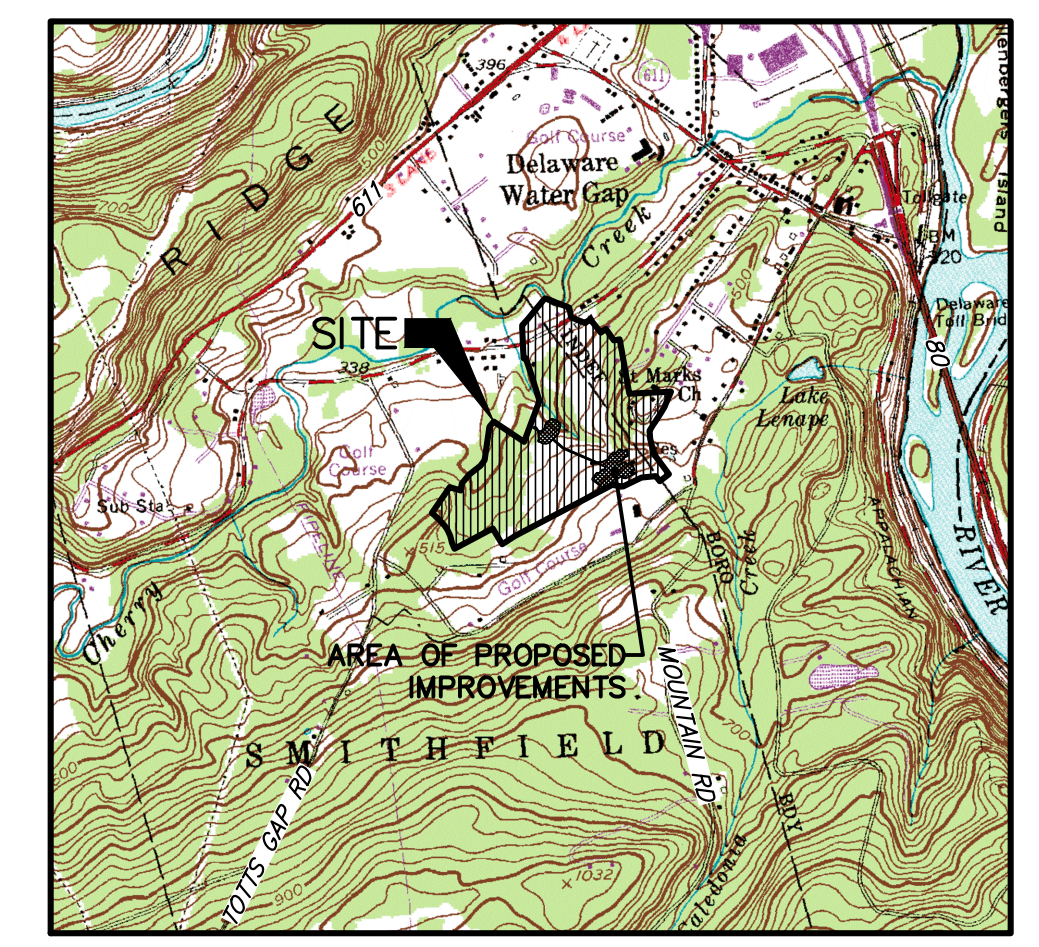
- BaB BATH CHANNERY SILT LOAM 3 TO 8 PERCENT SLOPES
- BaC BATH CHANNERY SILT LOAM 8 TO 15 PERCENT SLOPES
- BbB BATH CHANNERY SILT LOAM 0 TO 8 PERCENT SLOPES, EXTREMELY STONY
- BbC BATH CHANNERY SILT LOAM 8 TO 25 PERCENT SLOPES, EXTREMELY STONY
- BcC BENSON-ROCK OUTCROP COMPLEX 8 TO 25 PERCENT SLOPES
- CnB CHIPPEWA AND NORWICH SOIL 0 TO 8 PERCENT SLOPES, EXTREMELY STONY
- LbE LACKAWANNA AND BATH SOILS STEEP, RUBBLY
- MbB MARDIN VERY STONY SILT LOAM 0 TO 8 PERCENT SLOPES

ANY EXCESS OR UNSUITABLE MATERIAL SHALL BE TAKEN OFFSITE TO A LOCATION WITH AN APPROVED AND VALID NPDES PERMIT AND EROSION & SEDIMENTATION CONTROL PLAN. IMPORTED FILL SHALL ONLY BE RECEIVED FROM A LOCATION WITH AN APPROVED AND VALID NPDES PERMIT AND EROSION & SEDIMENTATION CONTROL PLAN. ANY EXCESS MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL AND MUST BE MANAGED IN ACCORDANCE WITH DEP MUNICIPAL OR RESIDUAL USAGE REGULATIONS. REFERENCE THE CLEAN FILL NOTES ON THE EROSION AND SEDIMENT CONTROL DETAIL SHEET FOR ADDITIONAL INFORMATION.

LIMIT OF DISTURBANCE: 3.22 ACRES
NPDES BOUNDARY: 3.22 ACRES
RECEIVING WATERS UNIT TO CHERRY CREEK - CWF, MF IMPAIRED FOR PATHOGENS
STABILIZE ALL DISTURBED SLOPES 3:1 OR STEEPER AND ALL DISTURBED AREAS WITHIN 50' OF A WATERCOURSE WITH NAG S75 MATTING OR EQUIVALENT
TOPSOIL SHALL BE PLACED ACROSS THE LAWN AND LANDSCAPE AREAS AT A MINIMUM THICKNESS OF 4 INCHES
REFER TO SHEETS ESD-1 & ESD-2 FOR EROSION & SEDIMENT CONTROL NOTES & DETAILS



KEY MAP
SCALE: 1"=400'

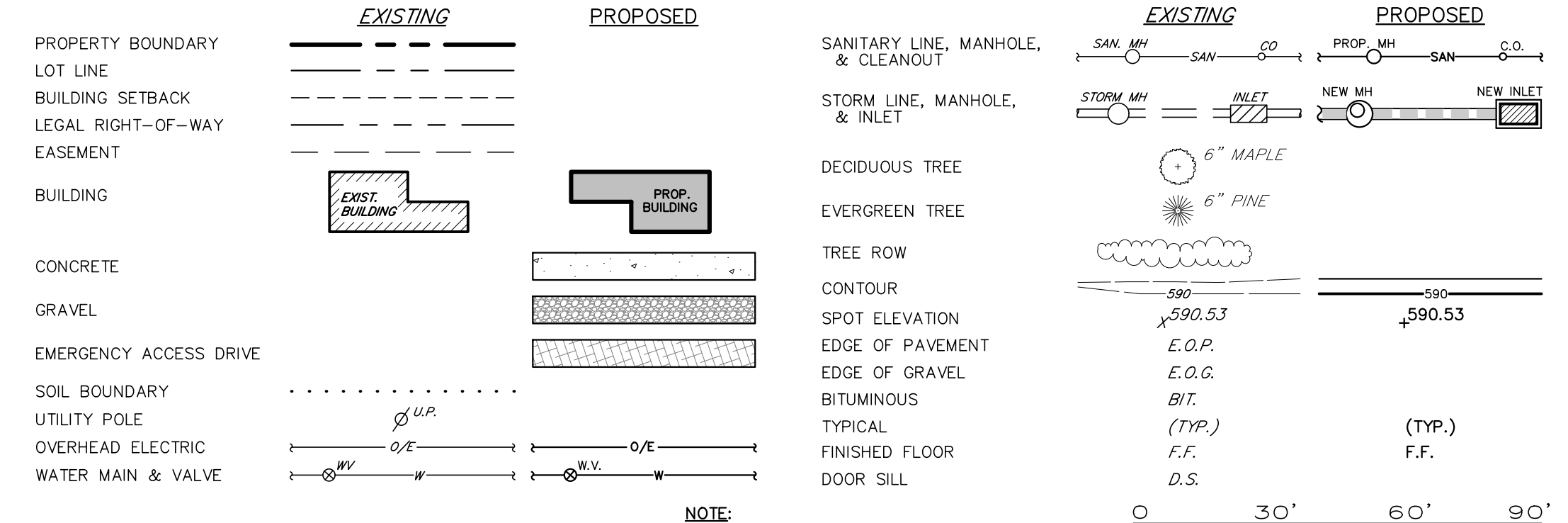


LOCATION MAP
USGS: STROUDSBURG QUADRANGLE
SCALE: 1"=2000'

EROSION & SEDIMENT CONTROL MEASURES LEGEND
(SEE E&S DOCUMENT FOR DESCRIPTIONS AND USES)

- COMPOST FILTER SOCK (CFS-#) cfs
- ORANGE CONSTRUCTION FENCE
- RIP-RAP OUTLET PROTECTION (OP-1)
- INLET PROTECTION-STONE BERM (IPS)
- INLET PROTECTION-FILTER BAG (IPB)
- ROCK FILTER (RF)
- CONCRETE WASHOUT (CWO)
- ROCK CONSTRUCTION ENTRANCE WITH WASH RACK (RCE)
- TOPSOIL STOCKPILE (TS)
- LIMIT OF DISTURBANCE & NPDES BOUNDARY
- NAG S75 EROSION CONTROL MATTING

LEGEND



NOTE: VERTICAL TEXT INDICATES PROPOSED FEATURES
SLANTED TEXT INDICATES EXISTING FEATURES



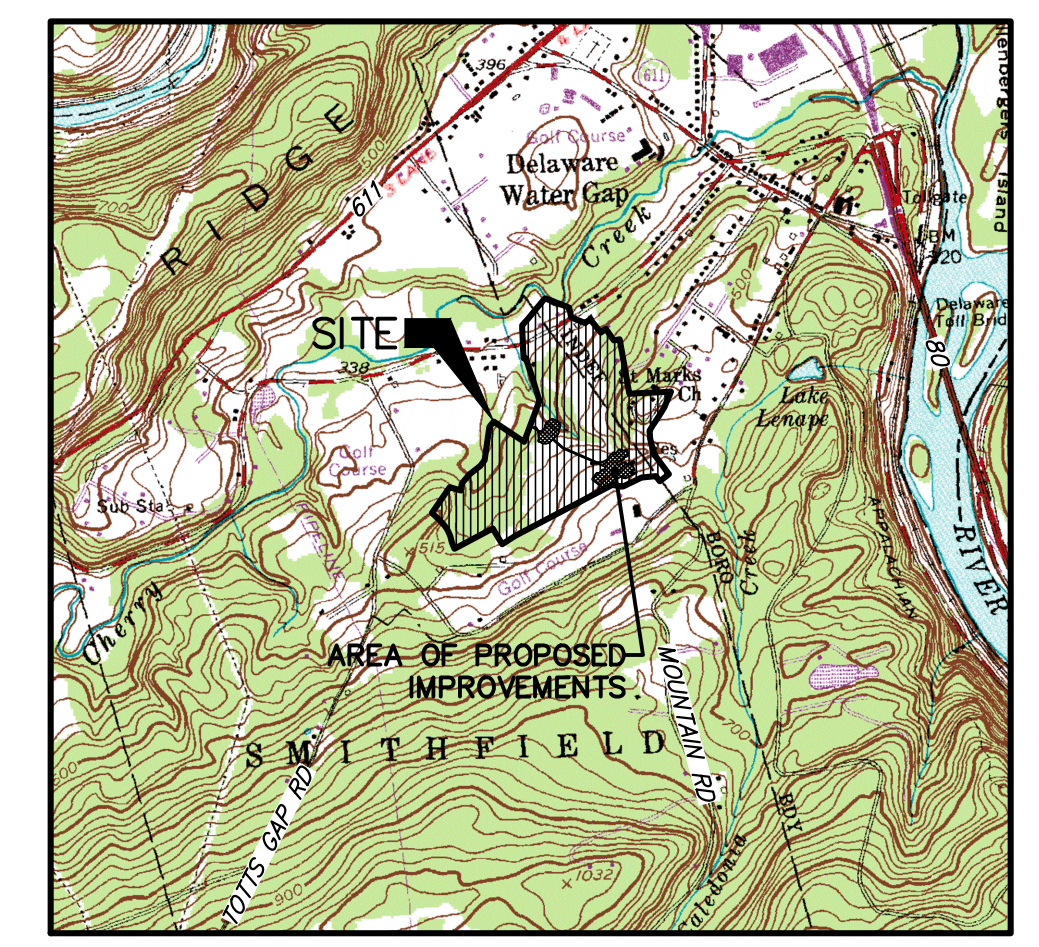
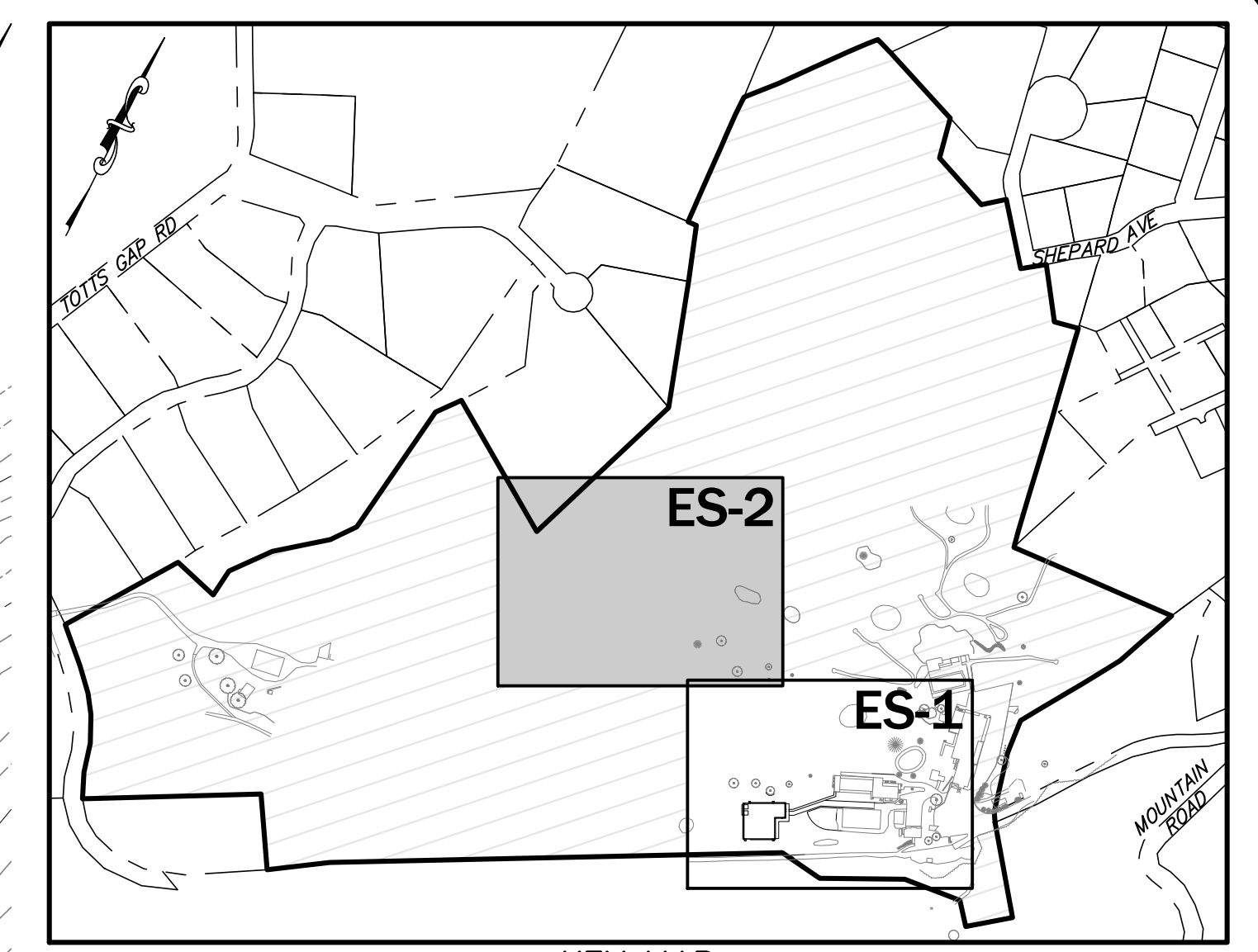
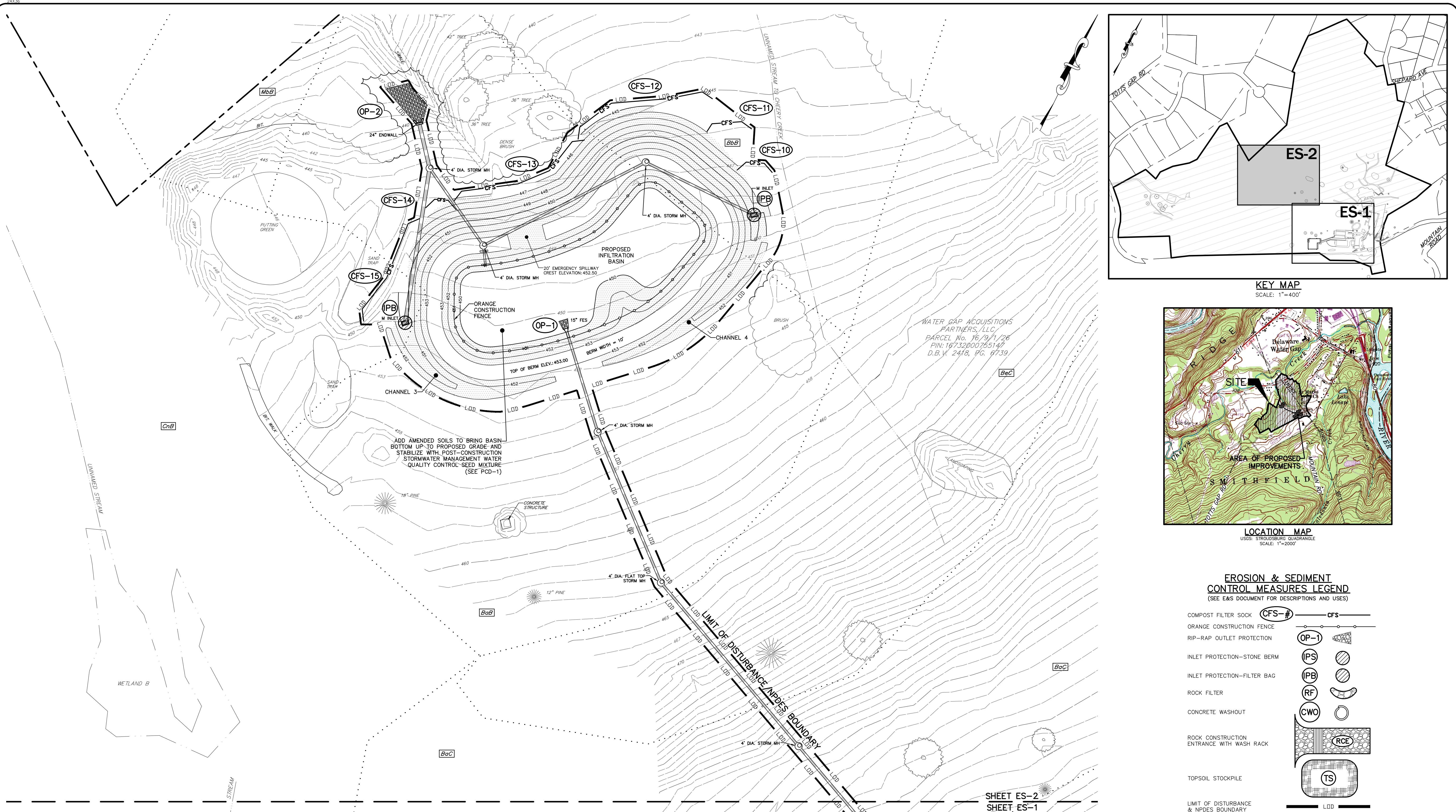
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BARRY BISSETT & Associates
MULTIDISCIPLINARY ENGINEERS AND CONSULTANTS

EROSION & SEDIMENT CONTROL PLAN
WATER GAP WELLNESS RECREATION PARTNERS, LLC
WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

Table with 4 columns: DATE, DSGN, SCALE, CHK, DRAWN, APPRD, JOB, P MGR, COPYRIGHT



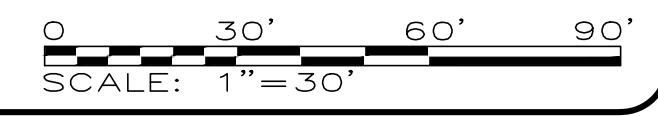
EROSION & SEDIMENT CONTROL MEASURES LEGEND
(SEE E&S DOCUMENT FOR DESCRIPTIONS AND USES)

- COMPOST FILTER SOCK (CFS-#) — cfs
- ORANGE CONSTRUCTION FENCE — OP-1
- RIP-RAP OUTLET PROTECTION — IPS
- INLET PROTECTION—STONE BERM — IPB
- INLET PROTECTION—FILTER BAG — RF
- ROCK FILTER — CWO
- CONCRETE WASHOUT — RCE
- ROCK CONSTRUCTION ENTRANCE WITH WASH RACK — RCE
- TOPSOIL STOCKPILE — TS
- LIMIT OF DISTURBANCE & NPDES BOUNDARY — LOD
- NAG S75 EROSION CONTROL MATTING — [Symbol]

LEGEND

- | | | | | | |
|------------------------|----------|----------|------------------------------------|----------|----------|
| PROPERTY BOUNDARY | EXISTING | PROPOSED | SANITARY LINE, MANHOLE, & CLEANOUT | EXISTING | PROPOSED |
| LOT LINE | --- | --- | LOT LINE | --- | --- |
| BUILDING SETBACK | --- | --- | STORM LINE, MANHOLE, & INLET | --- | --- |
| LEGAL RIGHT-OF-WAY | --- | --- | DECIDUOUS TREE | 6" MAPLE | |
| EASEMENT | --- | --- | EVERGREEN TREE | 6" PINE | |
| BUILDING | [Symbol] | [Symbol] | TREE ROW | [Symbol] | |
| CONCRETE | [Symbol] | [Symbol] | CONTOUR | 590 | 590 |
| GRAVEL | [Symbol] | [Symbol] | SPOT ELEVATION | 590.53 | 590.53 |
| EMERGENCY ACCESS DRIVE | [Symbol] | [Symbol] | EDGE OF PAVEMENT | E.O.P. | |
| SOIL BOUNDARY | [Symbol] | [Symbol] | EDGE OF GRAVEL | E.O.G. | |
| UTILITY POLE | [Symbol] | [Symbol] | BITUMINOUS | BIT. | |
| OVERHEAD ELECTRIC | [Symbol] | [Symbol] | TYPICAL | (TYP.) | (TYP.) |
| WATER MAIN & VALVE | [Symbol] | [Symbol] | FINISHED FLOOR | F.F. | F.F. |
| | | | DOOR SILL | D.S. | |

NOTE: VERTICAL TEXT INDICATES PROPOSED FEATURES
SLANTED TEXT INDICATES EXISTING FEATURES

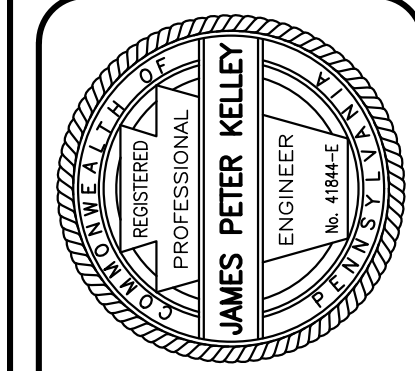


- SOIL CLASSIFICATIONS**
- BaB1 BATH CHANNERY SILT LOAM 3 TO 8 PERCENT SLOPES
 - BaB2 BATH CHANNERY SILT LOAM 8 TO 15 PERCENT SLOPES
 - BaB3 BATH CHANNERY SILT LOAM 0 TO 8 PERCENT SLOPES, EXTREMELY STONY
 - BaB4 BATH CHANNERY SILT LOAM 8 TO 25 PERCENT SLOPES, EXTREMELY STONY
 - BaB5 BENSON-ROCK OUTCROP COMPLEX 8 TO 25 PERCENT SLOPES
 - CnB1 CHIPPEWA AND NORWICH SOIL 0 TO 8 PERCENT SLOPES, EXTREMELY STONY
 - LbC1 LACKAWANNA AND BATH SOILS STEEP, RUBBLY
 - MdB1 MARDIN VERY STONY SILT LOAM 0 TO 8 PERCENT SLOPES

ANY EXCESS OR UNSUITABLE MATERIAL SHALL BE TAKEN OFFSITE TO A LOCATION WITH AN APPROVED AND VALID NPDES PERMIT AND EROSION & SEDIMENTATION CONTROL PLAN. IMPORTED FILL SHALL ONLY BE RECEIVED FROM A LOCATION WITH AN APPROVED AND VALID NPDES PERMIT AND EROSION & SEDIMENTATION CONTROL PLAN. CONTRACTOR IS RESPONSIBLE FOR INSURING THAT THE SITE OF ALL IMPORT/EXPORT HAS AN APPROVED AND VALID NPDES PERMIT AND EROSION & SEDIMENTATION CONTROL PLAN. ANY EXCESS MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL AND MUST BE MANAGED IN ACCORDANCE WITH DEP MUNICIPAL OR RESIDUAL USAGE REGULATIONS. REFERENCE THE CLEAN FILL NOTES ON THE EROSION AND SEDIMENT CONTROL DETAIL SHEET FOR ADDITIONAL INFORMATION.

- LIMIT OF DISTURBANCE: 3.22 ACRES
- NPDES BOUNDARY: 3.22 ACRES
- RECEIVING WATERS UNIT TO CHERRY CREEK - CWF, MF IMPAIRED FOR PATHOGENS
- STABILIZE ALL DISTURBED SLOPES 3:1 OR STEEPER AND ALL DISTURBED AREAS WITHIN 50' OF A WATERCOURSE WITH NAG S75 MATTING OR EQUIVALENT
- TOPSOIL SHALL BE PLACED ACROSS THE LAWN AND LANDSCAPE AREAS AT A MINIMUM THICKNESS OF 4 INCHES
- REFER TO SHEETS ESD-1 & ESD-2 FOR EROSION & SEDIMENT CONTROL NOTES & DETAILS

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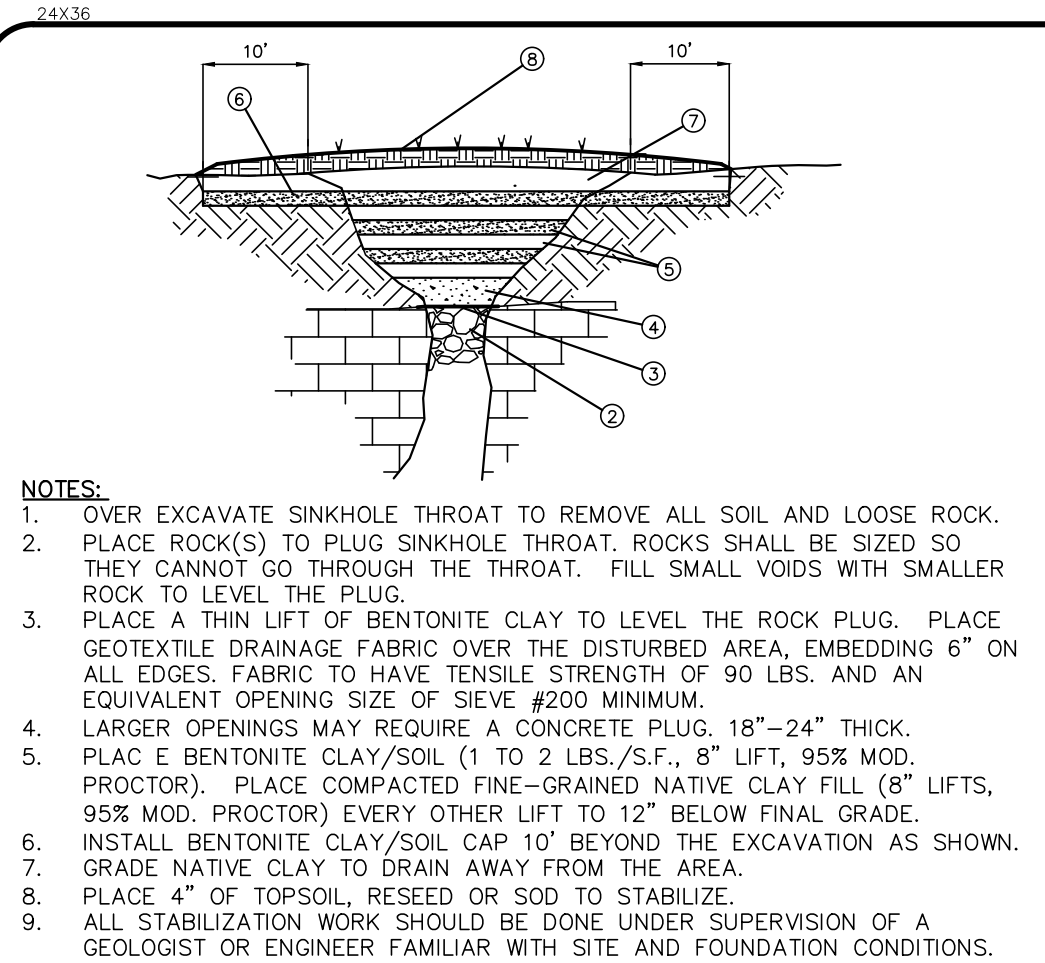


EROSION & SEDIMENT CONTROL PLAN
WATER GAP WELLNESS RECREATION CENTER
WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

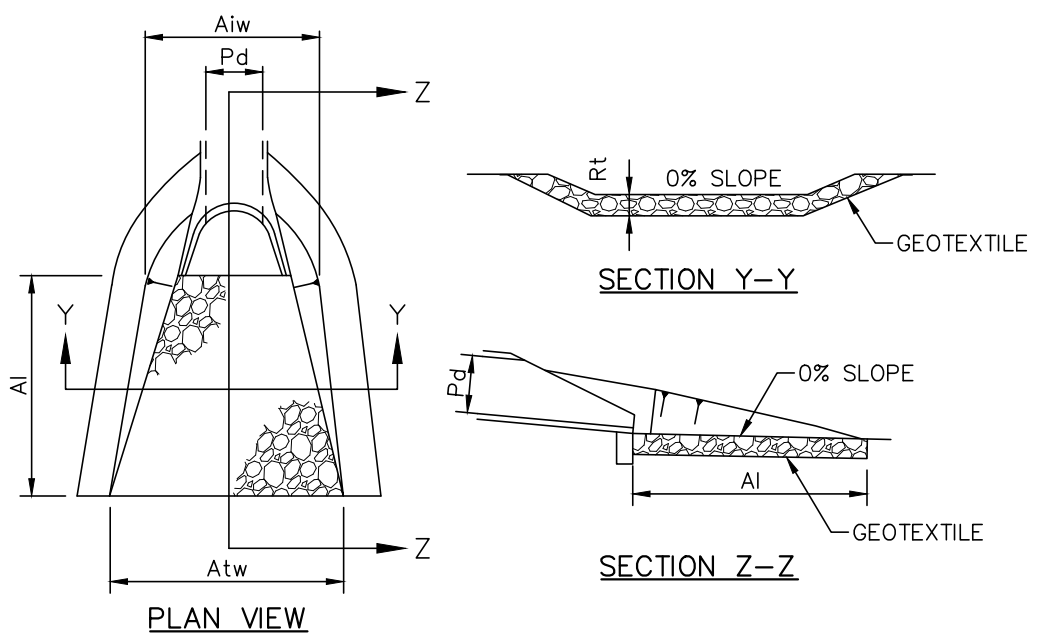
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DRAWN: TAL	APPD: JPK
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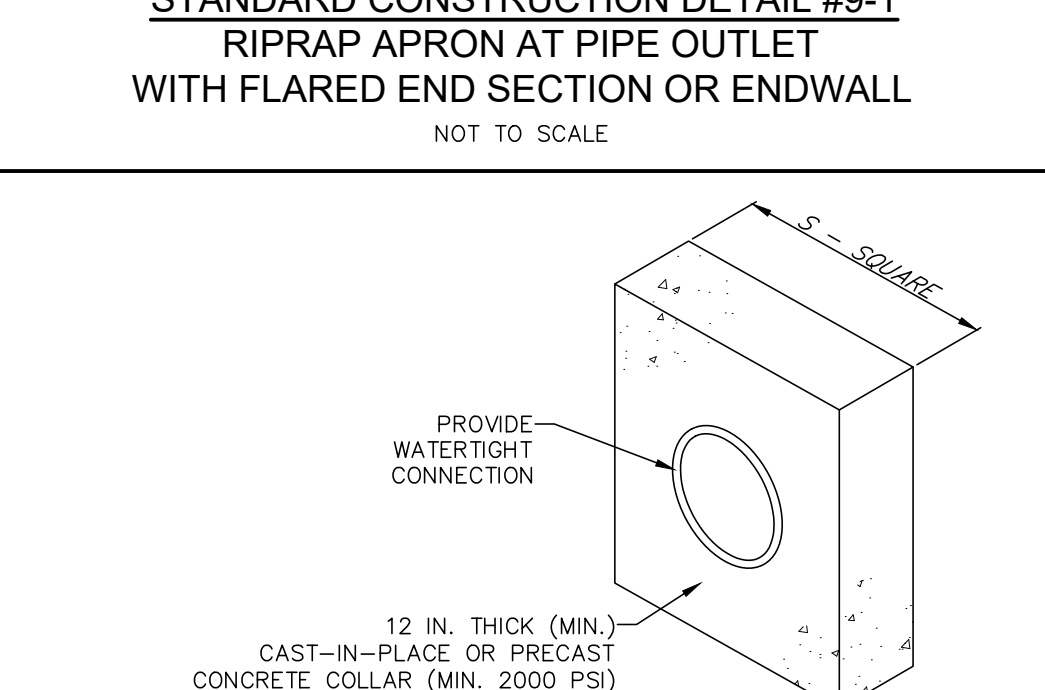


SINKHOLE MITIGATION DETAIL
NOT TO SCALE



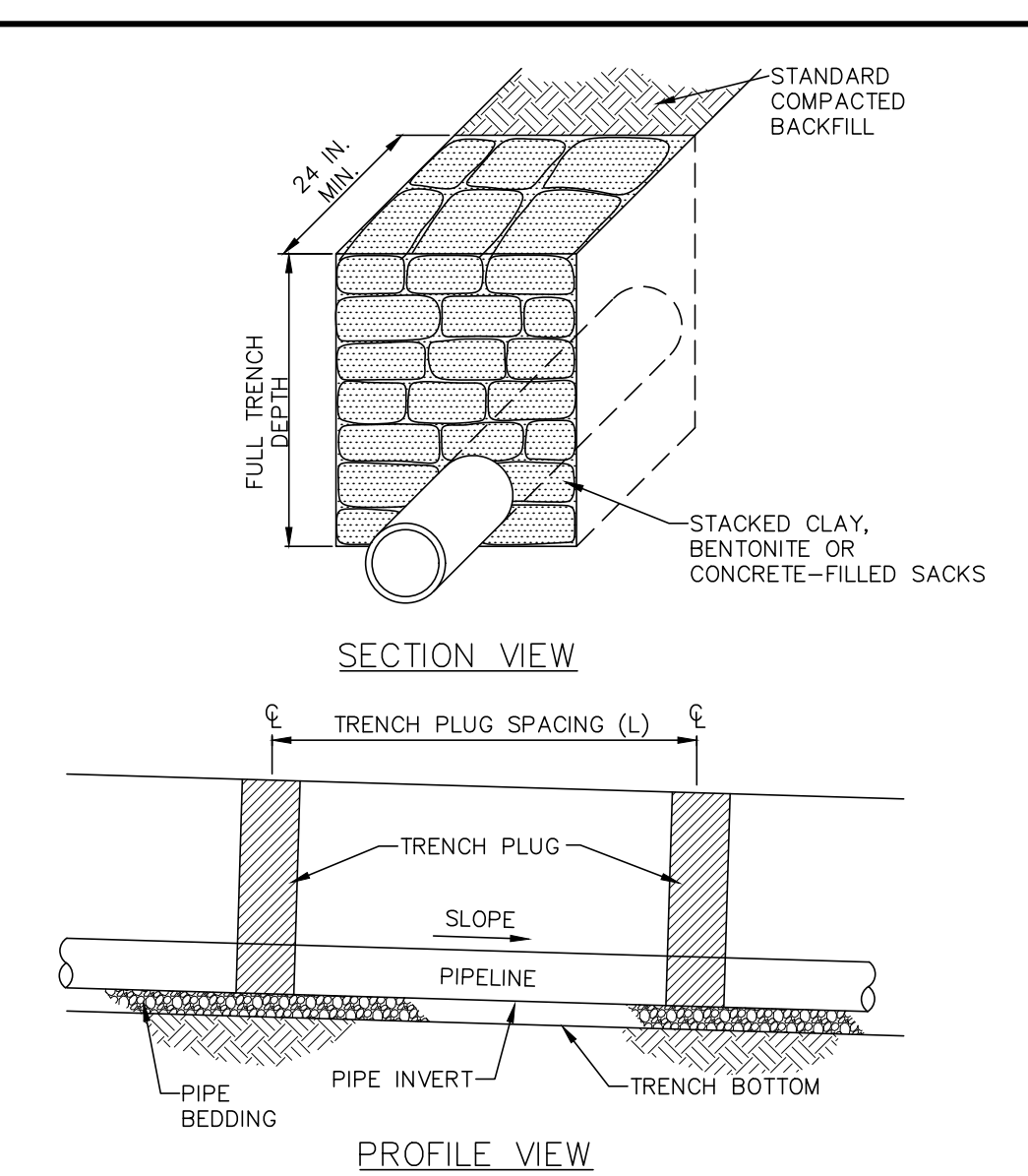
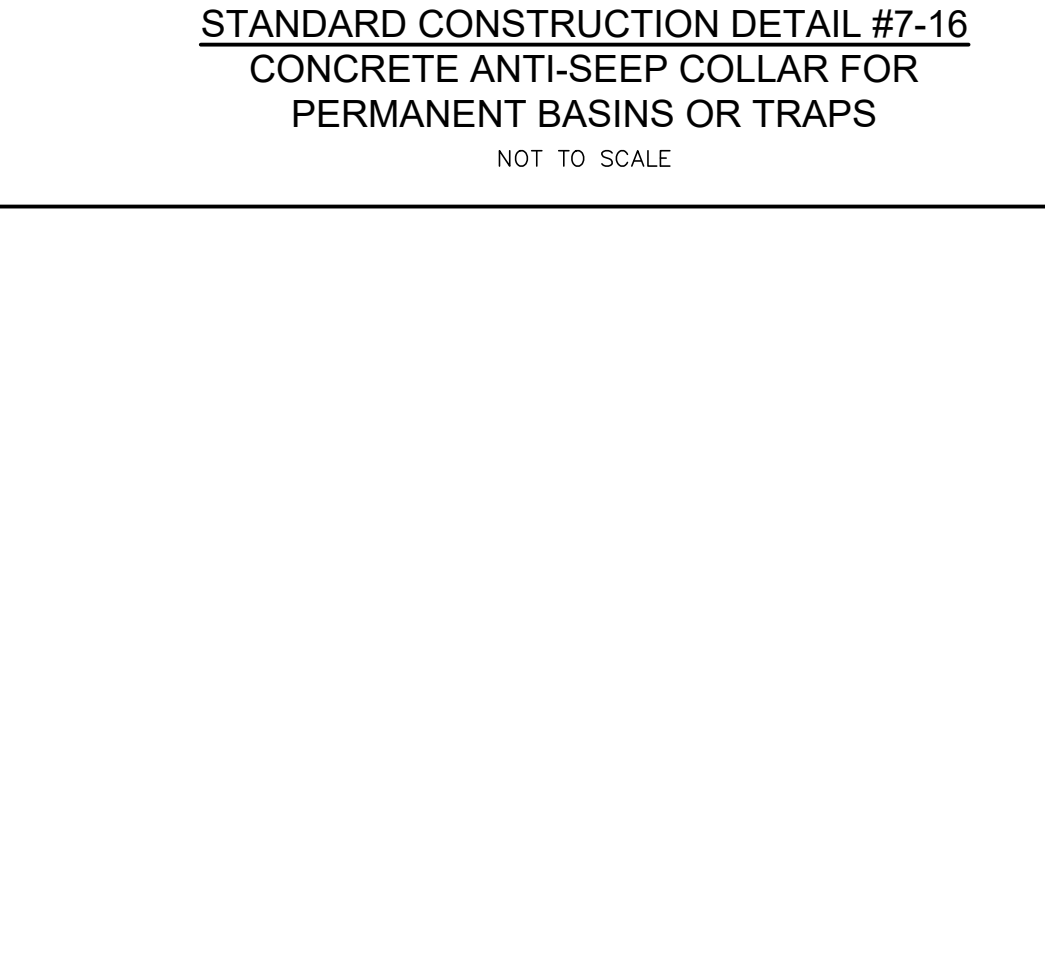
OUTLET NO.	PIPE DIA (IN)	RIPRAP SIZE (IN)	RIPRAP THICK (IN)	APRON LENGTH (FT)	INITIAL WIDTH (FT)	TERMINAL WIDTH (FT)
DP-1	15	3	9	6	3.8	6.15
DP-2	24	7	45	27	6.0	33

STANDARD CONSTRUCTION DETAIL #9-1
RIPRAP APRON AT PIPE OUTLET WITH FLARED END SECTION OR ENDWALL
NOT TO SCALE



COLLAR NO.	PIPE SIZE (IN)	S (IN)	NO. OF COLLARS	RISER TO FIRST COLLAR (FT)	COLLAR SPACING (FT)
INFILTRATION BASIN	12	63	2	5	8

STANDARD CONSTRUCTION DETAIL #7-16
CONCRETE ANTI-SEEP COLLAR FOR PERMANENT BASINS OR TRAPS
NOT TO SCALE



STANDARD CONSTRUCTION DETAIL #13-4
TRENCH PLUG INSTALLATION
NOT TO SCALE

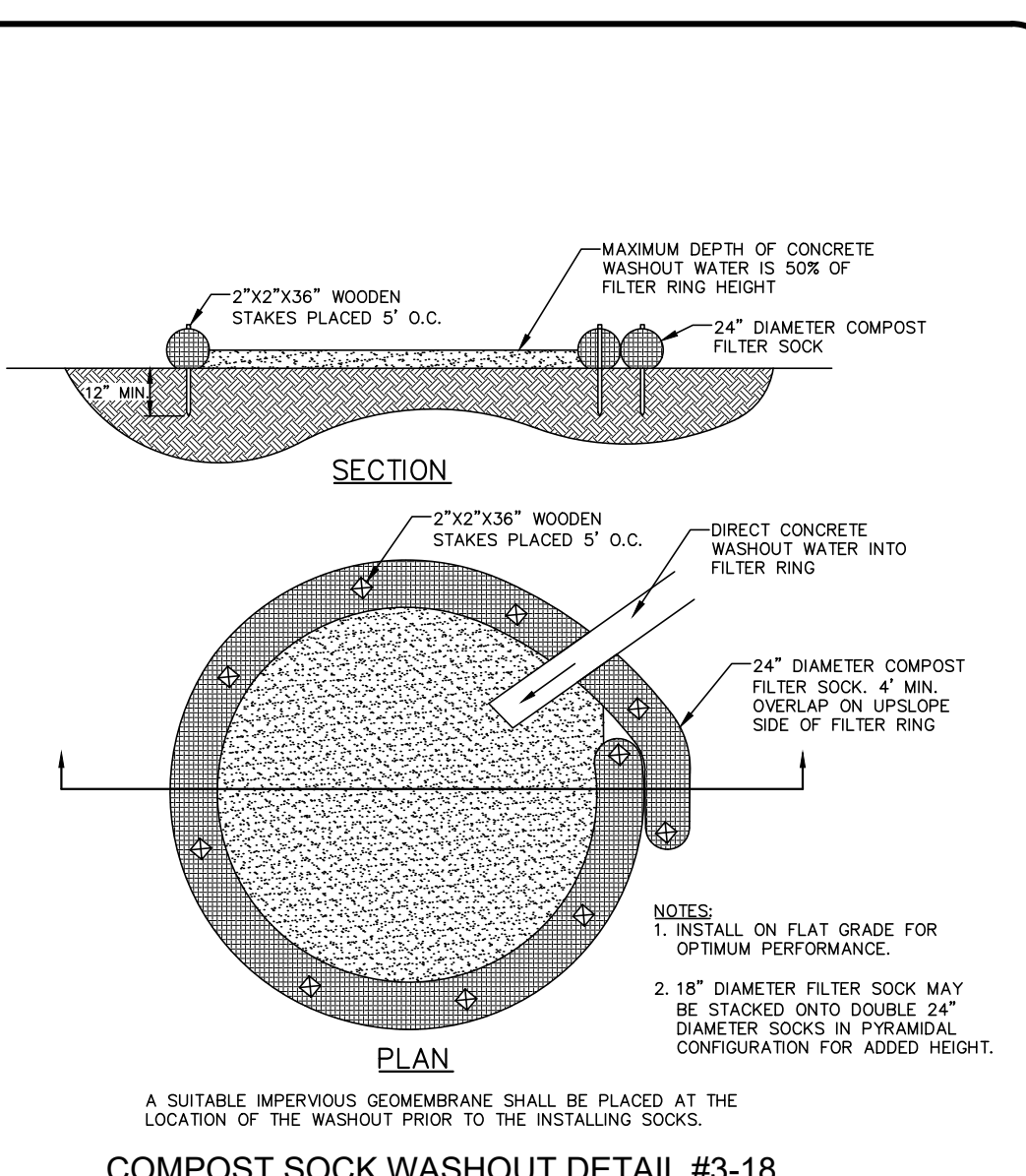
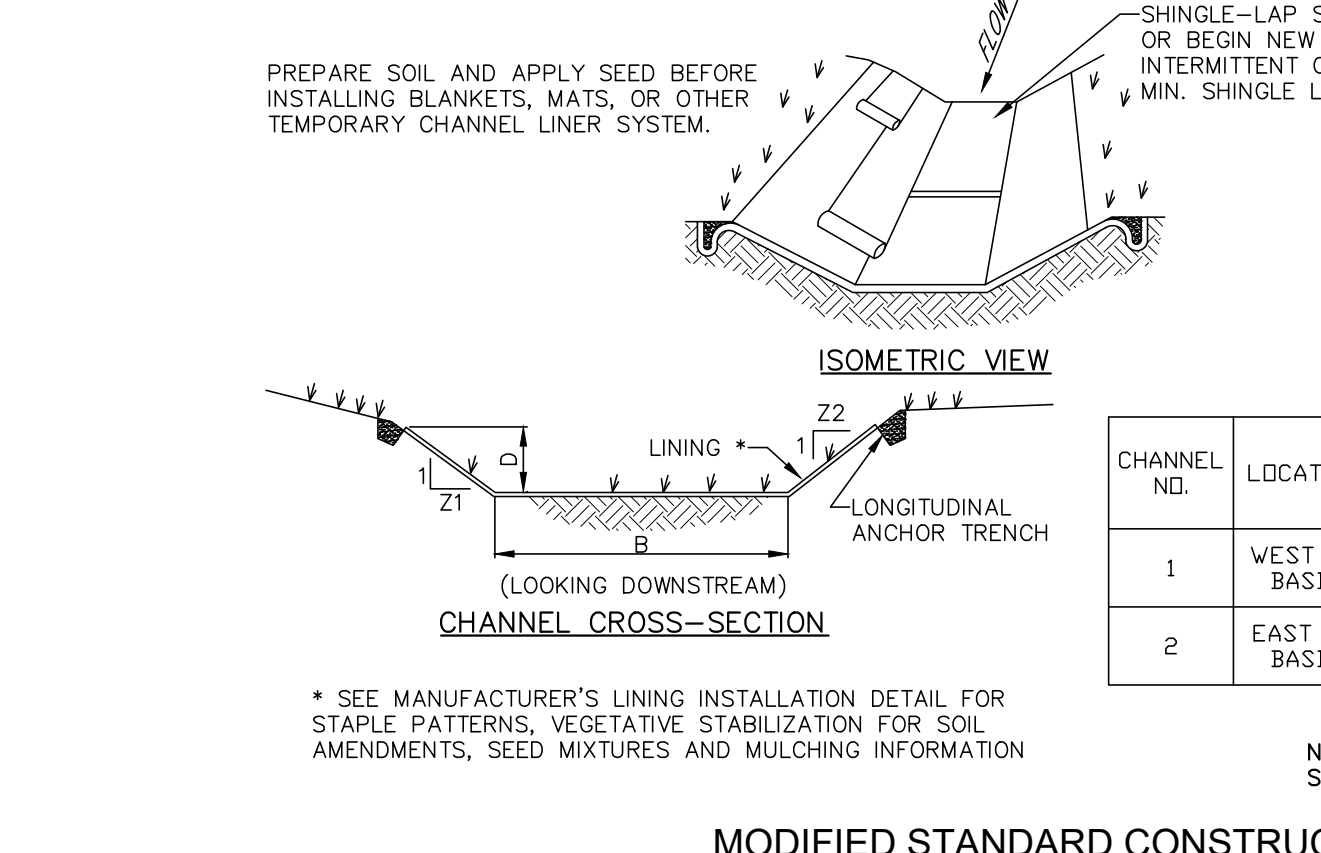
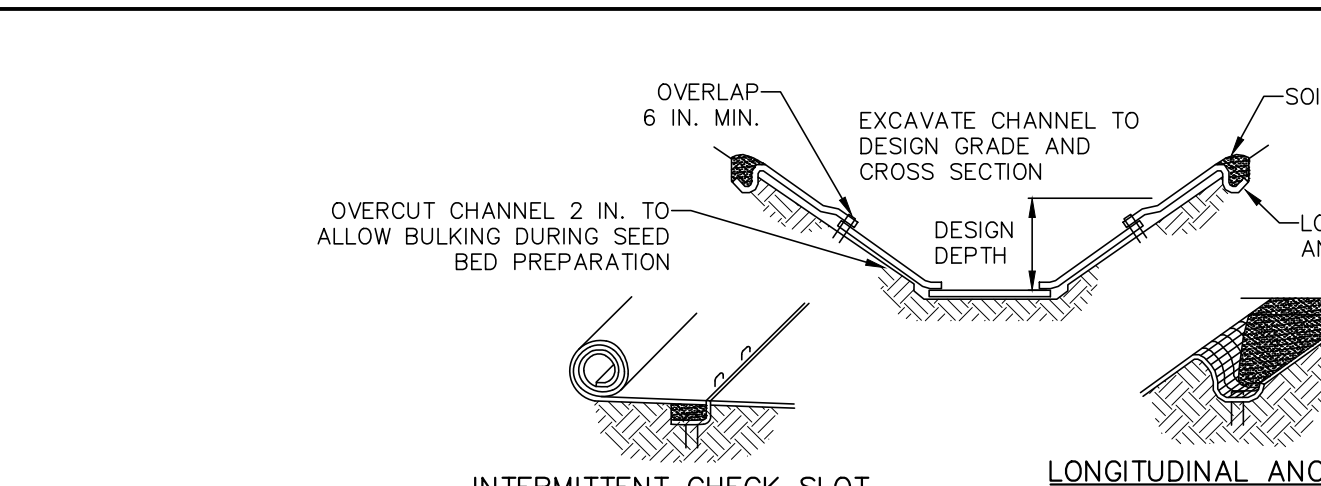
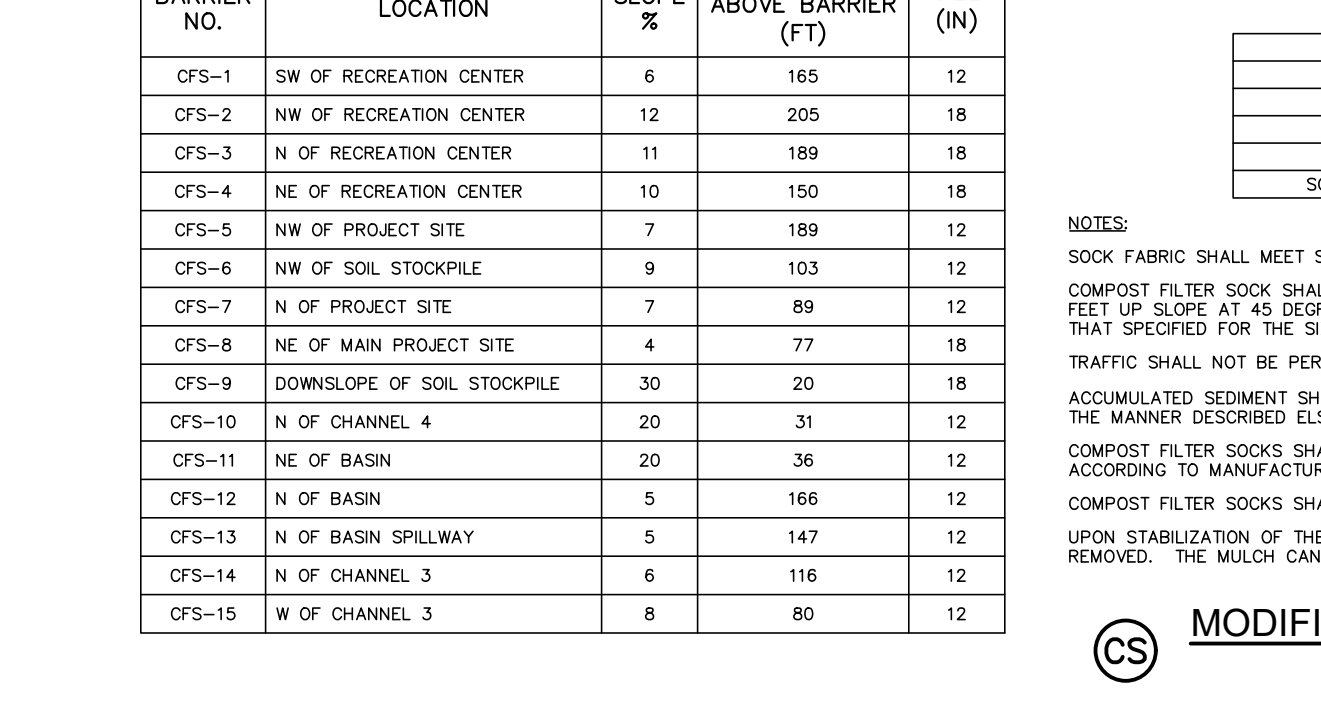
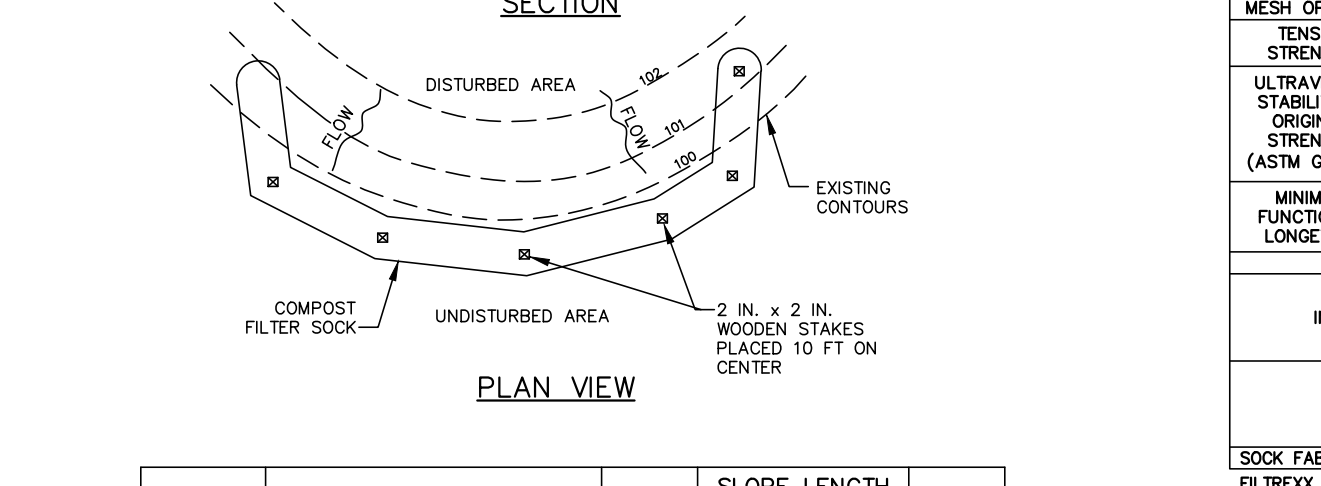
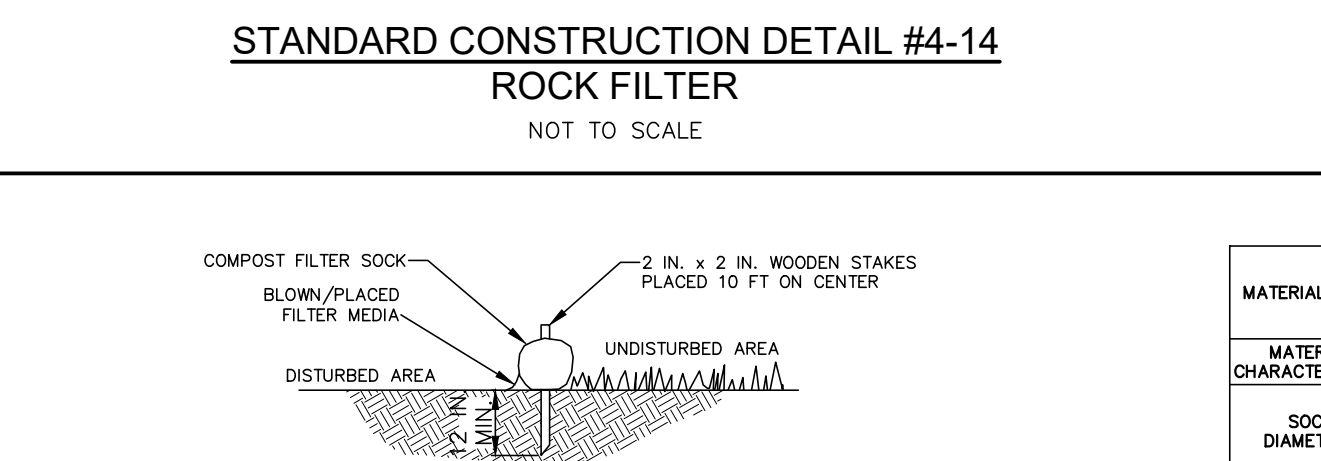
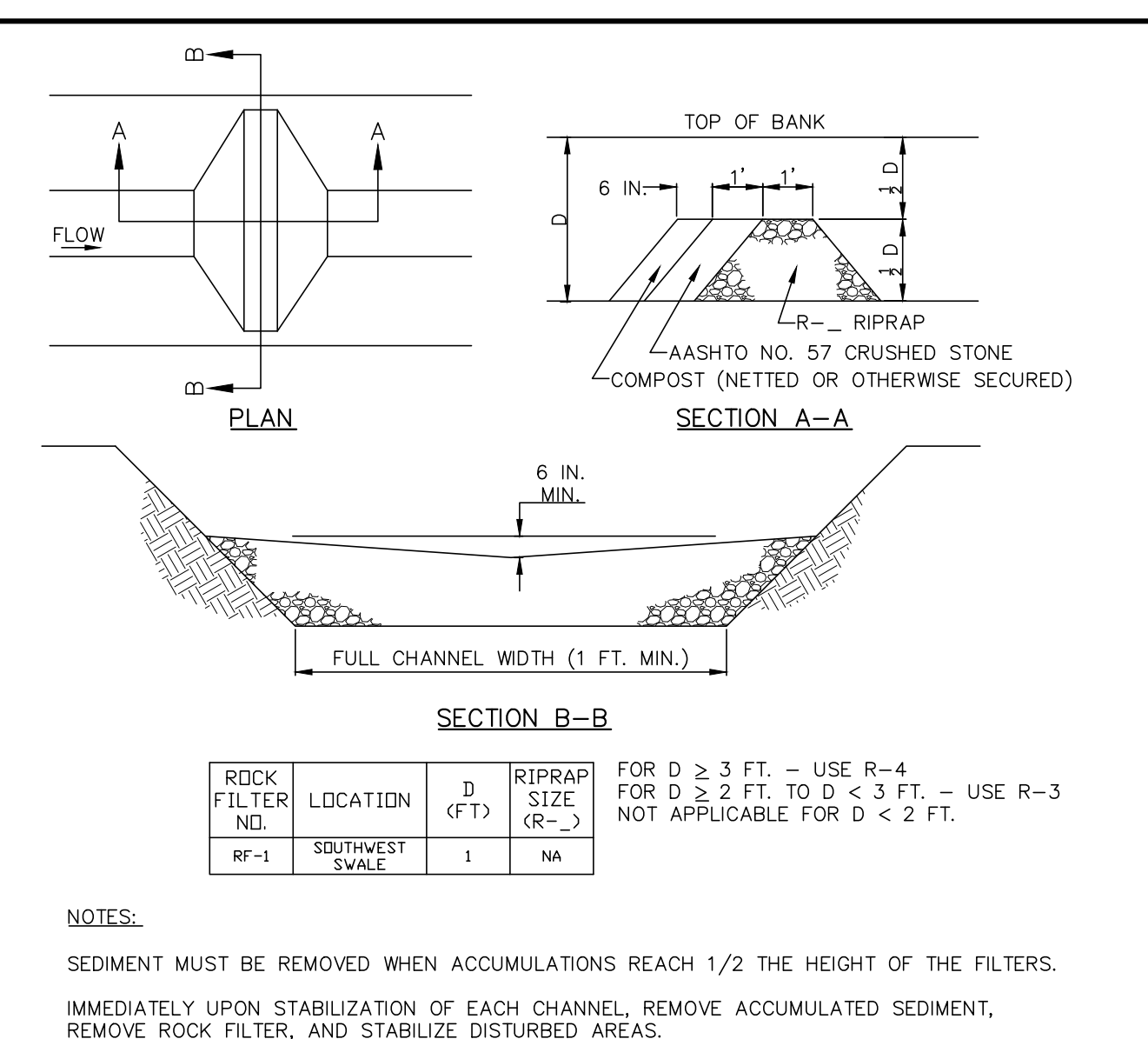
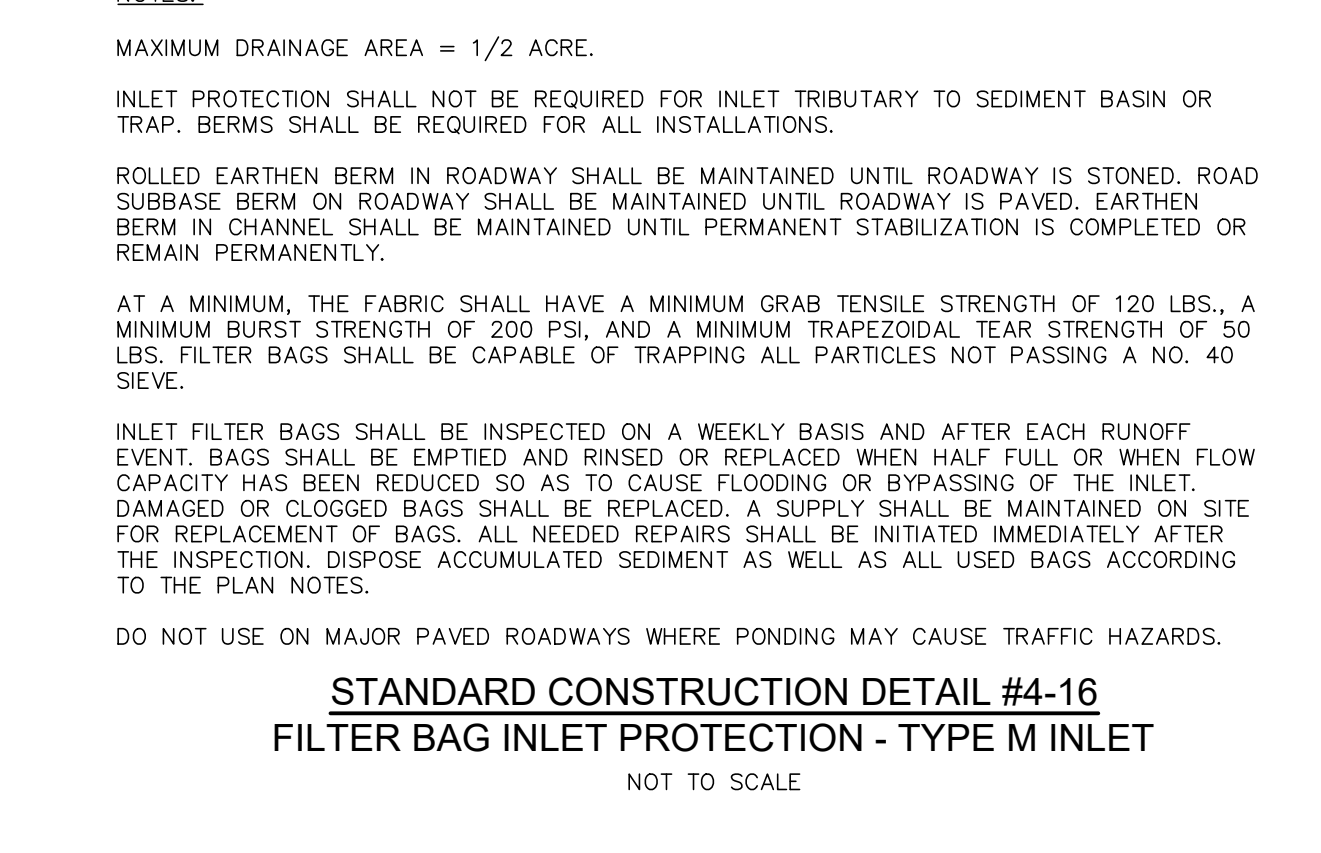
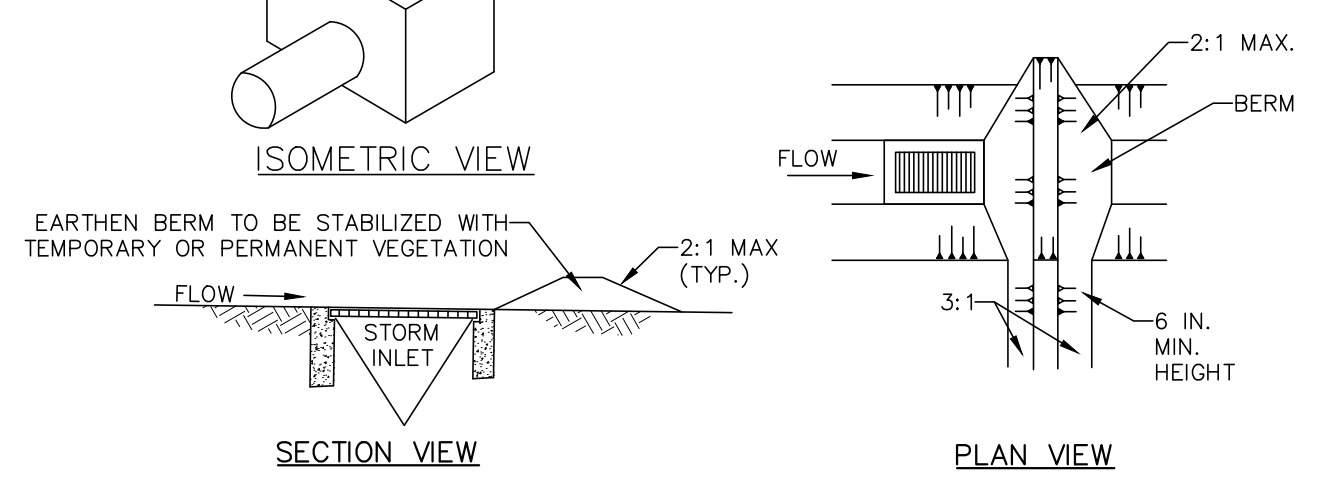
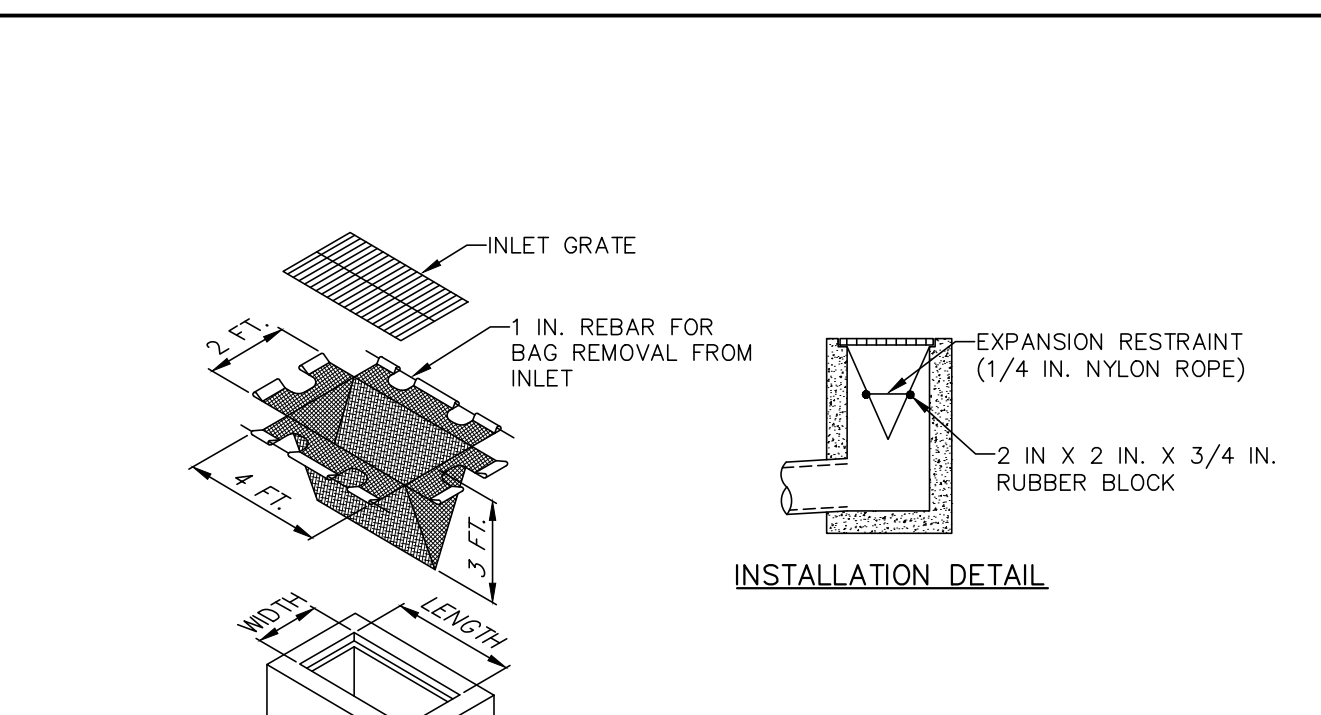
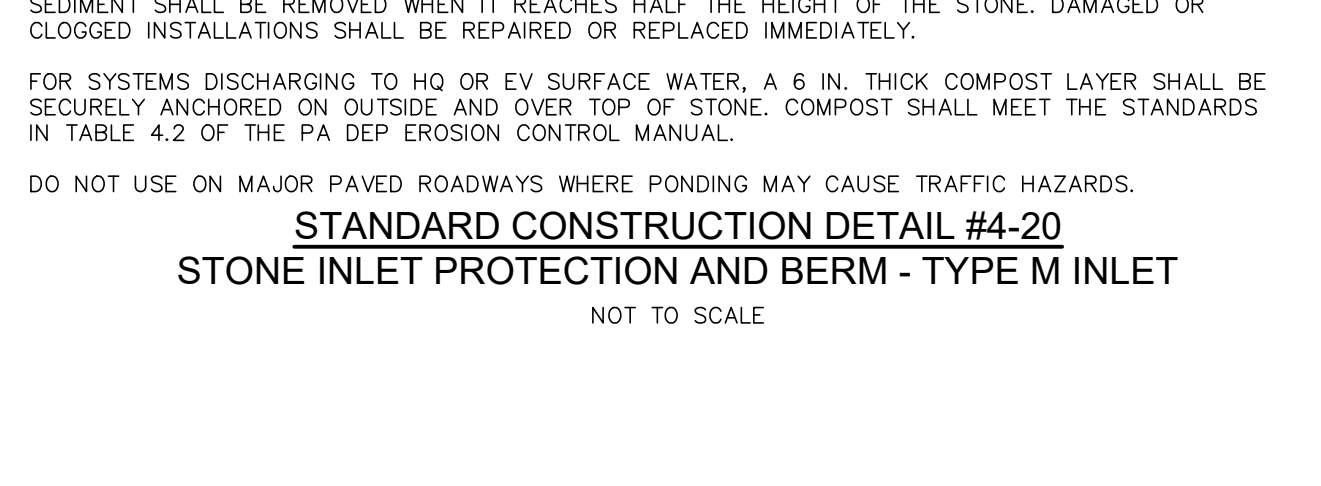
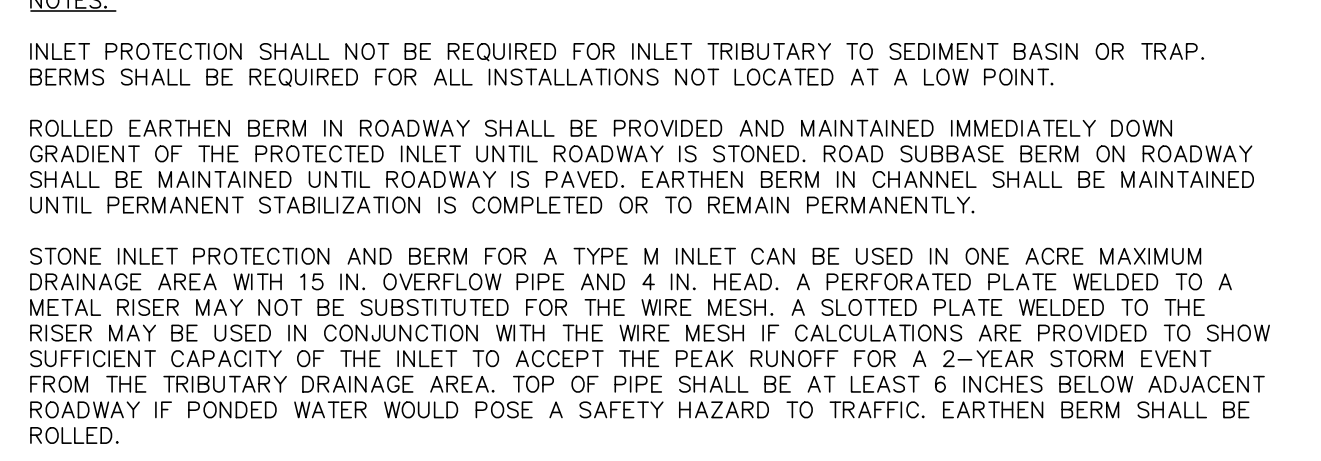
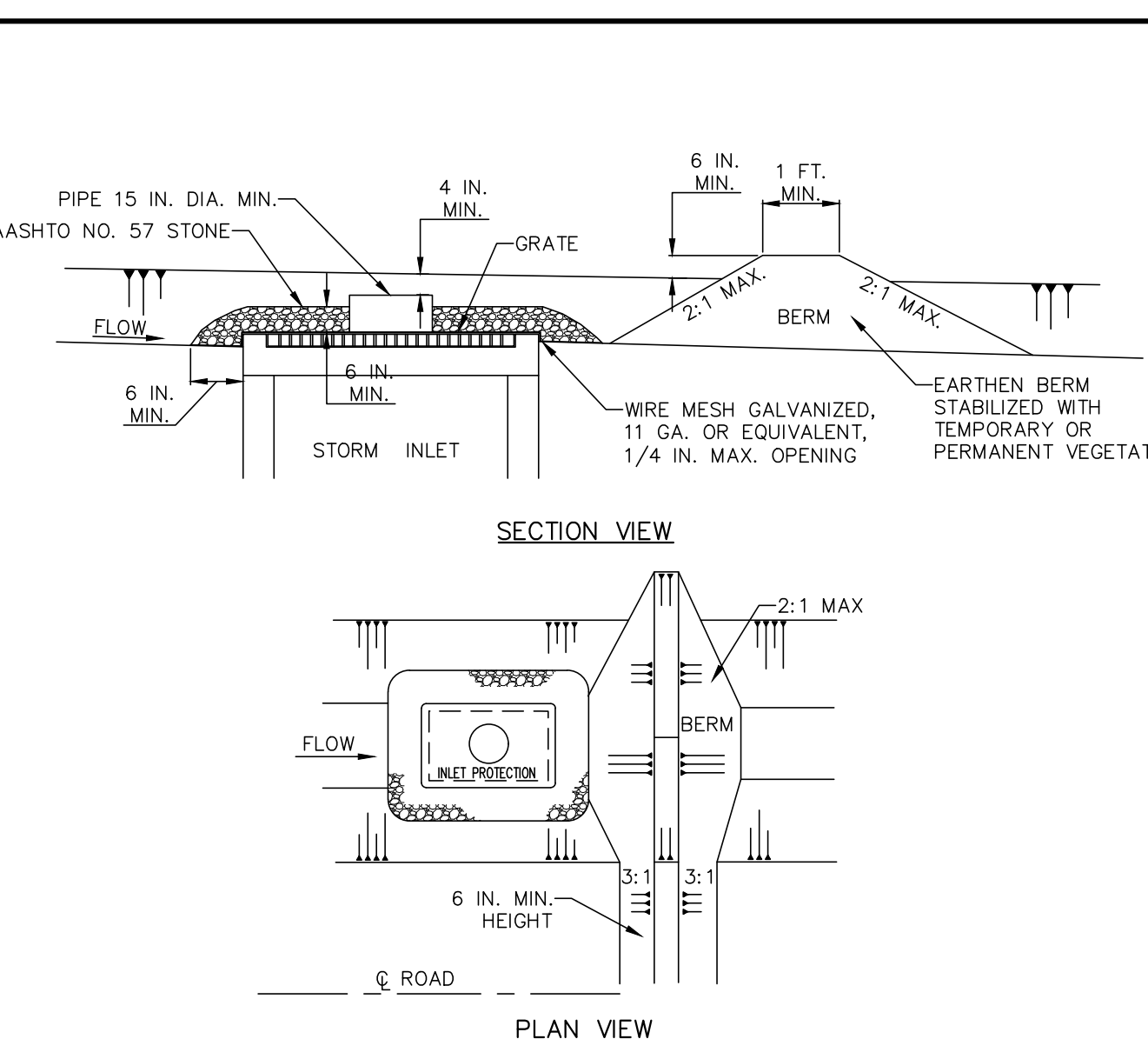
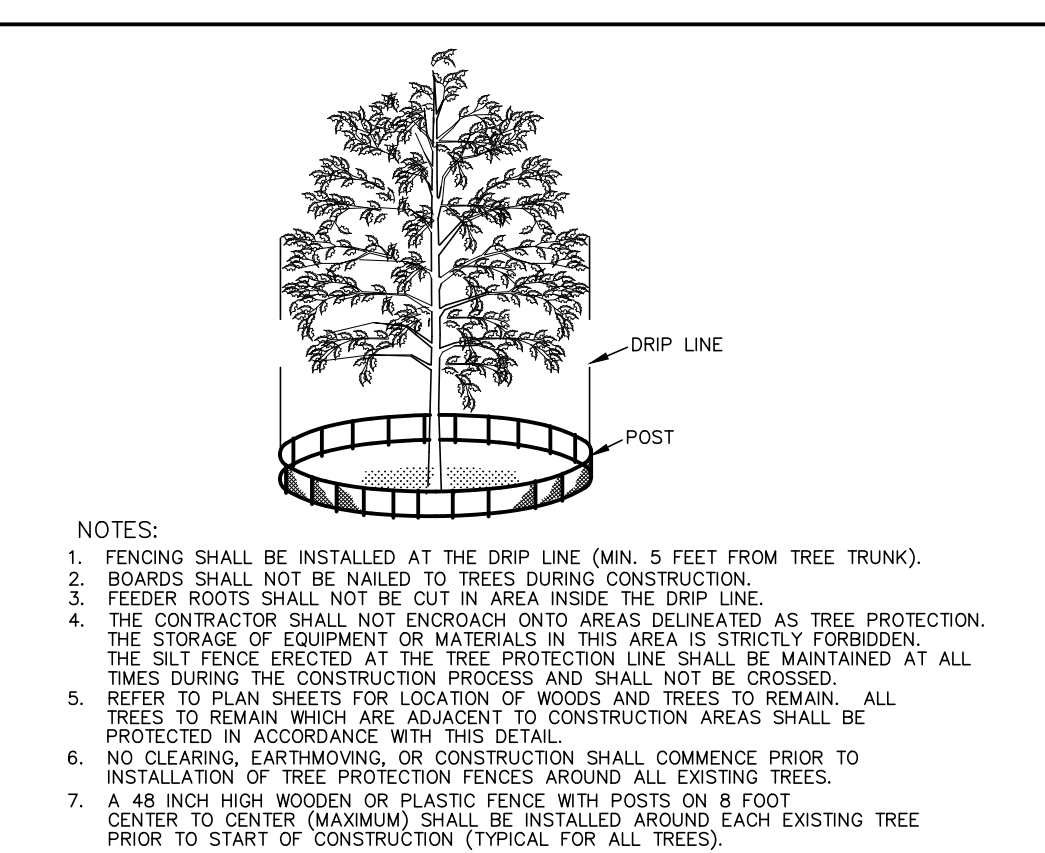
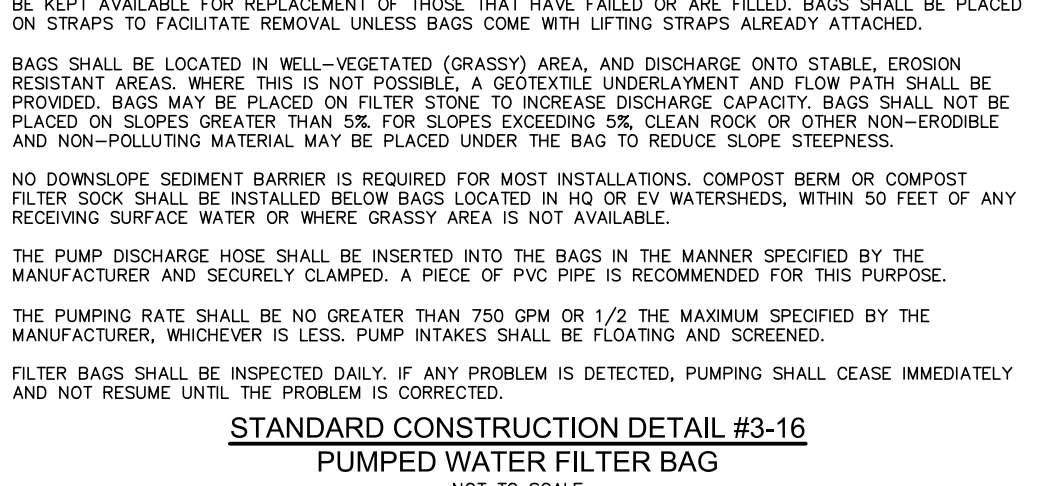
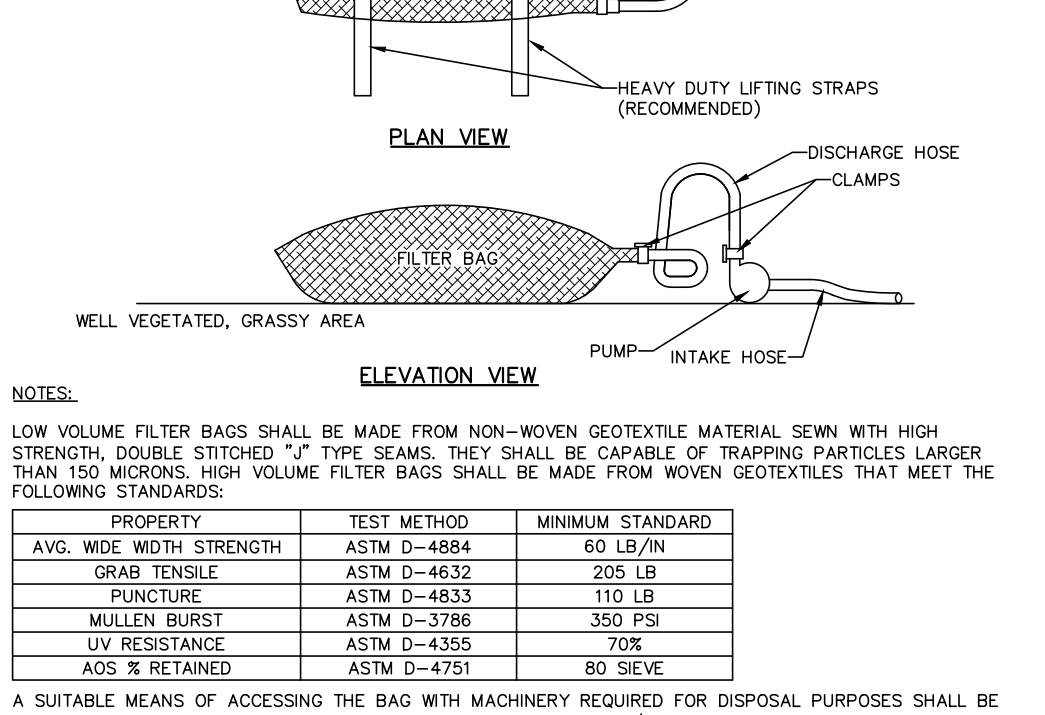
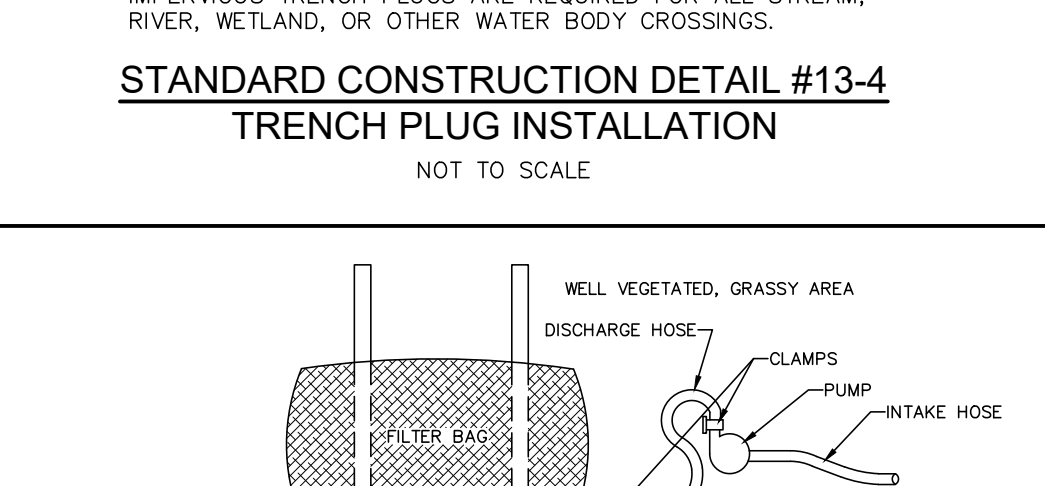
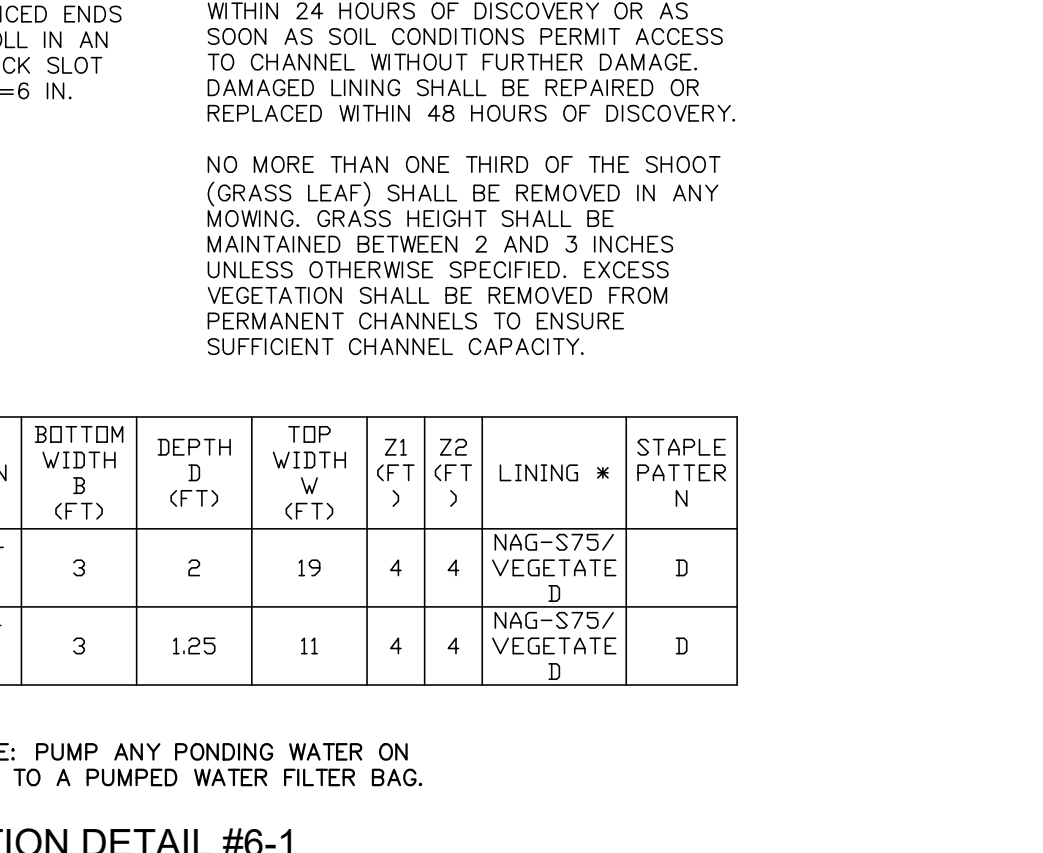
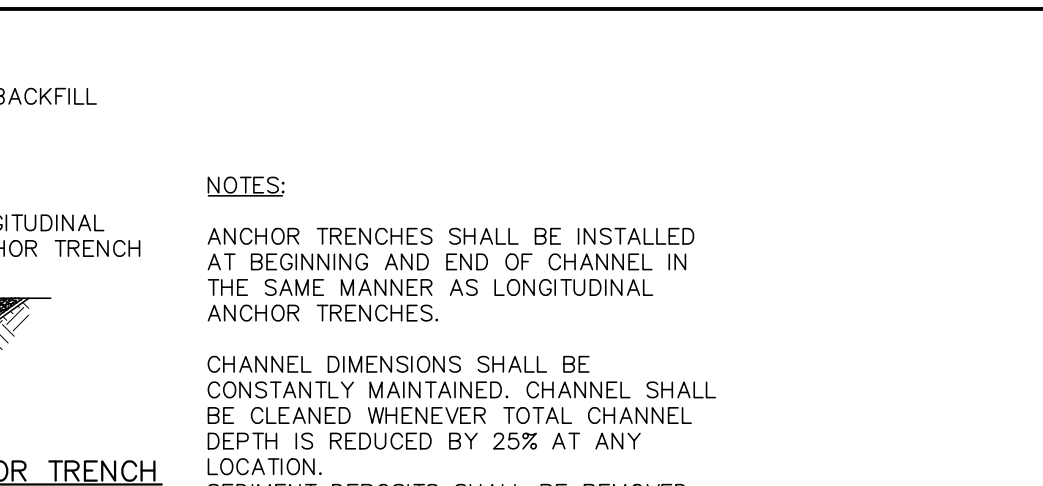
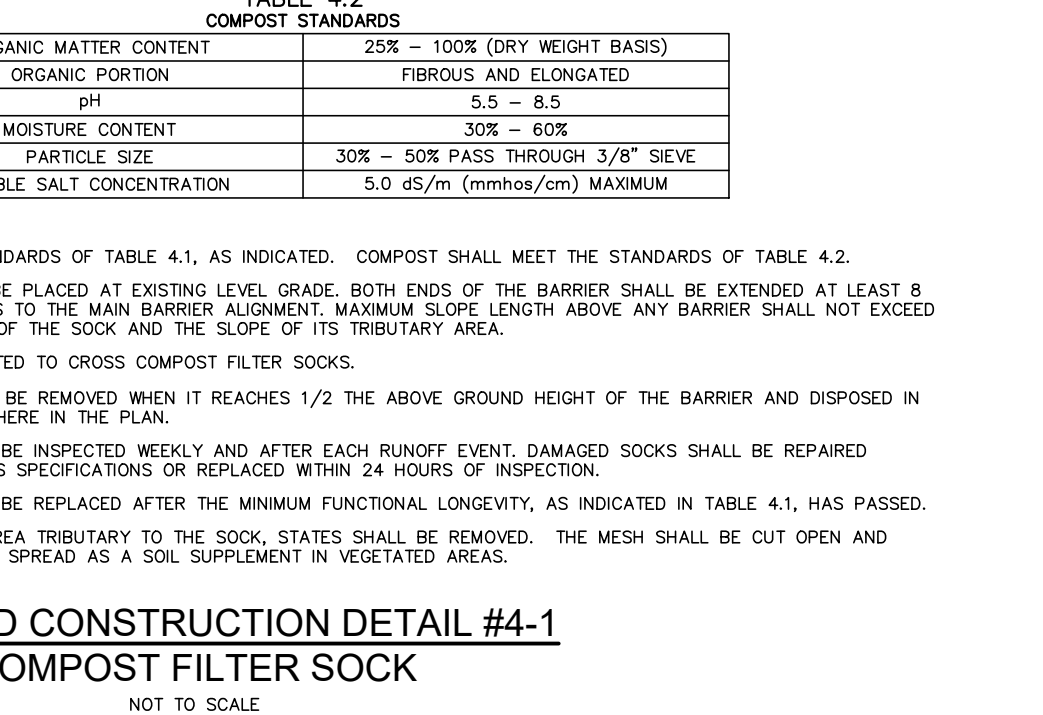


TABLE 4.1
COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS

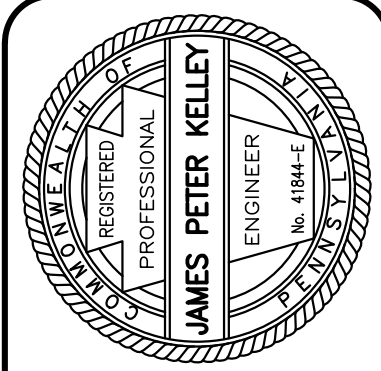
MATERIAL TYPE	3 MIL HDPE	5 MIL HDPE	5 MIL HDPE	MULTI-FILAMENT POLYPROPYLENE (MPP)	HEAVY DUTY MULTIFILAMENT POLYPROPYLENE (HMPP)
SOCK CHARACTERISTICS	12"	18"	12"	12"	18"
SOCK DIAMETERS	12"	18"	12"	12"	18"
MESH OPENING	3/8"	3/8"	3/8"	3/8"	3/8"
TENSILE STRENGTH	26 PSI	26 PSI	26 PSI	44 PSI	202 PSI
ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM G-155)	23% AT 1000 HR.	23% AT 1000 HR.	100% AT 1000 HR.	100% AT 1000 HR.	100% AT 1000 HR.
MINIMUM FUNCTIONAL LONGEVITY	6 MONTHS	9 MONTHS	6 MONTHS	1 YEAR	2 YEARS

TABLE 4.2
COMPOST STANDARDS

ORGANIC MATTER CONTENT	25% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
pH	5.5 - 8.5
MOISTURE CONTENT	30% - 60%
PARTICLE SIZE	30% - 50% PASS THROUGH 3/8" SIEVE
SOLUBLE SALT CONCENTRATION	5.0 ds/m (mmhos/cm) MAXIMUM



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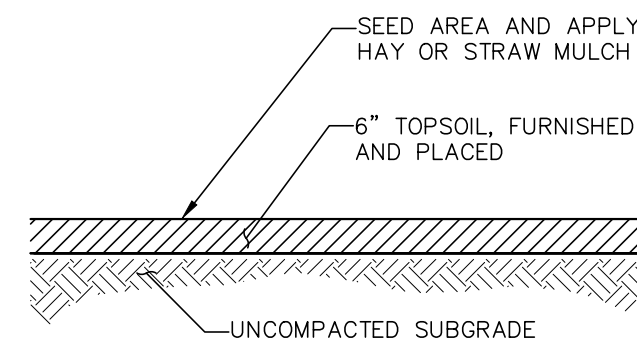


EROSION & SEDIMENT CONTROL DETAILS
WATER GAP WELLNESS RECREATION CENTER
WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

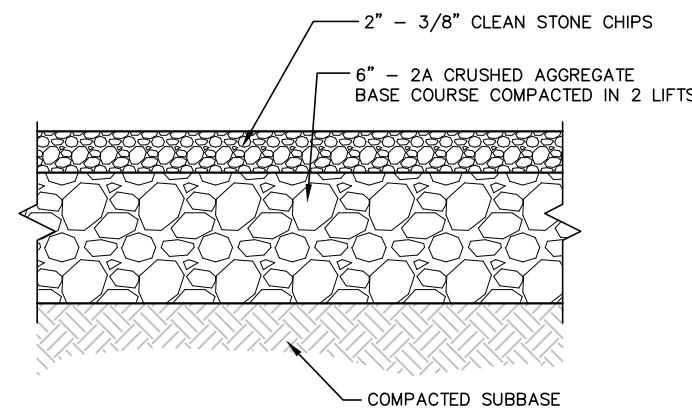
DATE:	8/28/2024	DSGN:	TAL/DFG
SCALE:	AS NOTED	CHK:	CRS
DRAWN:	TAL	APPRD:	JPK
JOB:	1022419.004	P MGR:	JPK

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SHEET: 19 OF 24

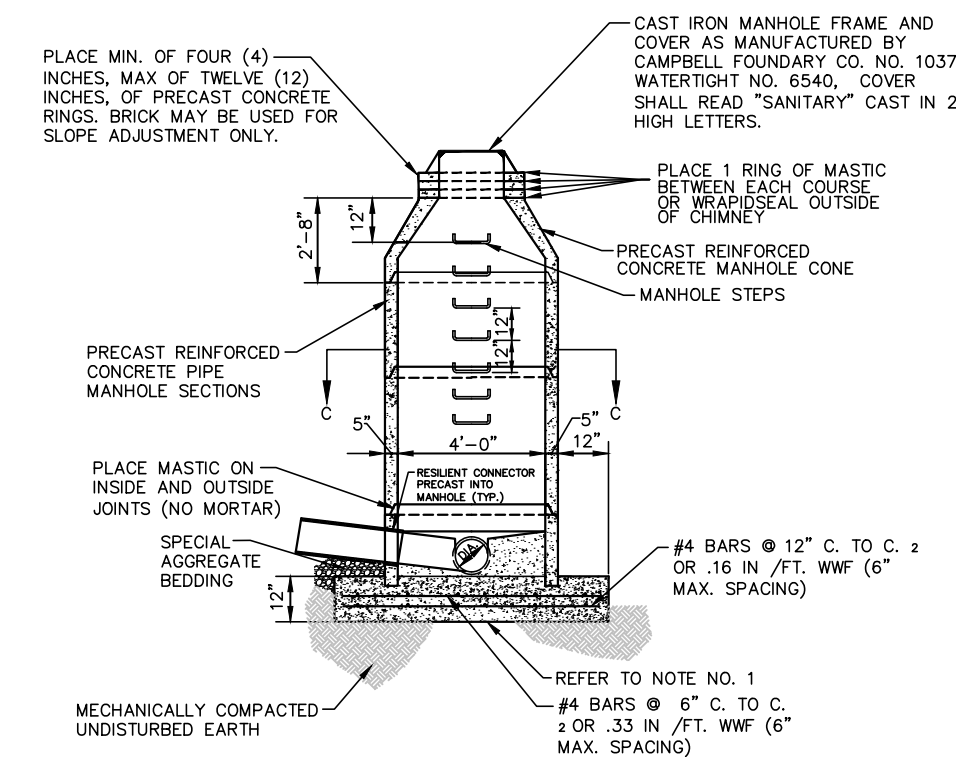
ESD-2



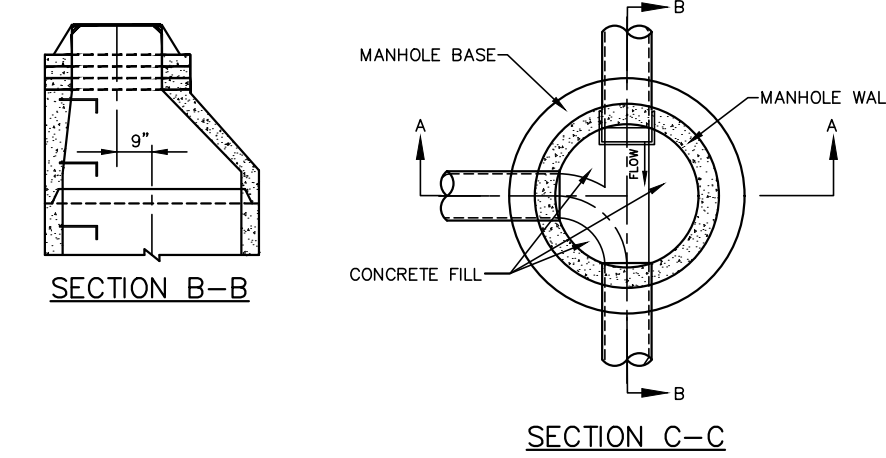
LAWN RESTORATION
N.T.S.
NOTES:
REFER TO SEEDING SCHEDULE



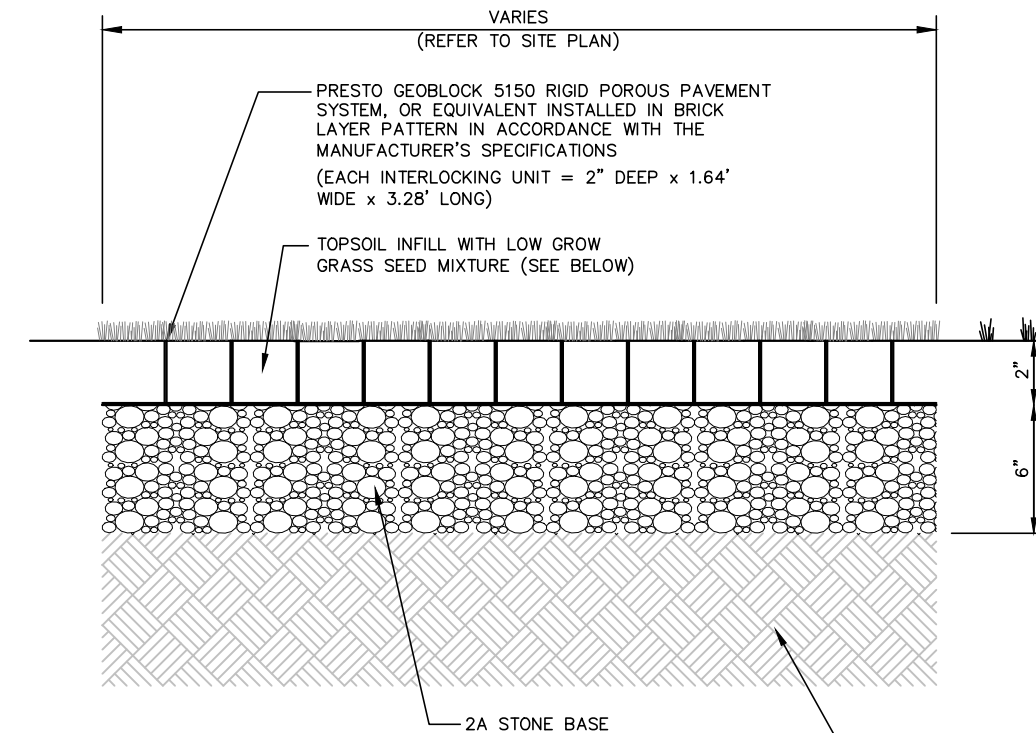
GRAVEL AREA
N.T.S.



**SANITARY SEWER
STANDARD PRECAST CONCRETE PIPE MANHOLE**
N.T.S.

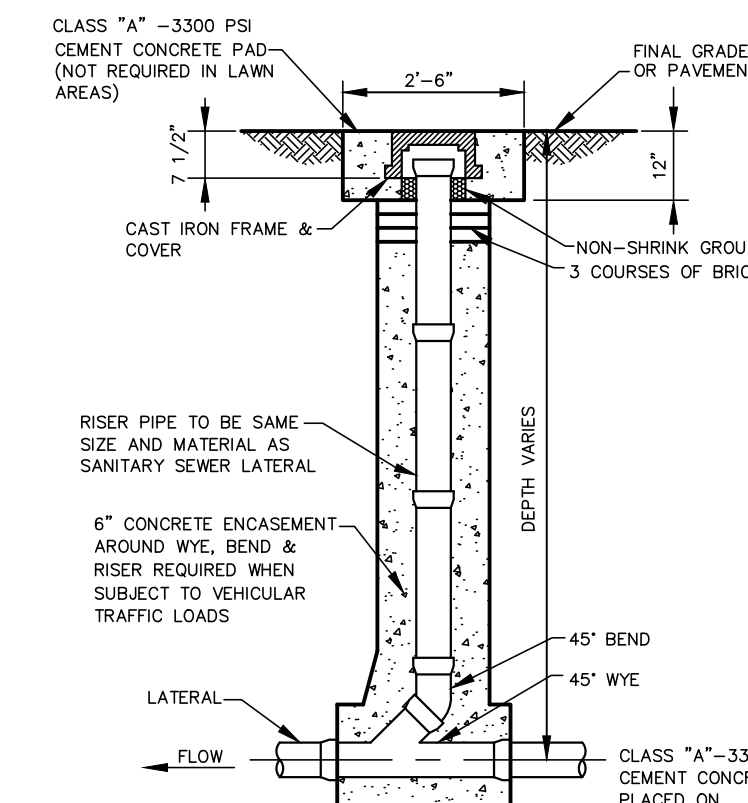


- NOTES:
1. PRECAST BASE MAY BE USED IF PLACED ON A 9 INCH FOUNDATION OF PERDOT NO. 2A SUBBASE.
2. PROVIDE FLEXIBLE GASKET IN MACHINED GROOVE IN LID.
3. PAINT ENTIRE OUTER SURFACE OF MANHOLE WITH ONE (1) COAT OF AN APPROVED BITUMASTIC MATERIAL.
4. STEPS TO BE INSTALLED IN PLASTIC STEP INSERT COMPATIBLE WITH THE STEP.
5. STEP AND STEP INSTALLATION SHALL MEET ALL REQUIREMENTS OF ASTM C-478 AND C497 FOR DIMENSIONS, LOAD RATING, AND PULLOUT RESISTANCE.
6. STEP DIMENSIONS AND CONFIGURATION SHALL BE IN ACCORDANCE WITH PERDOT STANDARDS, (RC-39).

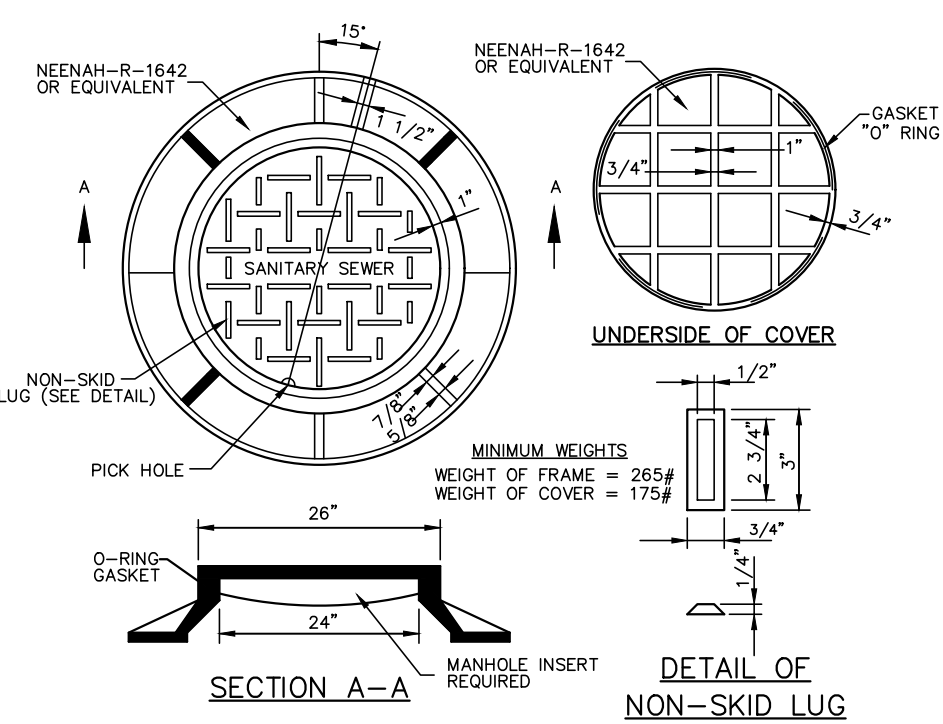


STABILIZED PERVIOUS EMERGENCY ACCESS DETAIL
N.T.S.

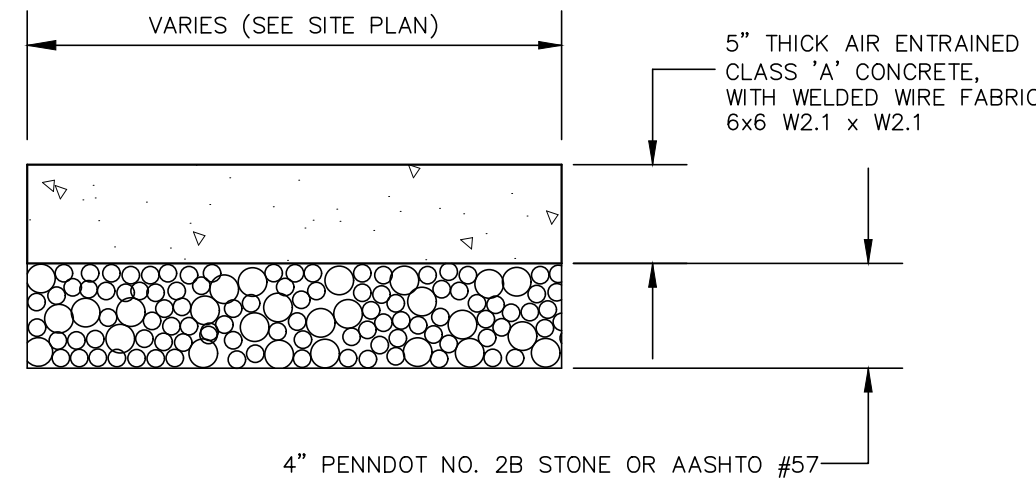
Botanical Name	Root	Notes
Uniform Cover (mechanical broadcast)		
andropogon virginicus	seed	2#/1000 SF
andropogon virginicus	seed	1#/1000 SF
panicum virgatum	seed	0.5#/1000 SF
dichanthium scoparium	seed	0.25#/1000 SF
coxys tribuloides	seed	0.25#/1000 SF
torilis multiflorum	seed	0.25#/1000 SF
festuca rubra cernuata	seed	2#/1000 SF
festuca ovina glauca	seed	2#/1000 SF



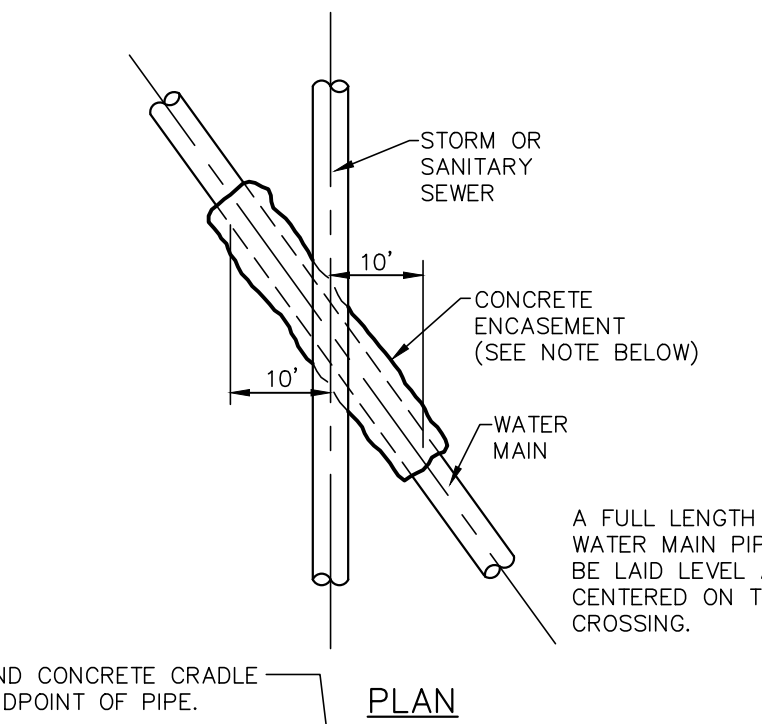
SANITARY SEWER CLEAN-OUT DETAIL
N.T.S.



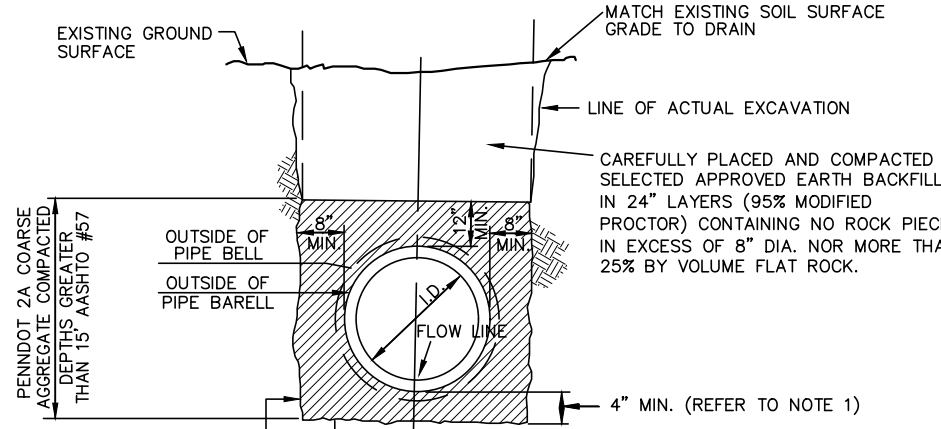
STANDARD MANHOLE FRAME AND COVER
N.T.S.



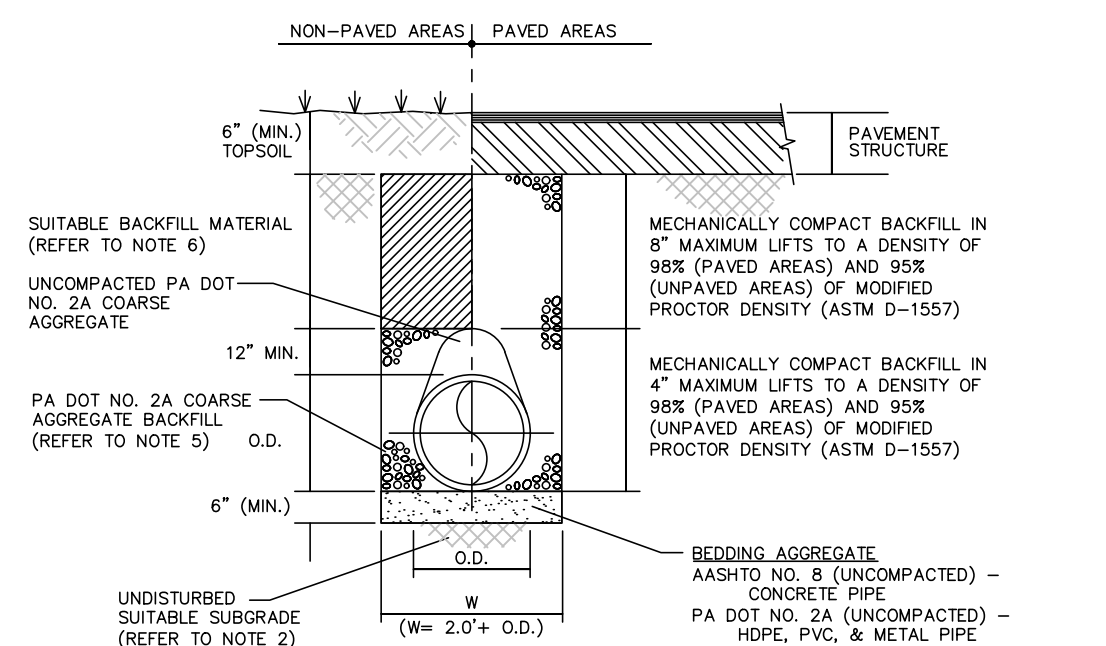
TYPICAL SIDEWALK
NOT TO SCALE



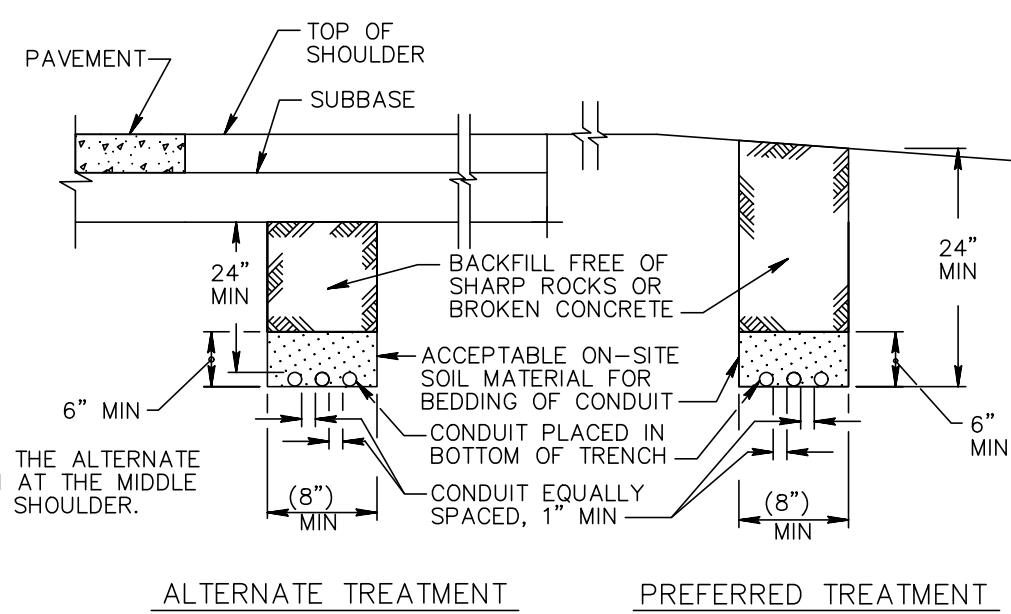
**WATER MAIN CROSSING UNDER
STORM OR SANITARY SEWER**
N.T.S.



**EXCAVATION FOR SANITARY LINES AND
TRENCH BACKFILL WITHIN EXISTING EARTH/
VEGETATED AREAS**
N.T.S.



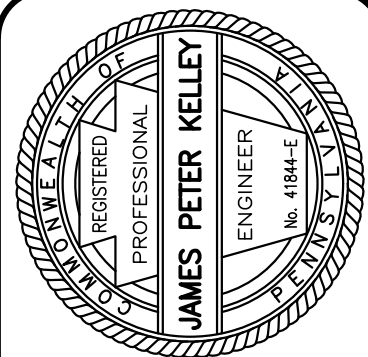
**TYPICAL WATER MAIN TRENCH
& BACKFILL**
N.T.S.



TYPICAL ELECTRIC TRENCH DETAIL
N.T.S.

- NOTES FOR UNDERGROUND
CABLE AND CONDUIT**
- TRENCH ALONG THE GENERAL LINE SHOWN ON THE PLANS.
 - DO NOT TRENCH IN GUIDE RAIL LINE.
 - LOCATE UNDERGROUND CABLE AND CONDUIT WITH TEMPORARY PLASTIC MARKERS OR OTHER APPROVED METHODS WHERE THERE IS A POSSIBILITY OF DISTURBANCE BY GUIDE RAIL ERECTION OR SIMILAR CONSTRUCTION. VERIFY GUIDE RAIL LOCATIONS SHOWN ON THE LIGHTING PLANS.
 - HAVE ALTERNATE TRENCH LINE, OTHER THAN AS SHOWN ON THE PLANS, APPROVED BY THE ENGINEER. IN NO CASE APPROVE AN ALTERNATE TRENCH LINE WHICH RESULTS IN INCREASING THE CIRCUIT LENGTH MORE THAN 5%.
 - INSTALL CONDUIT TO PERMIT DRAINAGE TOWARDS NEAREST EARTH JUNCTION BOX AS APPLICABLE.
 - PROVIDE PERMANENT MARKING TAPE IN THE LAST LIFT FOR THE ENTIRE TRENCH LENGTH.

DATE	BY
REVISIONS	

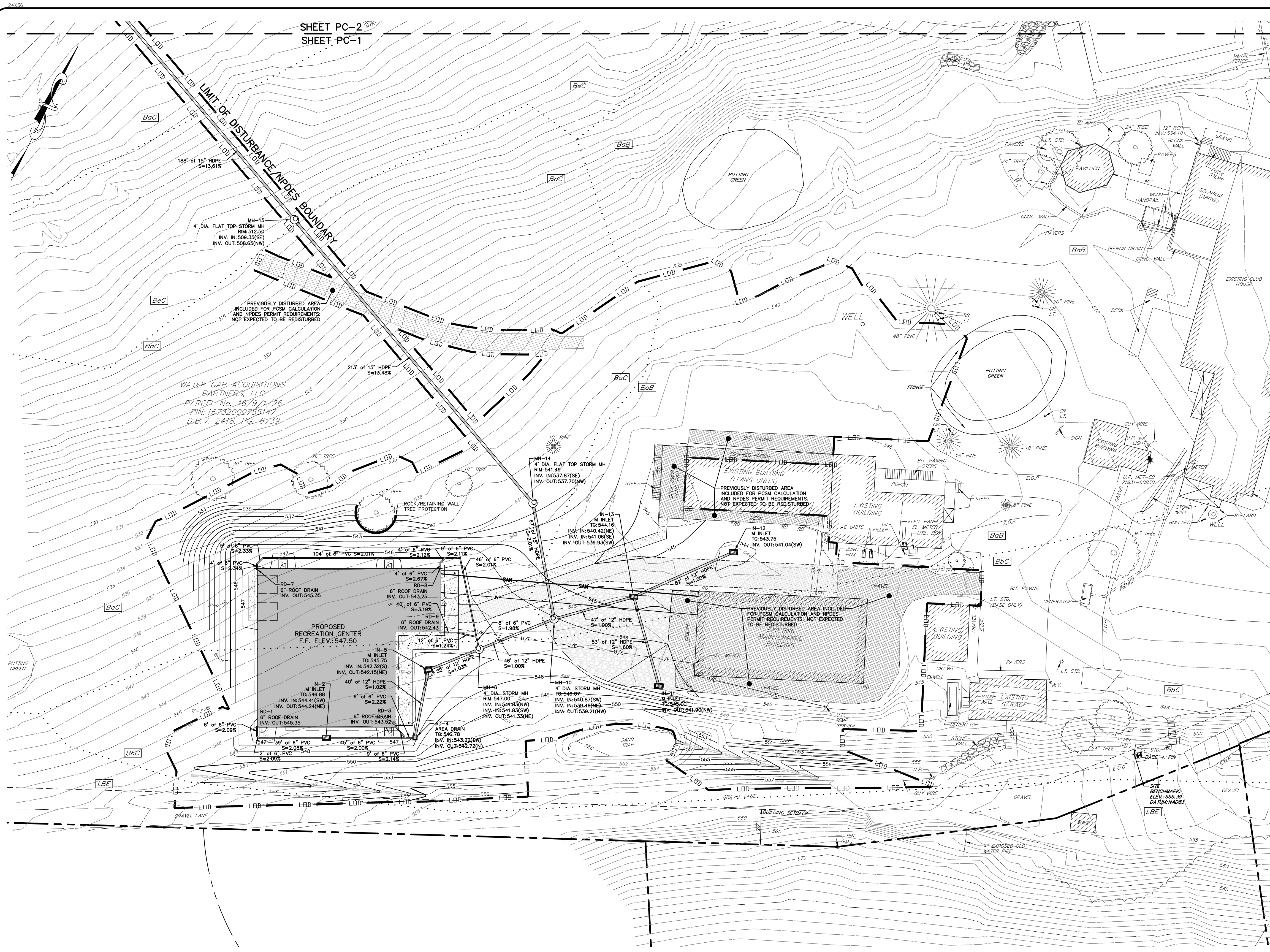


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CONSTRUCTION DETAILS
WATER GAP WELLNESS RECREATION CENTER
WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

DATE:	8/26/2024	DSGN:	TAL/DFG
SCALE:	AS NOTED	CHK:	CRS
DRAWN:	TAL	APPRD:	JPK
JOB:	1022419.004	P MGR:	JPK



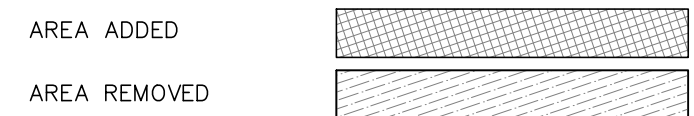
SHEET PC-2
SHEET PC-1

WATER GAP ACQUISITIONS
BARTNERS, LLC
PARCEL No. 1679/1/26
PIN: 1673200075147
D.B.V. 2418, PG. 6739

PLAN DESIGNATION	PLAN TITLE
PC-1	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
PC-2	POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
PCD-1	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS
PCD-2	POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS

*ALL PLANS TO BE RECORDED

PREVIOUSLY DISTURBED AREAS
INCLUDED FOR PCSM CALCULATION AND NPDES PERMIT REQUIREMENTS, NOT EXPECTED TO BE REDISTURBED



SOIL CLASSIFICATION	SOIL DESCRIPTION
BaB	BATH CHANNERY SILT LOAM 3 TO 8 PERCENT SLOPES
BaC	BATH CHANNERY SILT LOAM 8 TO 15 PERCENT SLOPES
BbB	BATH CHANNERY SILT LOAM 0 TO 8 PERCENT SLOPES, EXTREMELY STONY
BbC	BATH CHANNERY SILT LOAM 0 TO 8 PERCENT SLOPES, EXTREMELY STONY
BcC	BATH CHANNERY SILT LOAM 8 TO 25 PERCENT SLOPES, EXTREMELY STONY
CmB	CHIPPEWA AND NORWICH SOIL 0 TO 8 PERCENT SLOPES, EXTREMELY STONY
LbE	LACKAWANNA AND BATH SOILS STEEP, RUBBLY
MbB	MARDIN VERY STONY SILT LOAM 0 TO 8 PERCENT SLOPES

PCSM BMP LIST	BMP DESCRIPTION
1	BMP#1 - INFILTRATION BASIN
2	BMP#2 - VEGETATED SWALE
3	BMP#3 - VEGETATED SWALE

STORMWATER STATEMENT
COMMONWEALTH OF PENNSYLVANIA, COUNTY OF _____
ON THIS _____ DAY OF _____, 20____, BEFORE ME, A NOTARY PUBLIC, PERSONALLY APPEARED _____, WHO ACKNOWLEDGED HIMSELF/HERSELF TO BE THE _____ OF _____ AND THAT HE/SHE AS SUCH OFFICER BEING AUTHORIZED TO DO SO, DEPOSES AND SAYS THAT THE STORMWATER MANAGEMENT SYSTEM SHOWN ON THE APPROVED PLANS IS A PERMANENT FIXTURE THAT CAN BE ALTERED OR REMOVED ONLY AFTER PRIOR APPROVAL OF A REVISED PLAN BY SMITHFIELD TOWNSHIP.

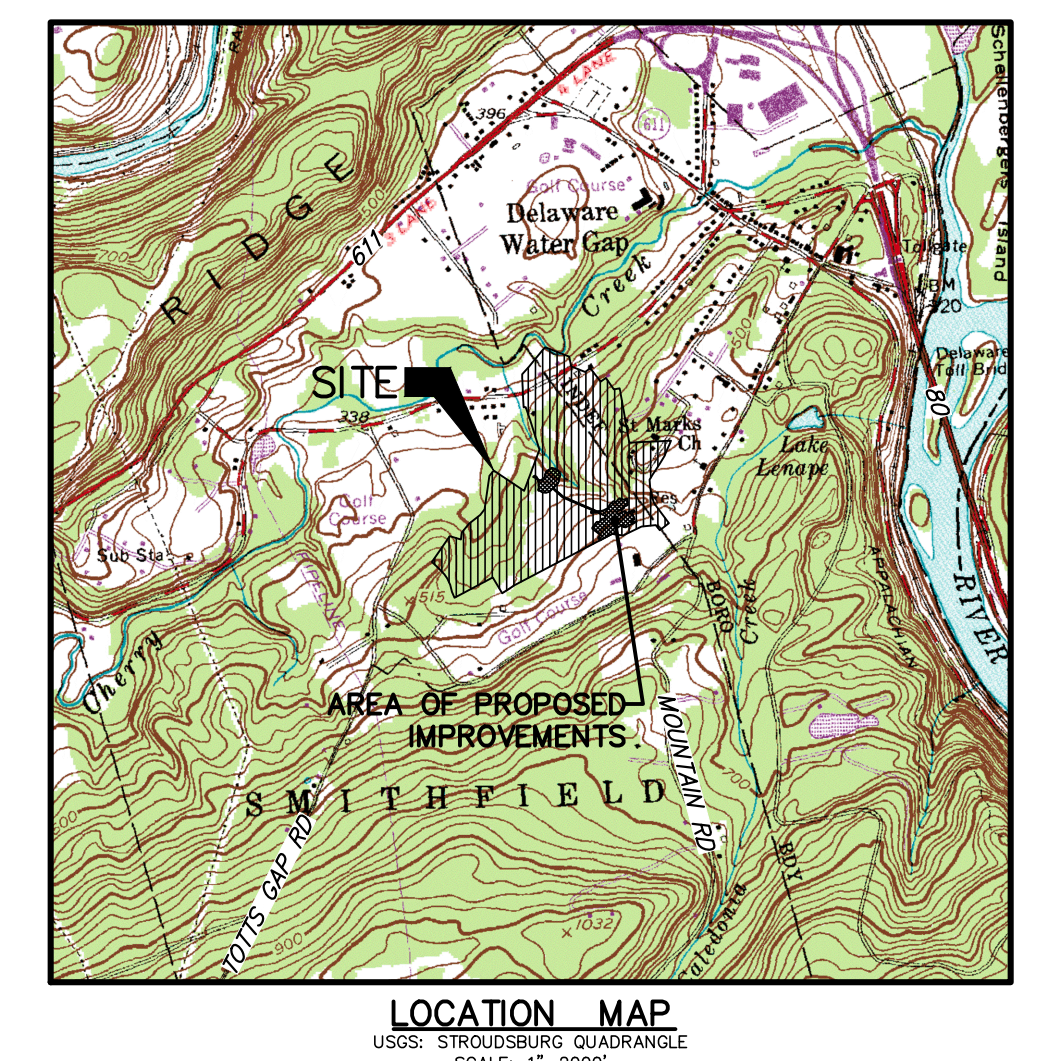
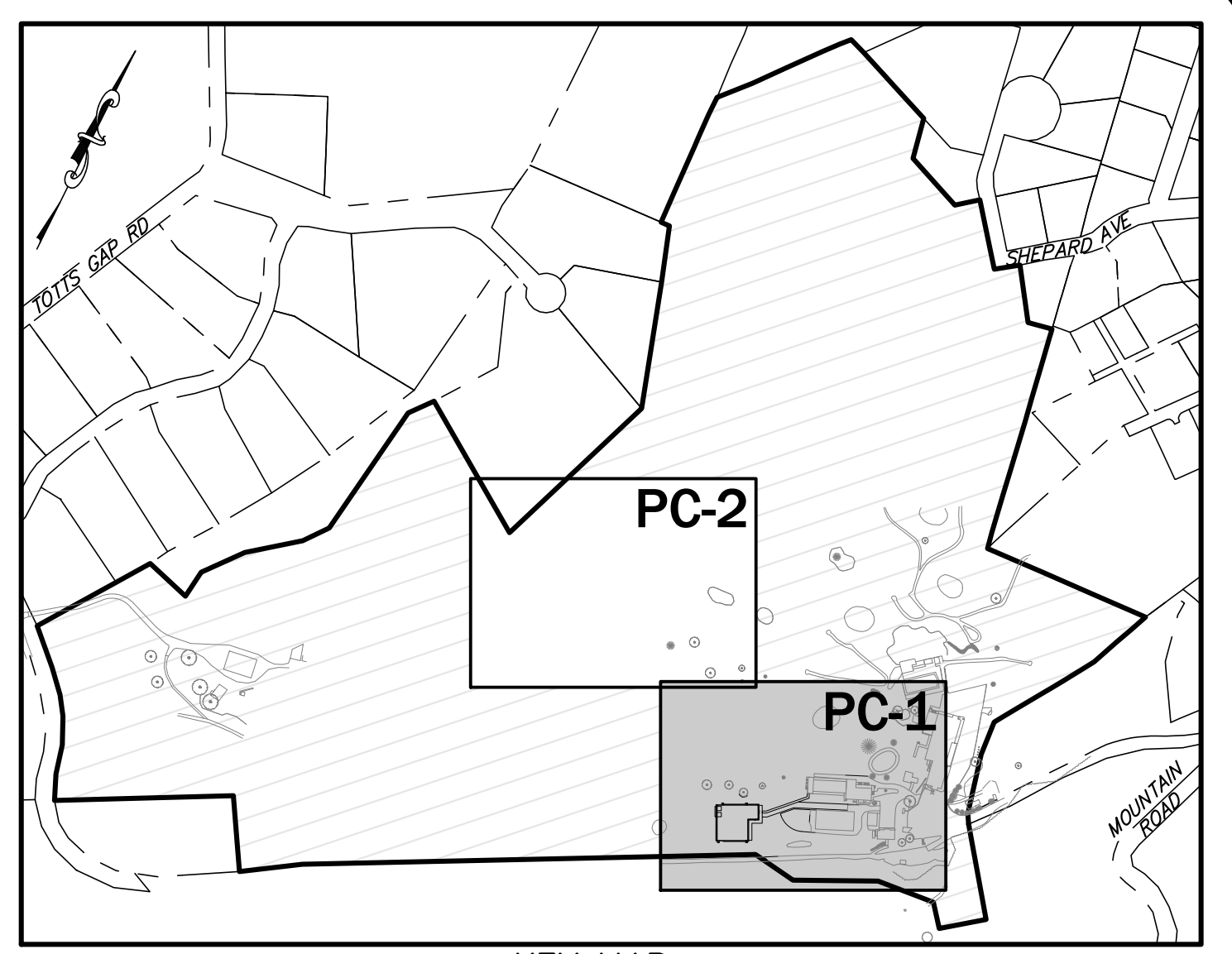
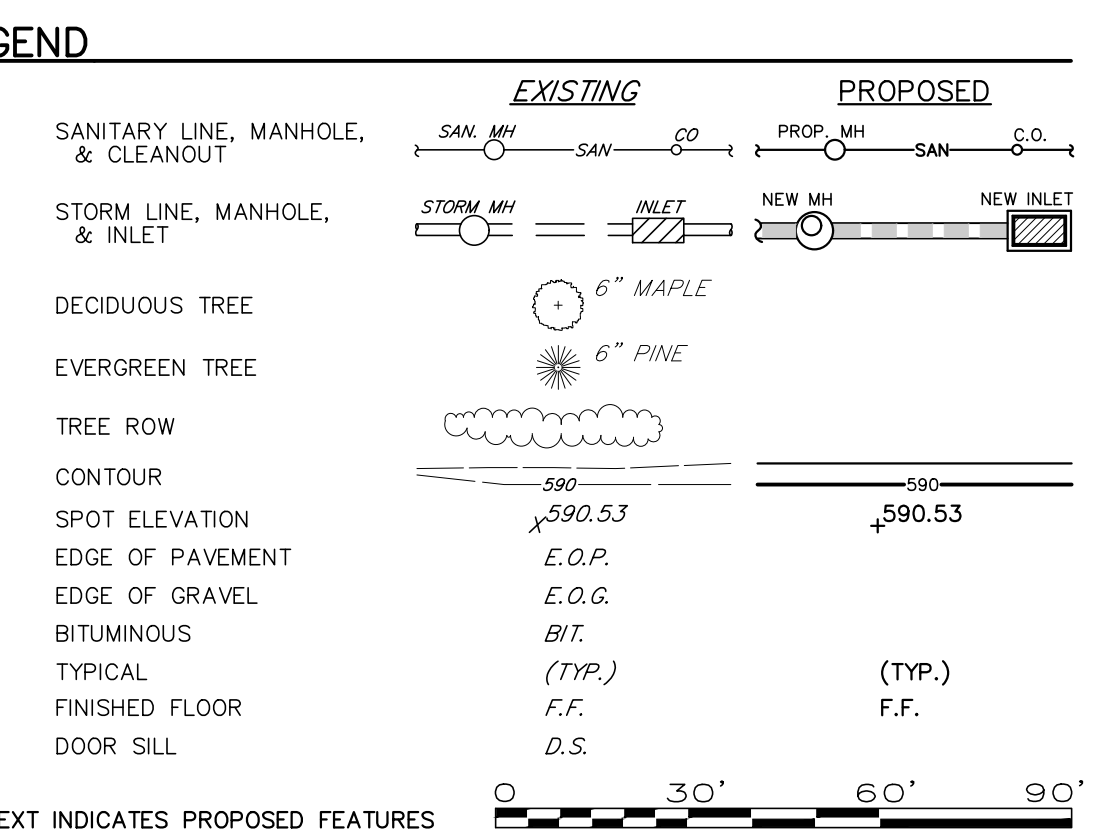
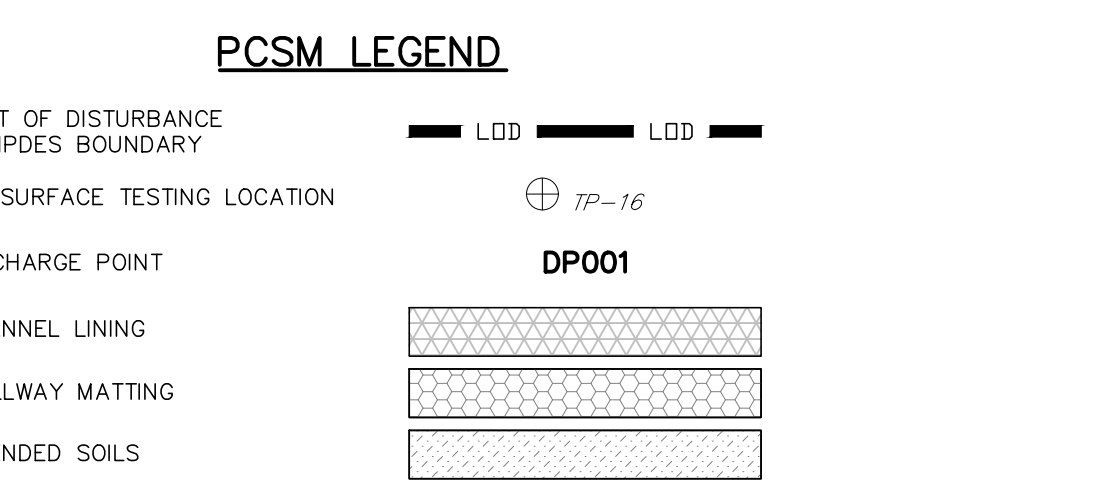
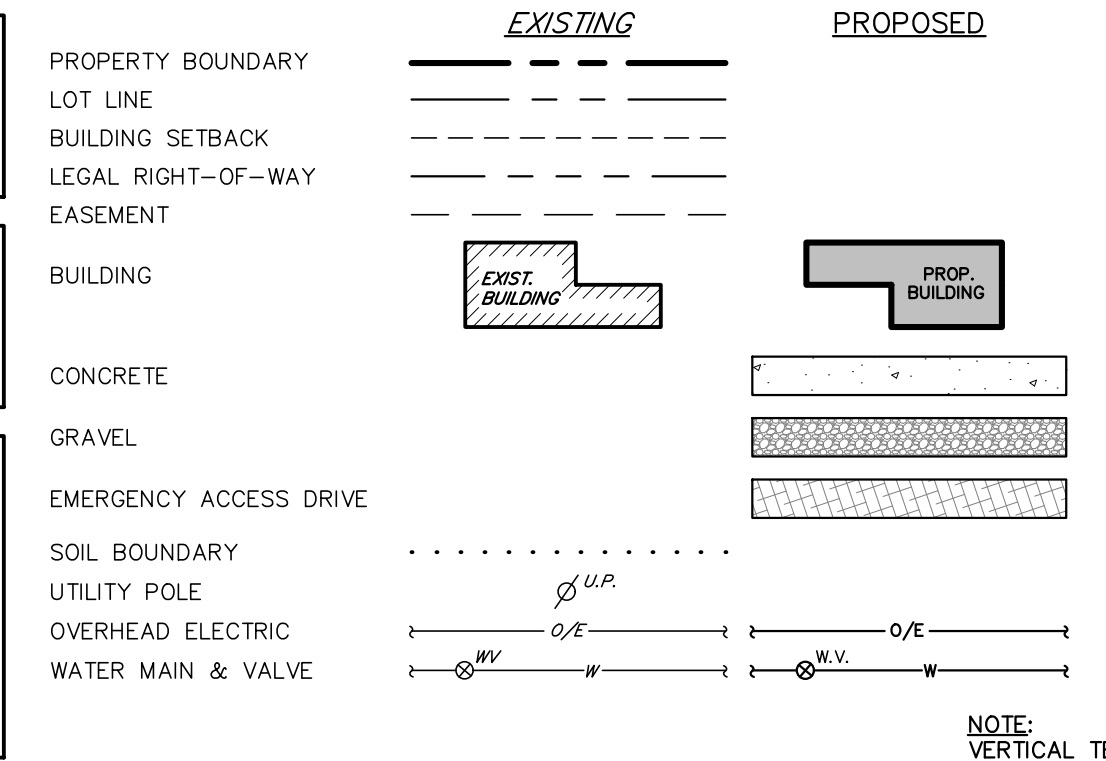
SIGNATURE OF OFFICER: _____ TITLE _____
THE UNDERSIGNED HEREBY CERTIFIED THAT TO THE BEST OF HIS/HER KNOWLEDGE AND BELIEF THE INFORMATION AND STATEMENTS GIVEN ABOVE ARE TRUE AND CORRECT.

SIGNATURE OF OFFICER: _____ TITLE _____
SIGNATURE OF NOTARY PUBLIC: _____
MY COMMISSION EXPIRES: _____, 20____

STORMWATER CERTIFICATION - TOWNSHIP ENGINEER
I, _____, ON THIS DATE _____, 20____, HAVE REVIEWED AND HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN IS IN SUBSTANTIAL COMPLIANCE WITH ALL DESIGN STANDARDS AND CRITERIA OF SMITHFIELD TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

STORMWATER CERTIFICATION - DESIGN ENGINEER
I, JAMES P. KELLEY, P.E., ON THIS DATE _____, 20____, HAVE PREPARED AND HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF SMITHFIELD TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

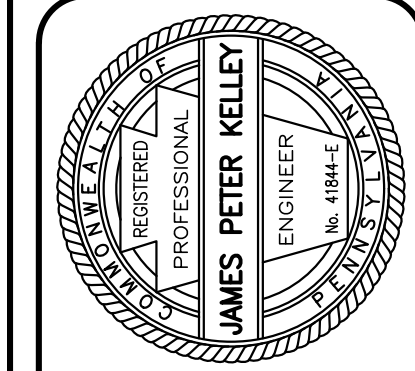
INDIVIDUAL RESPONSIBLE FOR OPERATION AND MAINTENANCE OF POST CONSTRUCTION STORMWATER MANAGEMENT BMP'S:
LANCE PULSE FACILITY DIRECTOR
NAME: _____ TITLE: _____
P.O. BOX 244 DELAWARE WATERGAP, PA 18327
ADDRESS: _____
LPULSE@WATERGAPWELLNESS.COM 570-269-8977
EMAIL: _____ PHONE: _____



LIMIT OF DISTURBANCE: 3.22 ACRES
NPDES BOUNDARY: 3.22 ACRES
RECEIVING WATERS: UNIT TO CHERRY CREEK CWF, MF IMPAIRED FOR PATHOGENS
REFER TO SHEET PCD-1 & PCD-2 FOR POST CONSTRUCTION STORMWATER MANAGEMENT NOTES & DETAILS



REVISIONS	DATE	BY

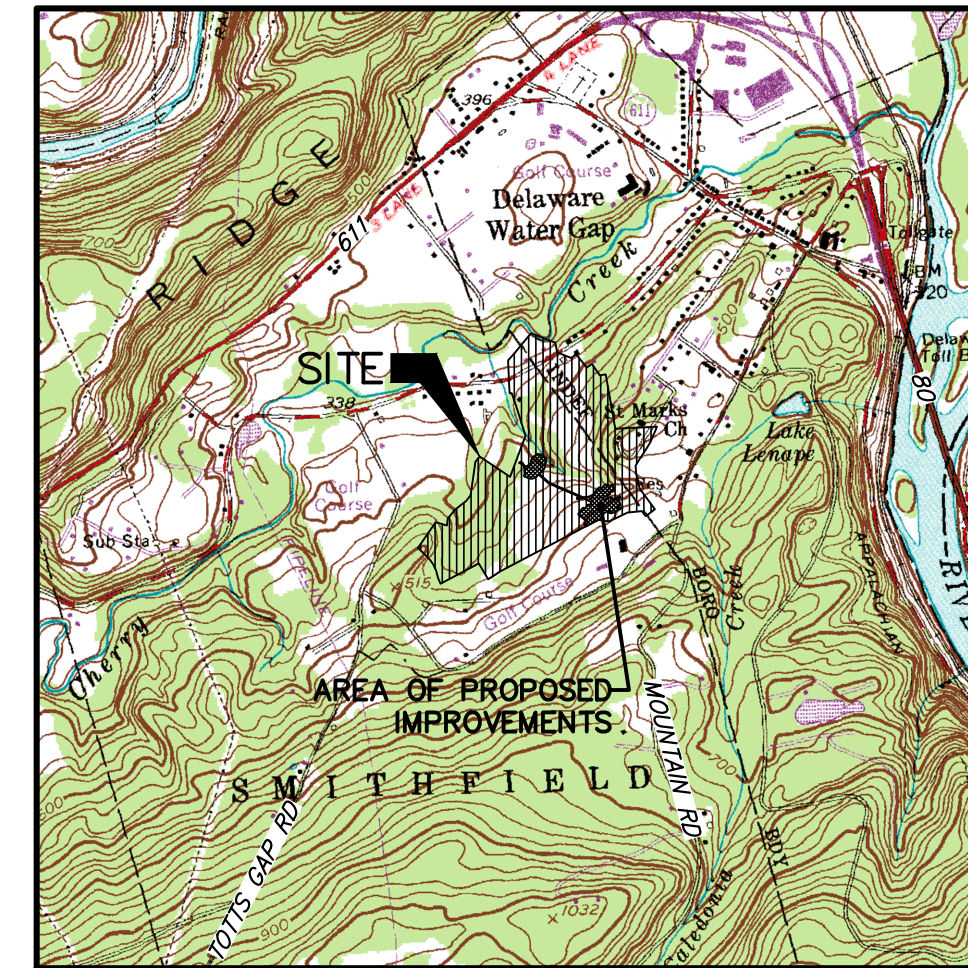
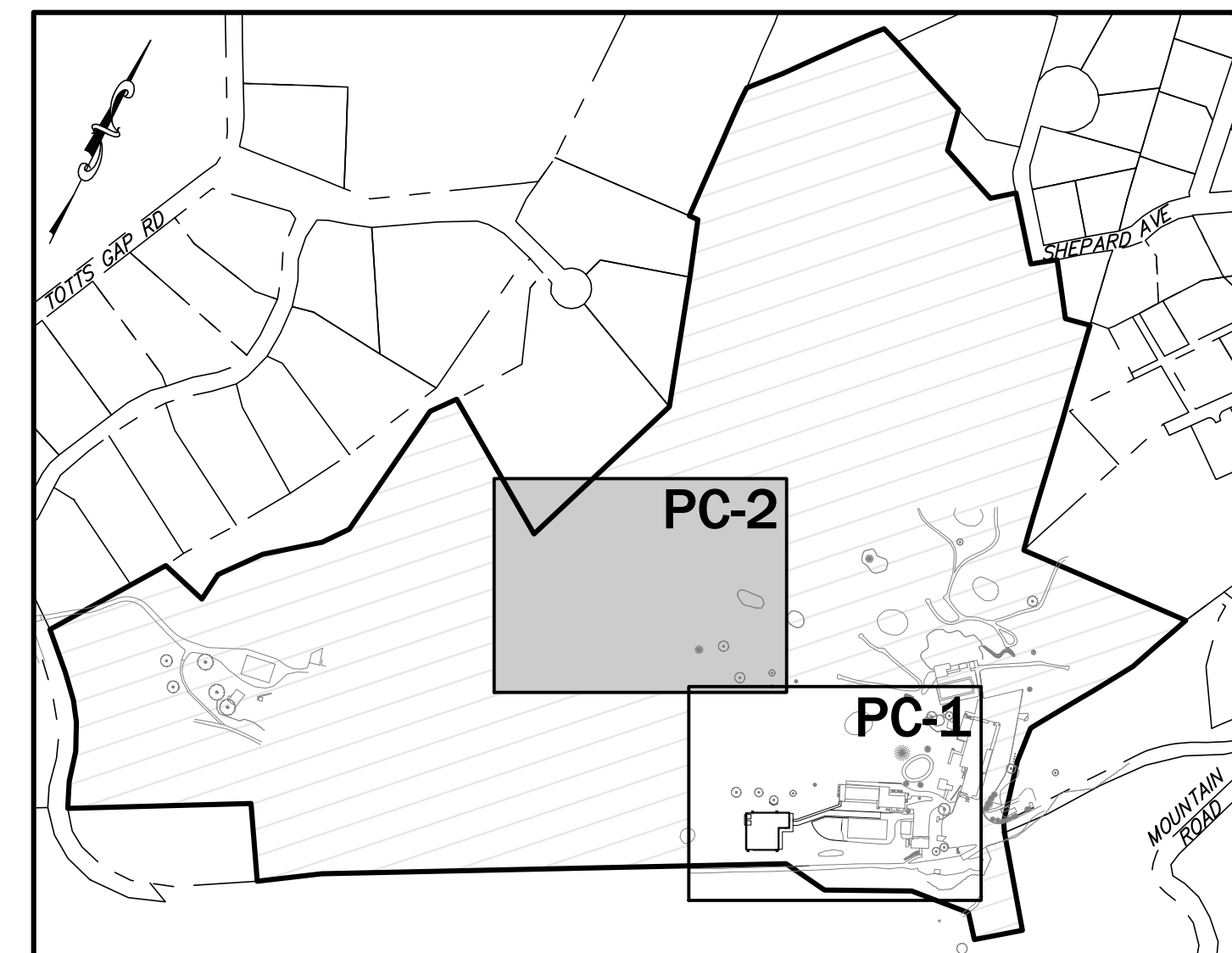
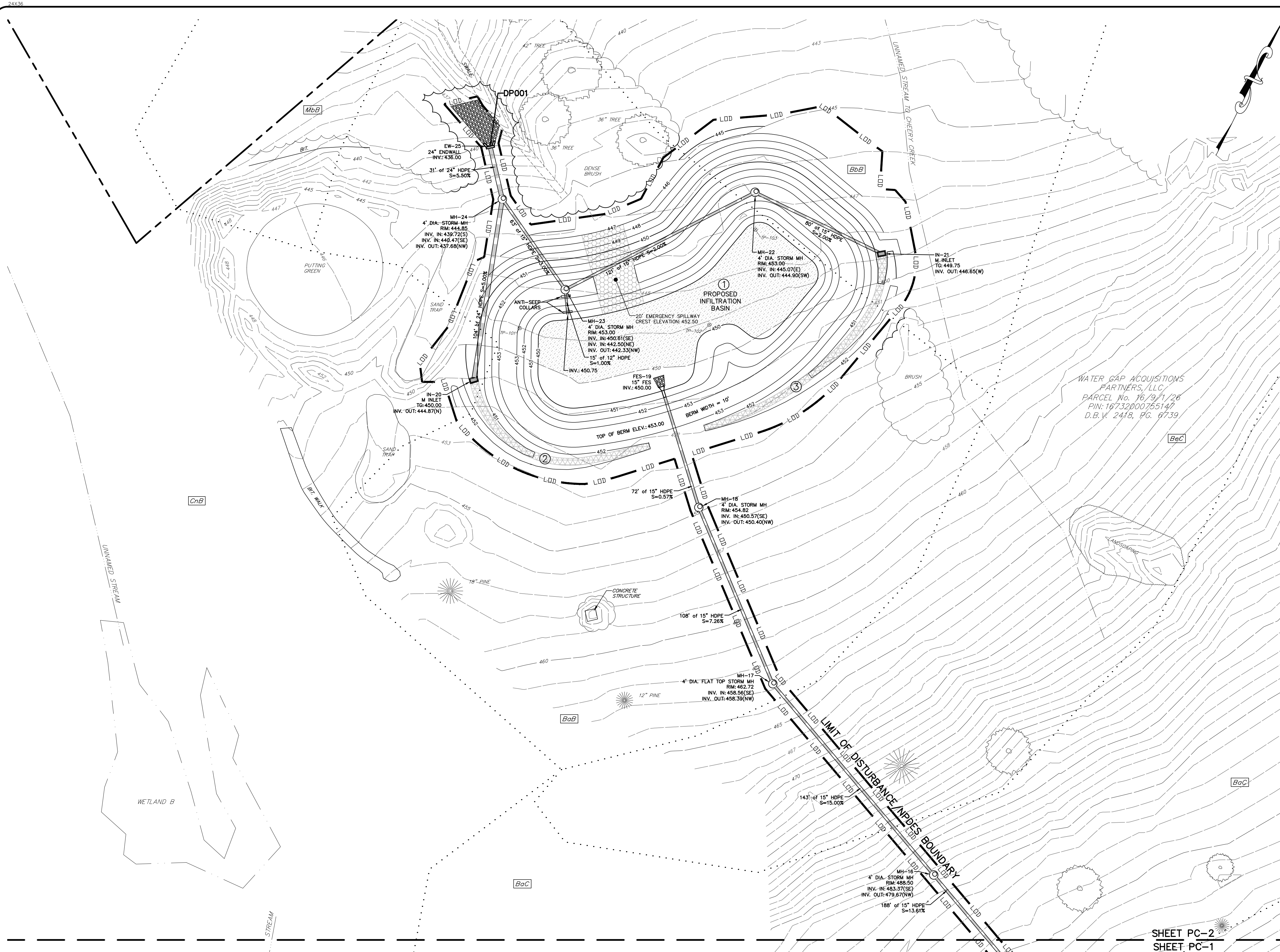


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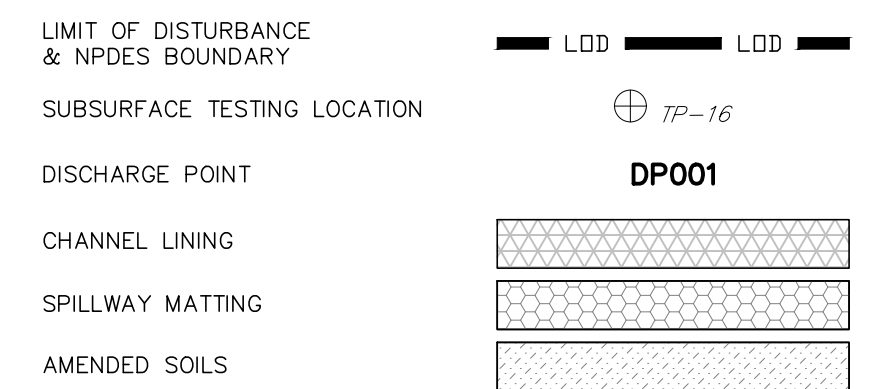
POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
WATER GAP WELLNESS RECREATION CENTER
WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

DATE: 8/28/2024	DSGN: TAL/DFG
SCALE: 1"=30'	CHK: CRS
DRAWN: TAL	APPRD: JPK
JOB: 1022419.004	P MGR: JPK
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PC-1	



LIMIT OF DISTURBANCE: 3.22 ACRES
NPDES BOUNDARY: 3.22 ACRES
RECEIVING WATERS UNIT TO CHERRY CREEK - CWF, MF IMPAIRED FOR PATHOGENS
REFER TO SHEET PCD-1 & PCD-2 FOR POST CONSTRUCTION STORMWATER MANAGEMENT NOTES & DETAILS

PCSM LEGEND



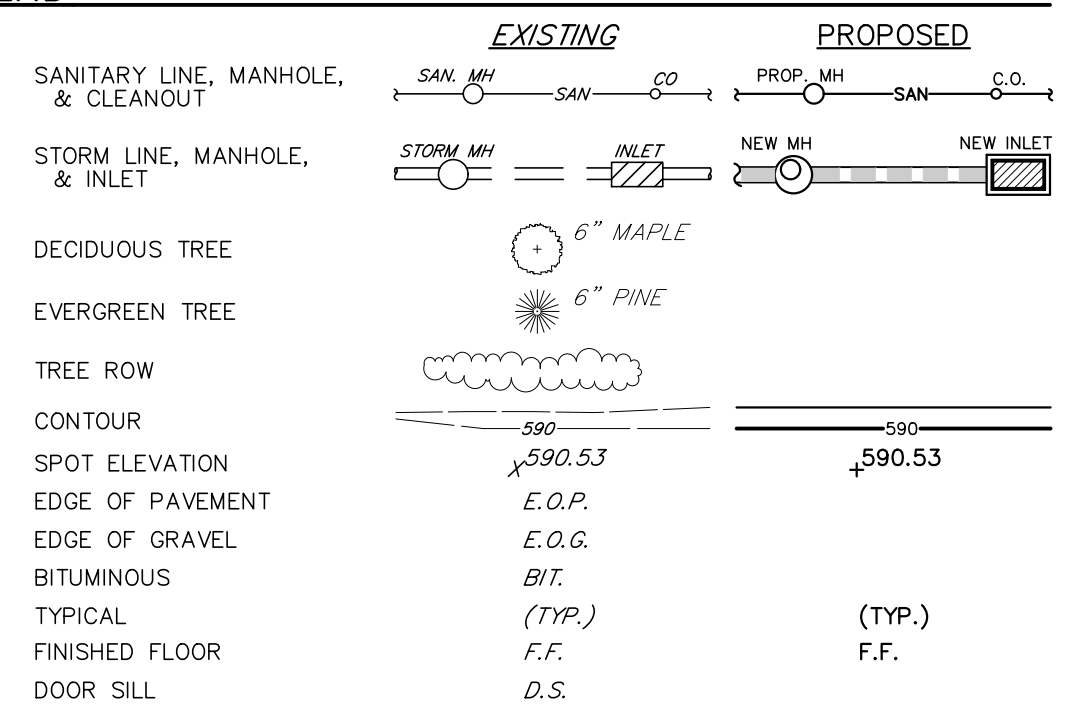
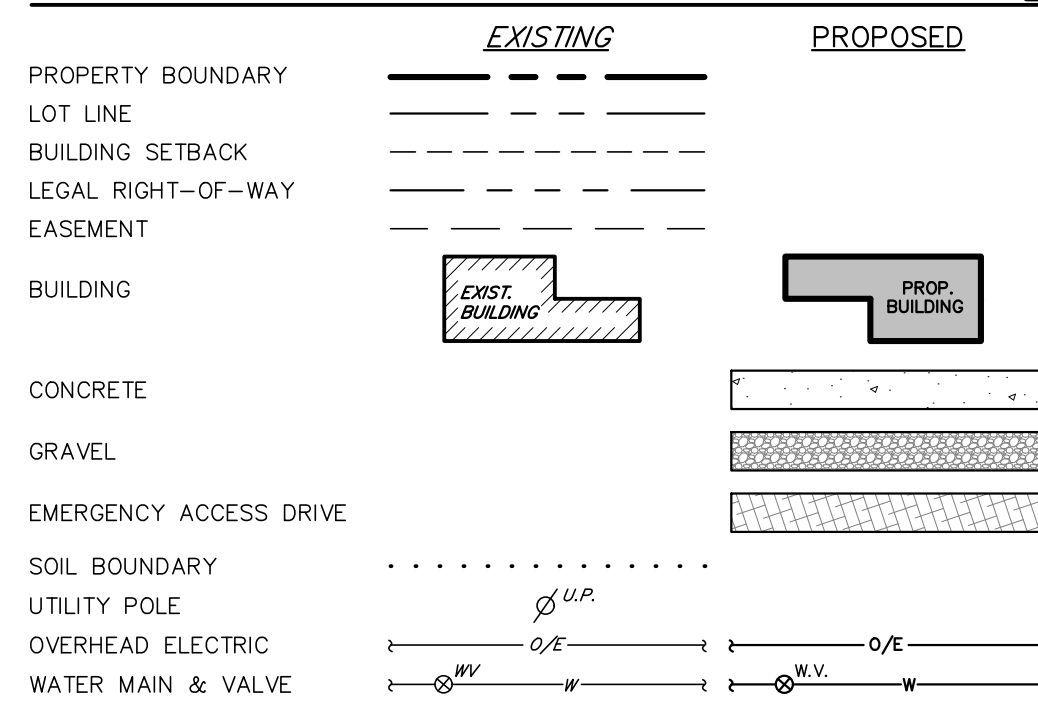
SHEET PC-2
SHEET PC-1

PCSM BMP LIST

- ① BMP #1 - INFILTRATION BASIN
- ② BMP #2 - VEGETATED SWALE
- ③ BMP #3 - VEGETATED SWALE

SOIL CLASSIFICATIONS

- | | |
|------------|---|
| BaB | BATH CHANNERY SILT LOAM
3 TO 8 PERCENT SLOPES |
| BaC | BATH CHANNERY SILT LOAM
8 TO 15 PERCENT SLOPES |
| BbB | BATH CHANNERY SILT LOAM
0 TO 8 PERCENT SLOPES, EXTREMELY STONY |
| BbC | BATH CHANNERY SILT LOAM
8 TO 25 PERCENT SLOPES, EXTREMELY STONY |
| BcC | BENSON-ROCK OUTCROP COMPLEX
8 TO 25 PERCENT SLOPES |
| CnB | CHIPPEWA AND NORWICH SOIL
0 TO 8 PERCENT SLOPES, EXTREMELY STONY |
| LBE | LACKAWANNA AND BATH SOILS
STEEP, RUBBLY |
| MbB | MARDIN VERY STONY SILT LOAM
0 TO 8 PERCENT SLOPES |

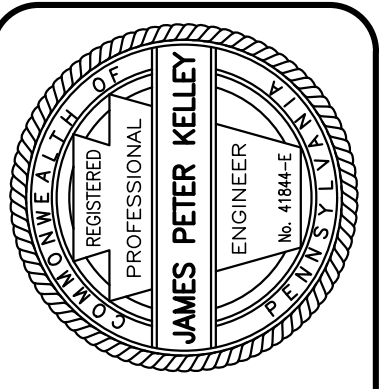


NOTE: VERTICAL TEXT INDICATES PROPOSED FEATURES
SLANTED TEXT INDICATES EXISTING FEATURES

SCALE: 1" = 30'



DATE	BY
REVISIONS	



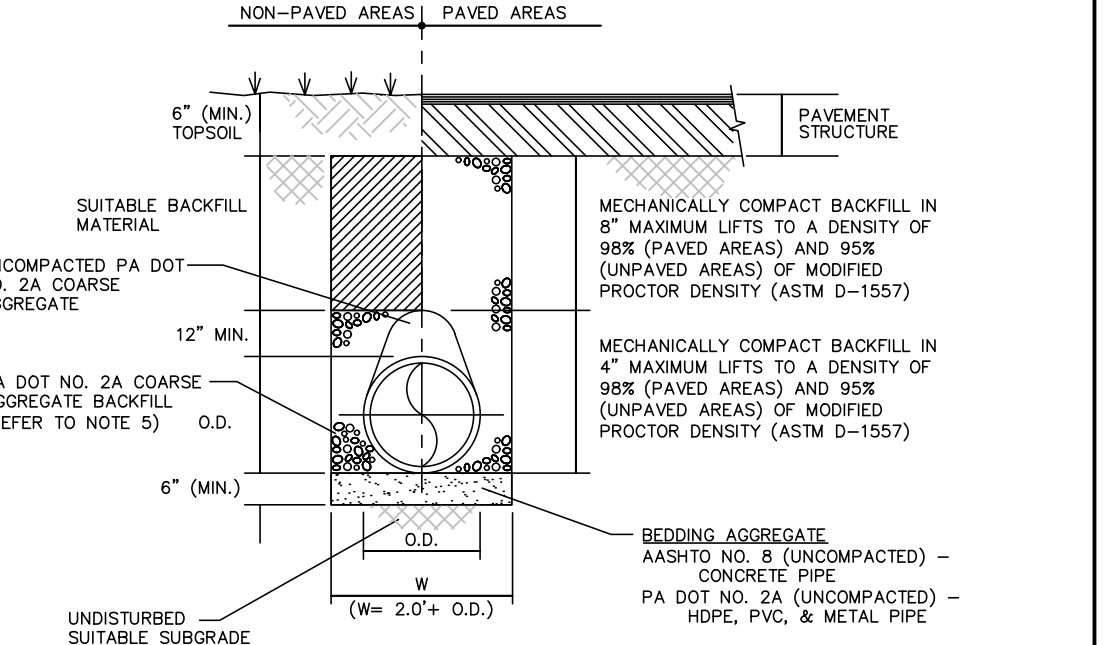
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POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
WATER GAP WELLNESS RECREATION CENTER
WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

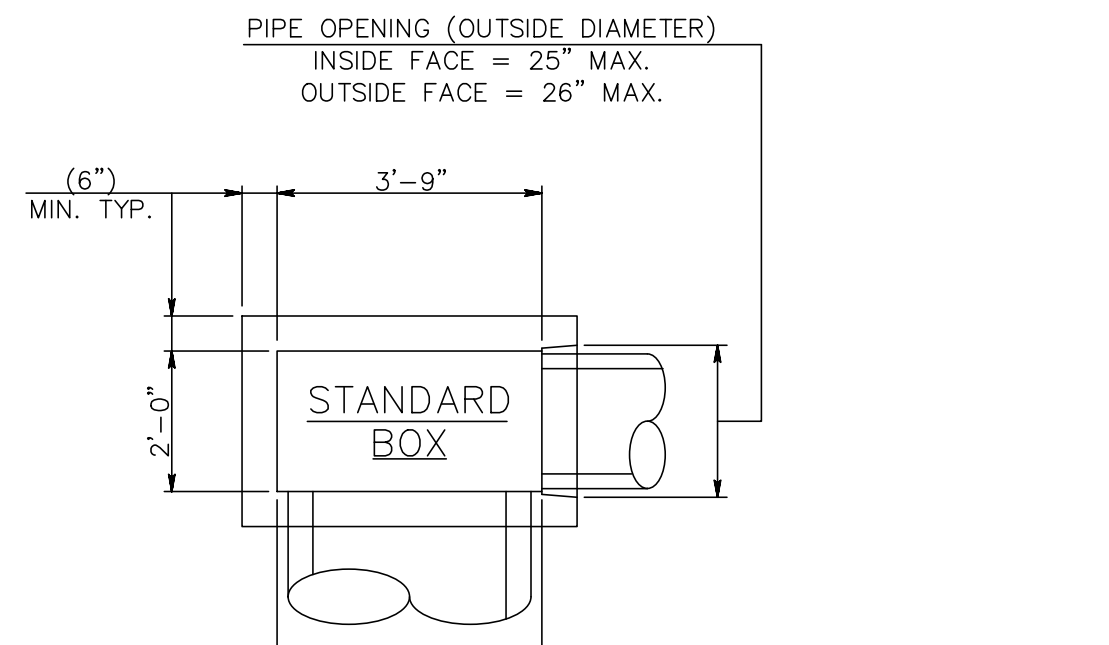
DATE: 8/26/2024	DSGN: TAL/DFG
SCALE: 1"=30'	CHK: CRS
DRAWN: TAL	APPRD: JPK
JOB: 1022419.004	P MGR: JPK
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SHEET: 22 OF 24	

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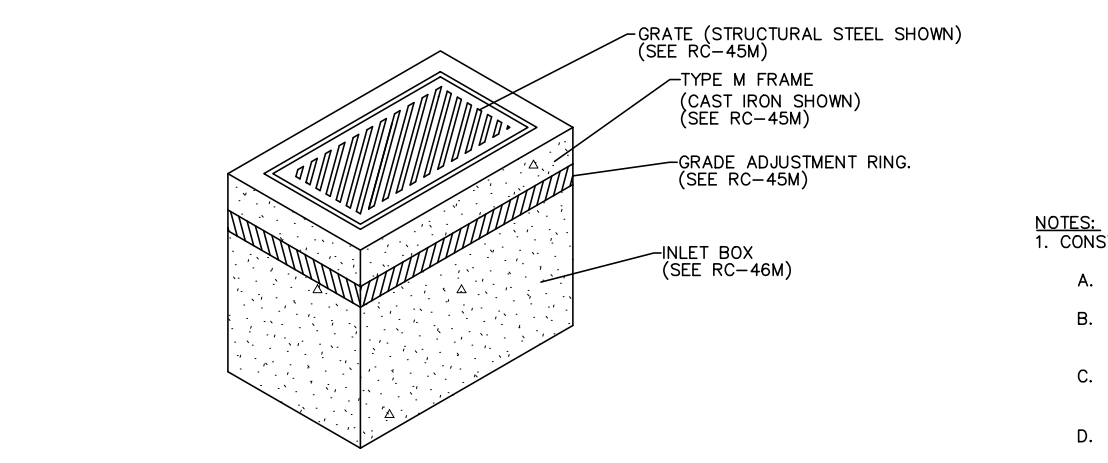
- NOTES: 1. EXCAVATE TRENCH BOX AND INSTALL SHORING AS REQUIRED TO COMPLY WITH FEDERAL, STATE, AND LOCAL LAWS AND CODES.

TYPICAL STORM PIPE TRENCH & BACKFILL N.T.S.



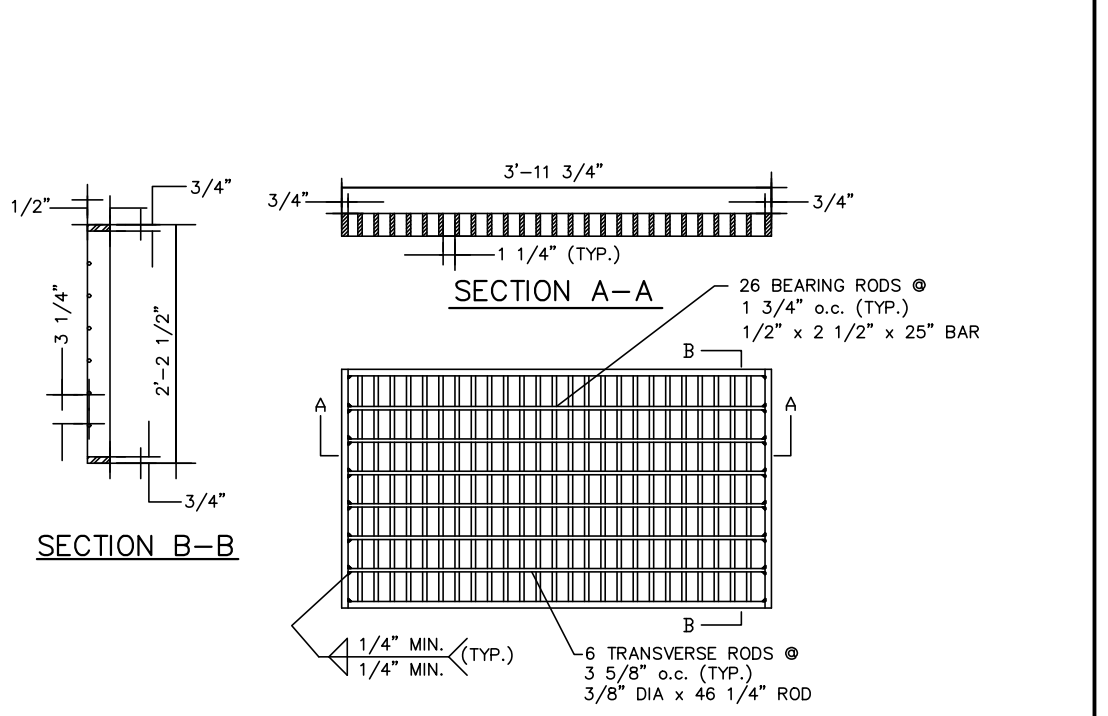
STANDARD INLET BOX N.T.S. REFER TO PENNDOT RC-46M, LATEST EDITION FOR ADDITIONAL NOTES & REQUIREMENTS

STANDARD INLET BOX N.T.S. REFER TO PENNDOT RC-46M, LATEST EDITION FOR ADDITIONAL NOTES & REQUIREMENTS

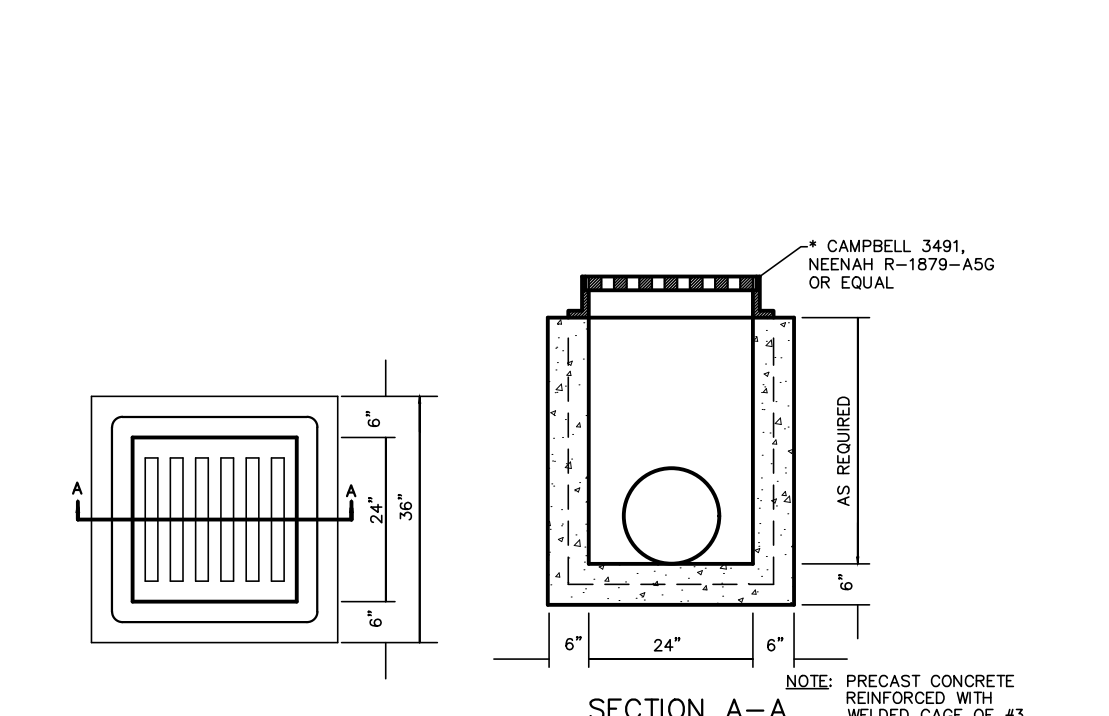


- NOTES: 1. CONSTRUCTION REQUIREMENTS: A. CONSTRUCT IN ACCORDANCE WITH PUBLICATION 408, SECTIONS 605, 606 AND 714; AND AS MODIFIED HEREIN.

TYPE "M" INLET REFER TO PENNDOT RC-45M & RC-46M, LATEST EDITION N.T.S.



STRUCTURAL STEEL GRATE BICYCLE SAFE N.T.S. REFER TO PENNDOT RC-45M & RC-46M, LATEST EDITION



2'x2' CATCH BASIN N.T.S.

SUBSURFACE INFILTRATION BED

GENERAL CONSTRUCTION NOTE: GIVEN THE LIMITED ACCESS TO SUBSURFACE INFILTRATION BEDS, IT IS NEARLY IMPOSSIBLE TO MAINTAIN OR REPAIR THE BMP AFTER CONSTRUCTION AND IN THE EVENT OF FAILURE.

- 1. DUE TO THE NATURE OF CONSTRUCTION SITES, SUBSURFACE INFILTRATION SHALL BE INSTALLED TOWARD THE END OF THE CONSTRUCTION PERIOD.

INSPECTION & MAINTENANCE NOTES

- 1. SYSTEM SHALL BE INSPECTED AT LEAST QUARTERLY DURING THE FIRST YEAR IN SERVICE AND YEARLY AFTER THAT.

POST CONSTRUCTION STORMWATER MANAGEMENT (PCSM) STANDARD NOTES

PERMIT TERMINATION UPON PERMANENT STABILIZATION OF THE EARTH DISTURBANCE ACTIVITY UNDER § 102.22(A)(2) (RELATING TO PERMANENT STABILIZATION), AND INSTALLATION OF BMPS IN ACCORDANCE WITH AN APPROVED PLAN PREPARED AND IMPLEMENTED IN ACCORDANCE WITH §§ 102.4 AND 102.8

- 1. THE PERMITTEE SHALL RETURN A COPY OF THE RECORD DRAWINGS AS A PART OF THE APPROVED PCSM PLAN.

SOIL RESTORATION NOTES

- 1. BEFORE THE TIME THE COMPOST IS PLACED AND PREFERABLY WHEN EXCAVATION IS COMPLETE, THE SUBSOIL SHALL BE IN A LOOSE, FRAGILE CONDITION TO A DEPTH OF 20 INCHES BELOW FINAL TOPSOIL GRADE AND THERE SHALL BE NO EROSION RILLS OR WASHOUTS IN THE SUBSOIL SURFACE.

STORMWATER BMP CONSTRUCTION NOTES

- 1. SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS, OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.

CRITICAL STAGES OF PCSM IMPLEMENTATION

CRITICAL STAGES OF POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN (PCSM) IMPLEMENTATION SHOULD BE OBSERVED AND/OR INSPECTED BY A LICENSED PROFESSIONAL OR DESIGNER. THESE CRITICAL STAGES INCLUDE THE CONSTRUCTION OF CRITICAL BMPs AND ANY OTHER ACTIVITIES AS MAY BE REQUIRED BY THE DEP OR CONSERVATION DISTRICT.

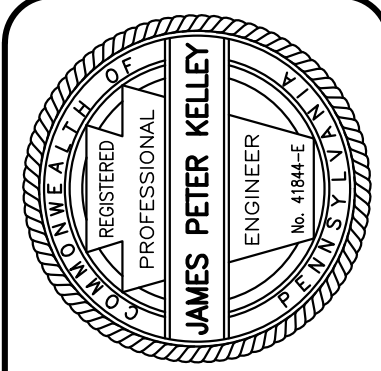
CONSTRUCTION, OWNERSHIP, OPERATIONS, & MAINTENANCE PROCEDURES

POST CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP) AS PROPOSED HEREON, SHALL BE OWNED, OPERATED, AND MAINTAINED AS FOLLOWS: LANCE PULSE, FACILITY DIRECTOR P.O. BOX 244 DELAWARE WATERGAP, PA. 18327

PCSM LONG TERM OPERATIONS AND MAINTENANCE REQUIREMENTS

UNTIL THE PERMITTEE OR CO-PERMITTEE HAS RECEIVED WRITTEN APPROVAL OF A NOTICE OF TERMINATION, THE PERMITTEE OR CO-PERMITTEE WILL REMAIN RESPONSIBLE FOR COMPLIANCE WITH THE PERMIT TERMS AND CONDITIONS INCLUDING LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPs ON THE PROJECT SITE AND IS RESPONSIBLE FOR VIOLATIONS OCCURRING ON THE PROJECT SITE.

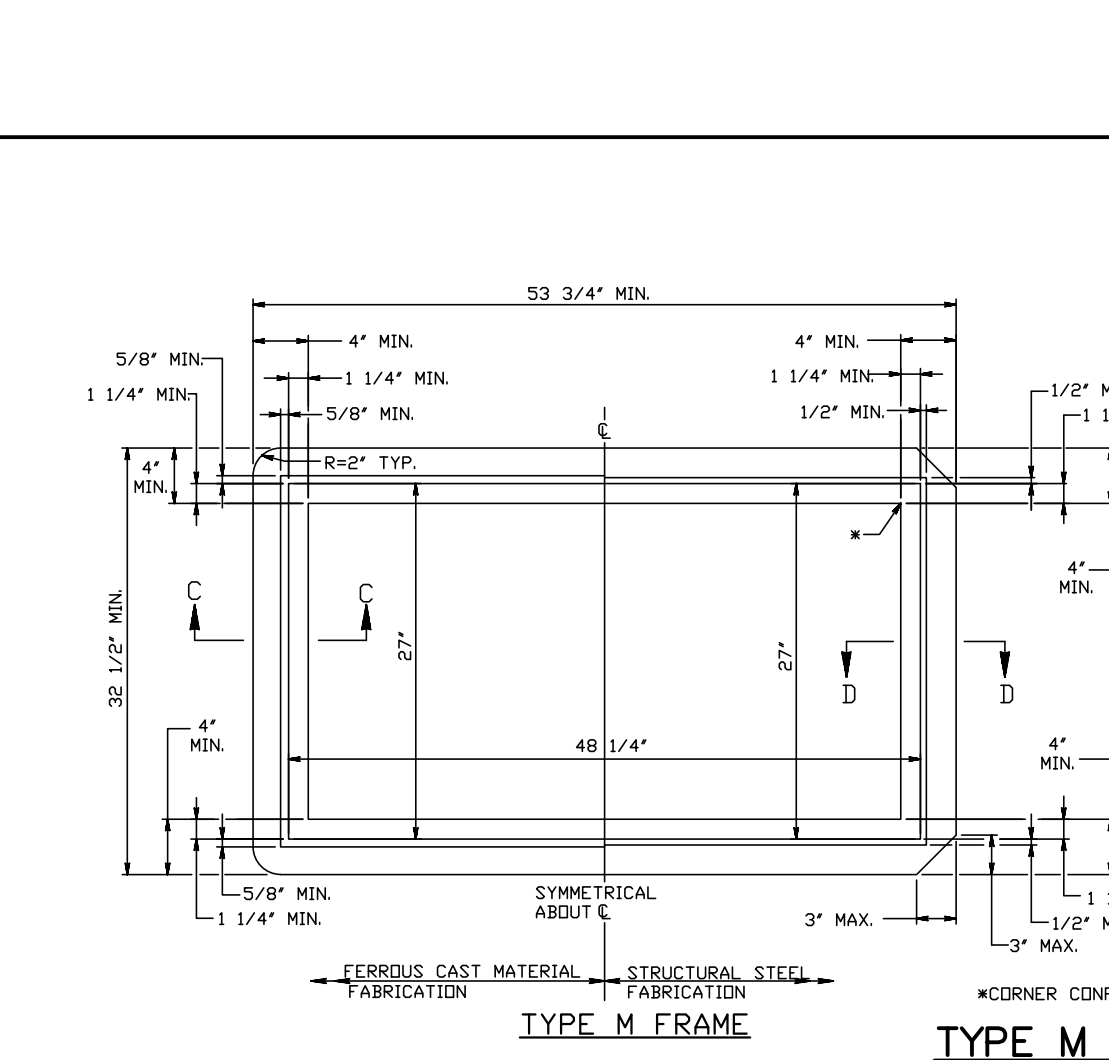
Table with columns for REVISIONS, DATE, and BY.



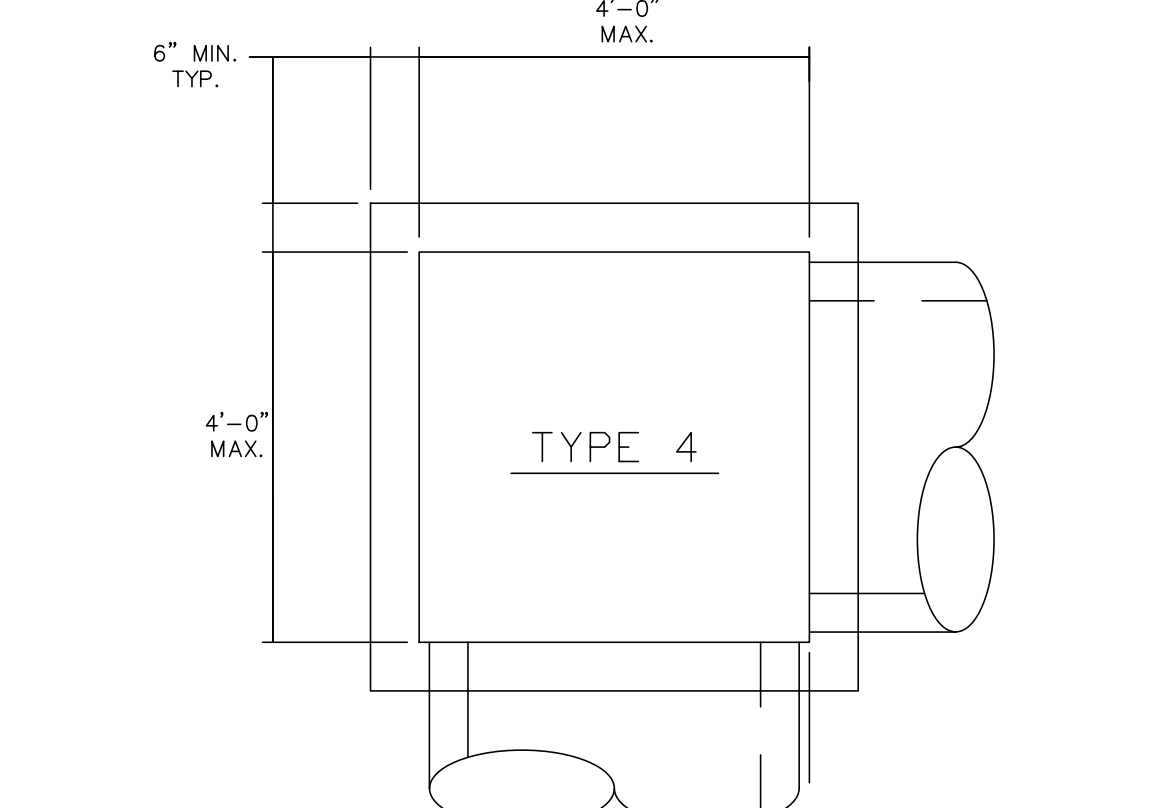
272-200-2050 baryri@pcsm.com 525 Main Street, Suite 200 Stroudsburg, PA 18360



TYPE M INLET FRAME N.T.S. REFER TO PENNDOT RC-45M, LATEST EDITION



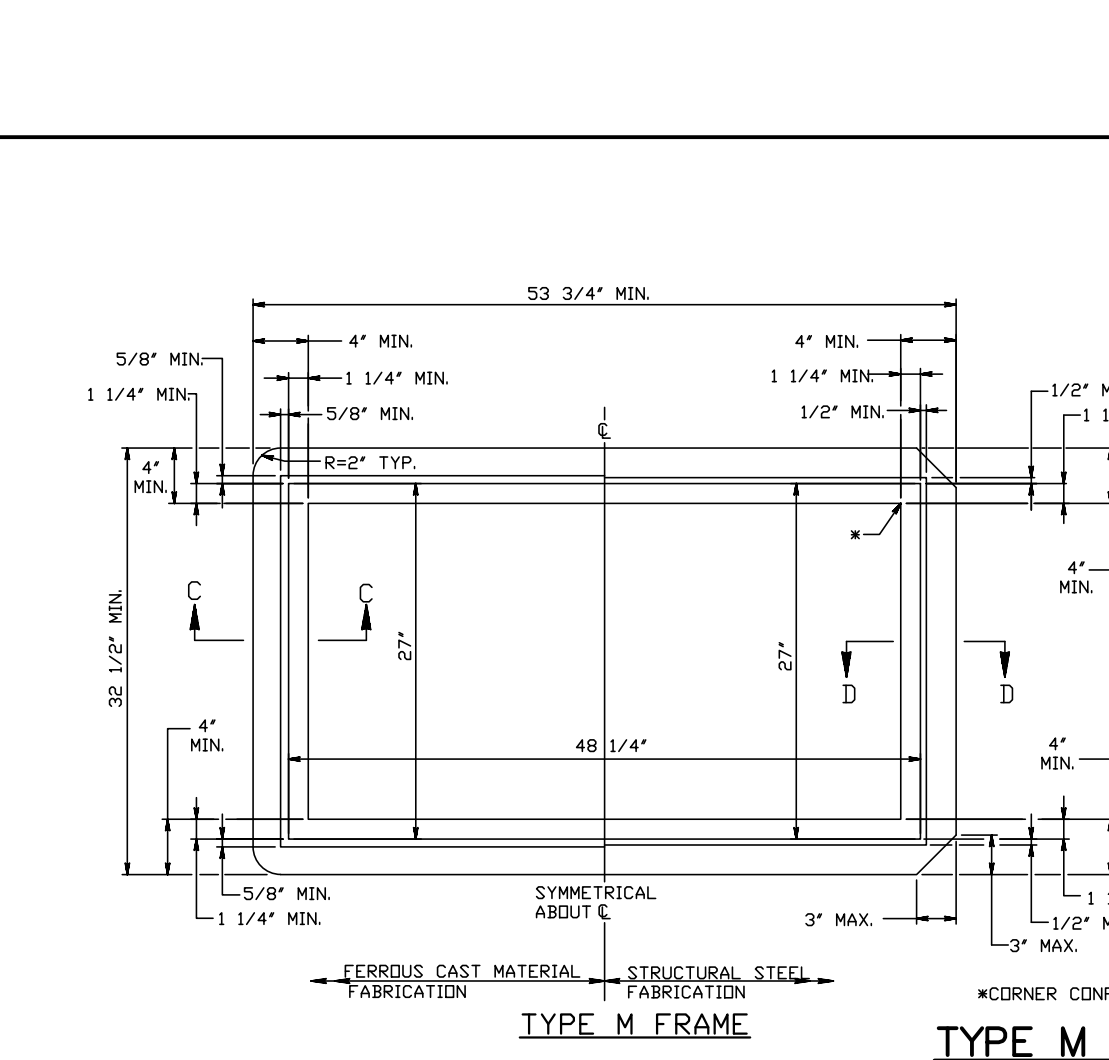
TYPE 4 (4'x4') INLET BOX N.T.S. REFER TO PENNDOT RC-46M, LATEST EDITION



AMENDED SOILS DETAIL NOT TO SCALE

POST-CONSTRUCTION STORMWATER MANAGEMENT WATER QUALITY CONTROL SEED MIXTURE

Table with columns: Botanical Name, Root, Notes. Lists various seed types like Uniform Cover, Swath/Group Cover, and their frequencies.



TYPE M INLET FRAME N.T.S. REFER TO PENNDOT RC-45M, LATEST EDITION

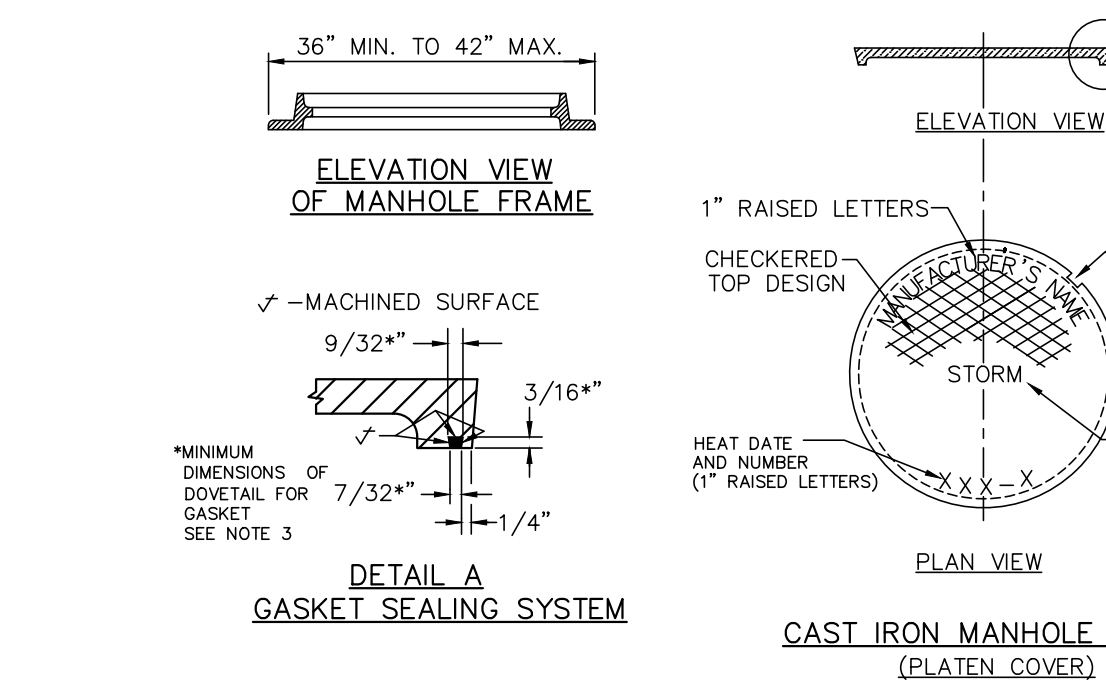
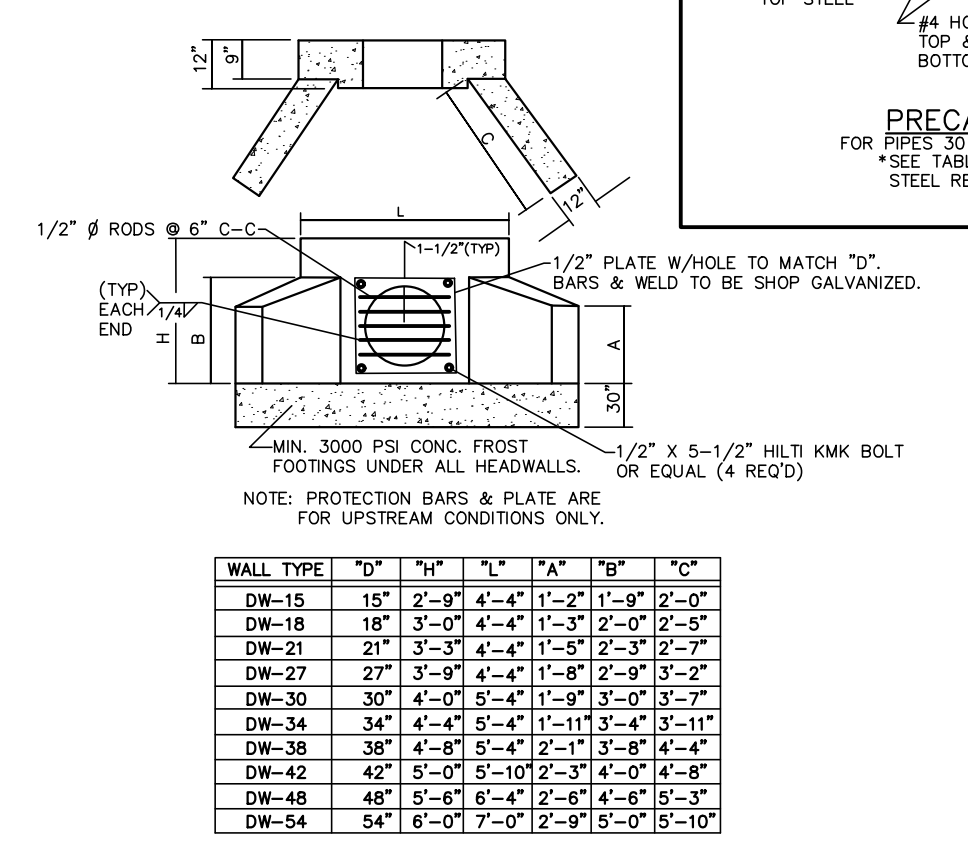
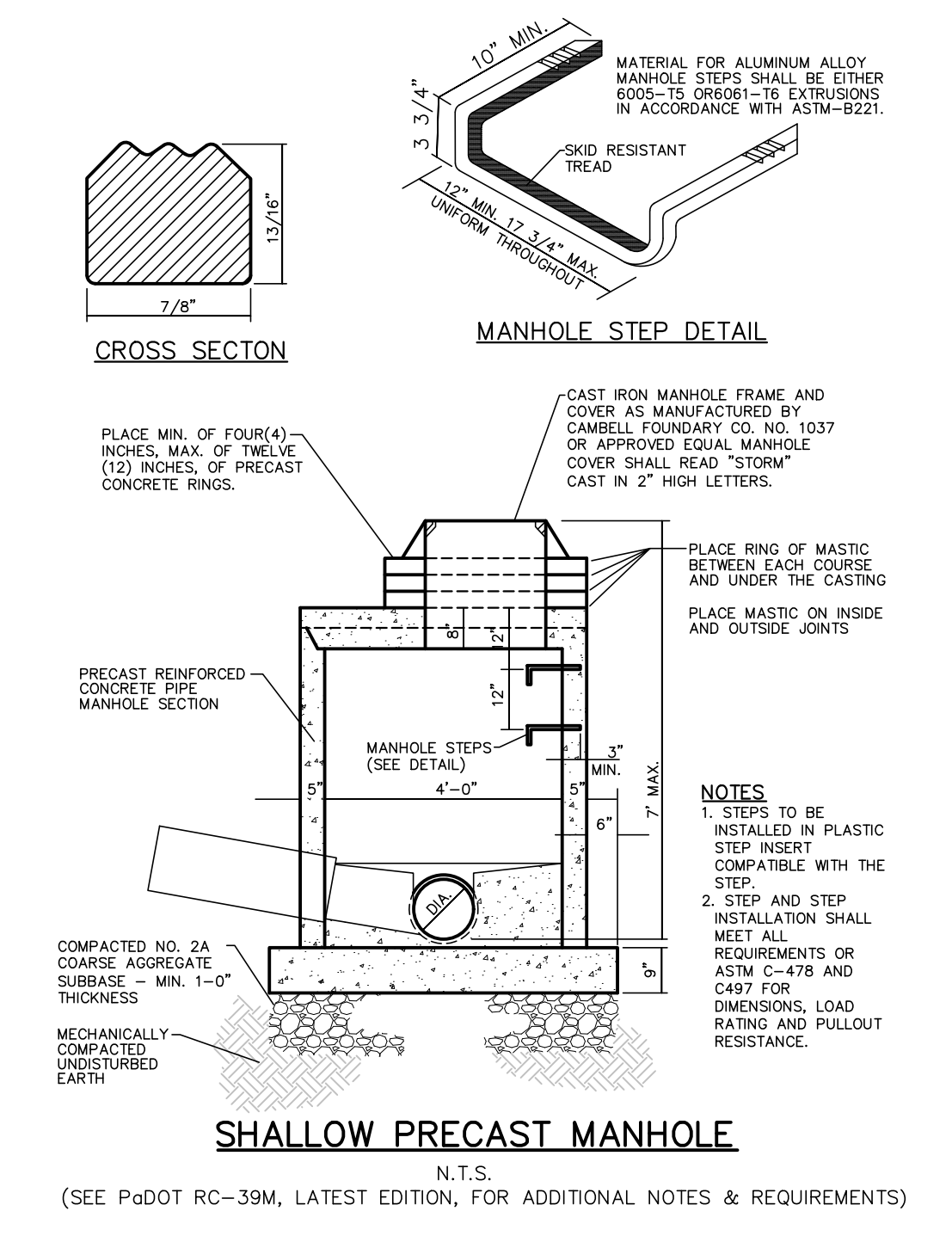
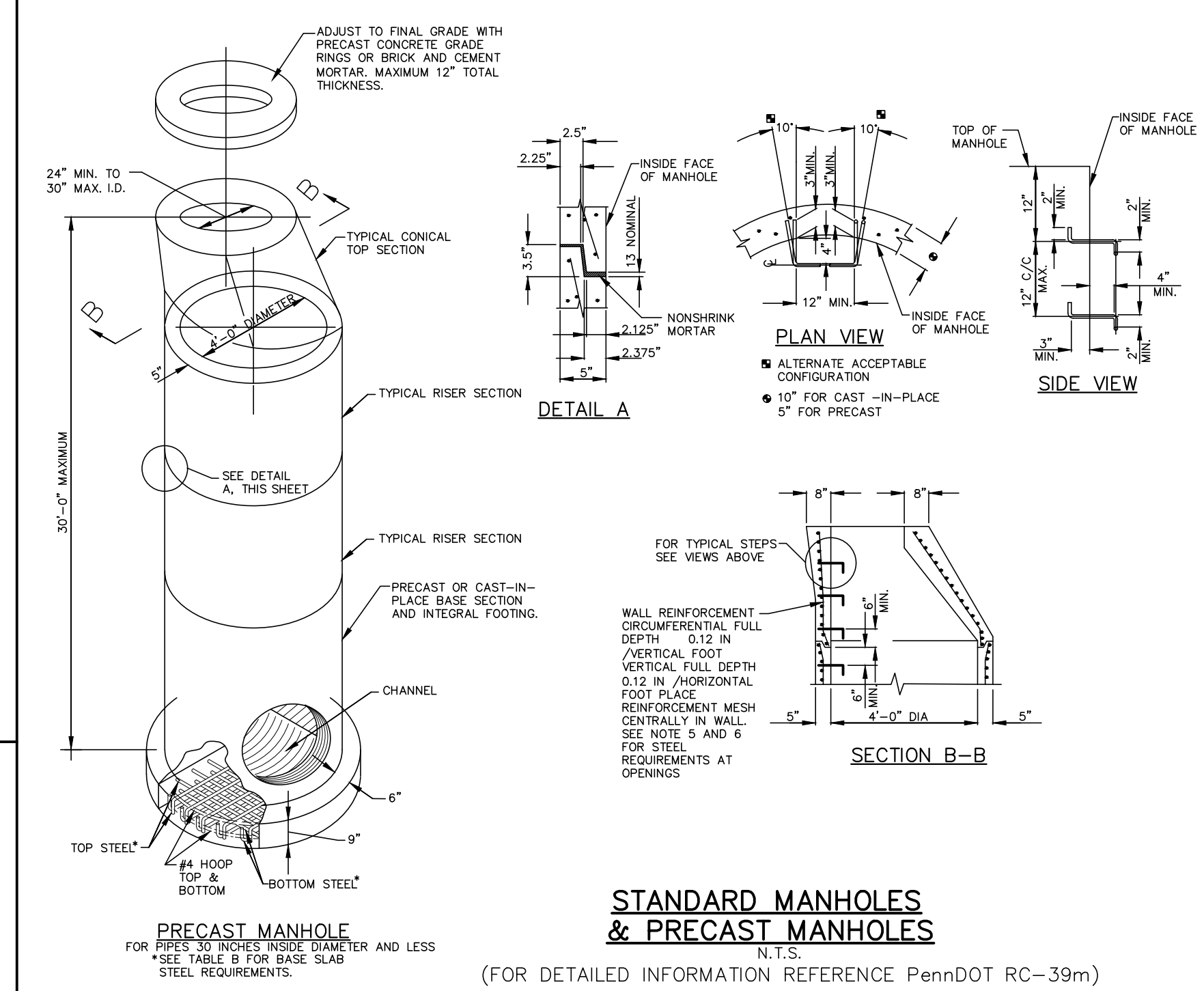
RECYCLING OR DISPOSAL OF MATERIALS

RECYCLING OR DISPOSAL OF MATERIALS ASSOCIATED WITH OR FROM THIS PROJECT SITE WILL BE UNDERTAKEN IN ACCORDANCE WITH PA DEP RULES AND REGULATIONS.

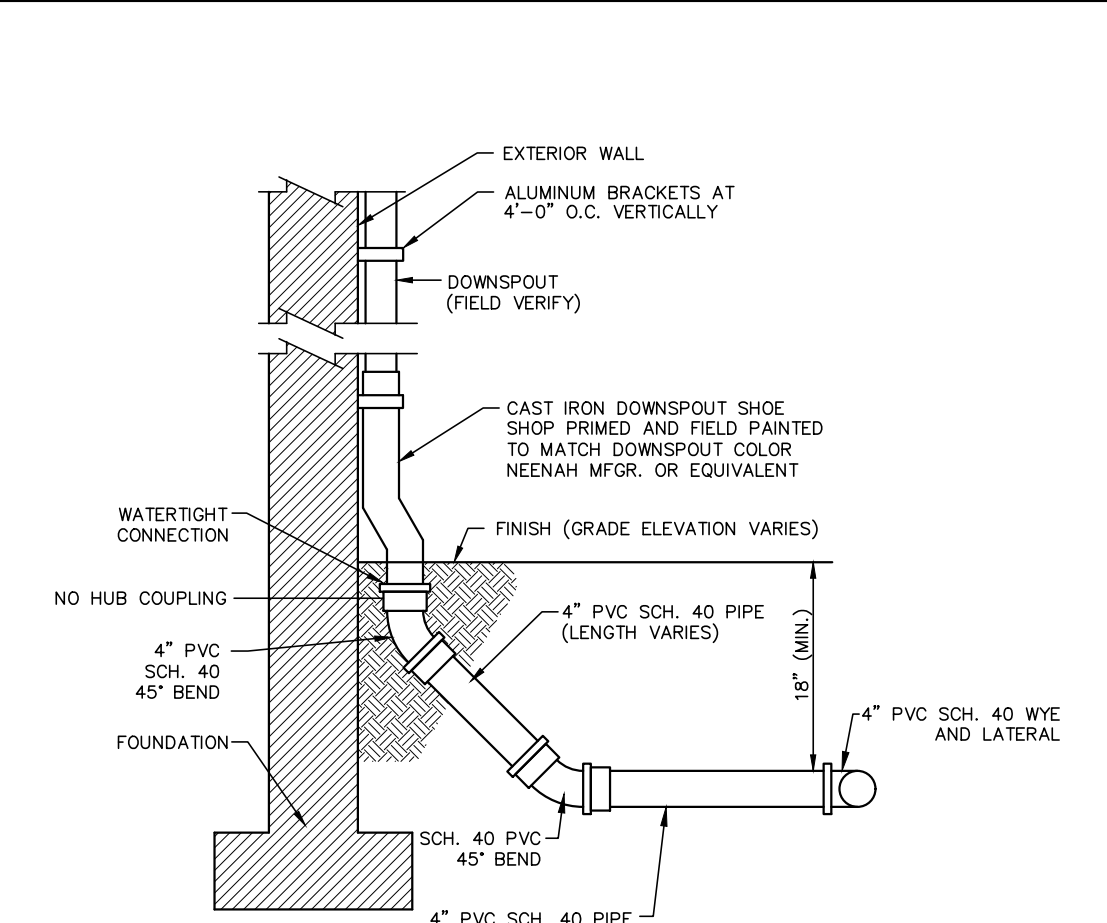
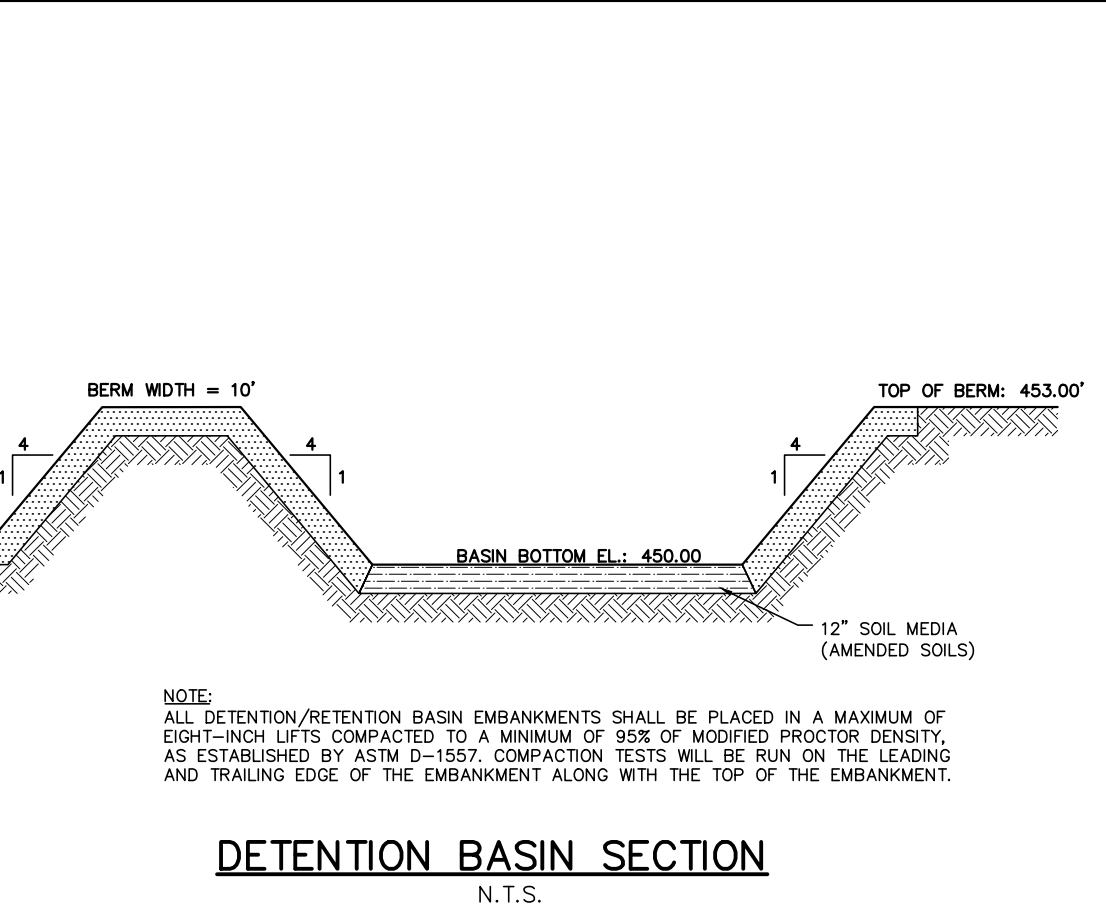
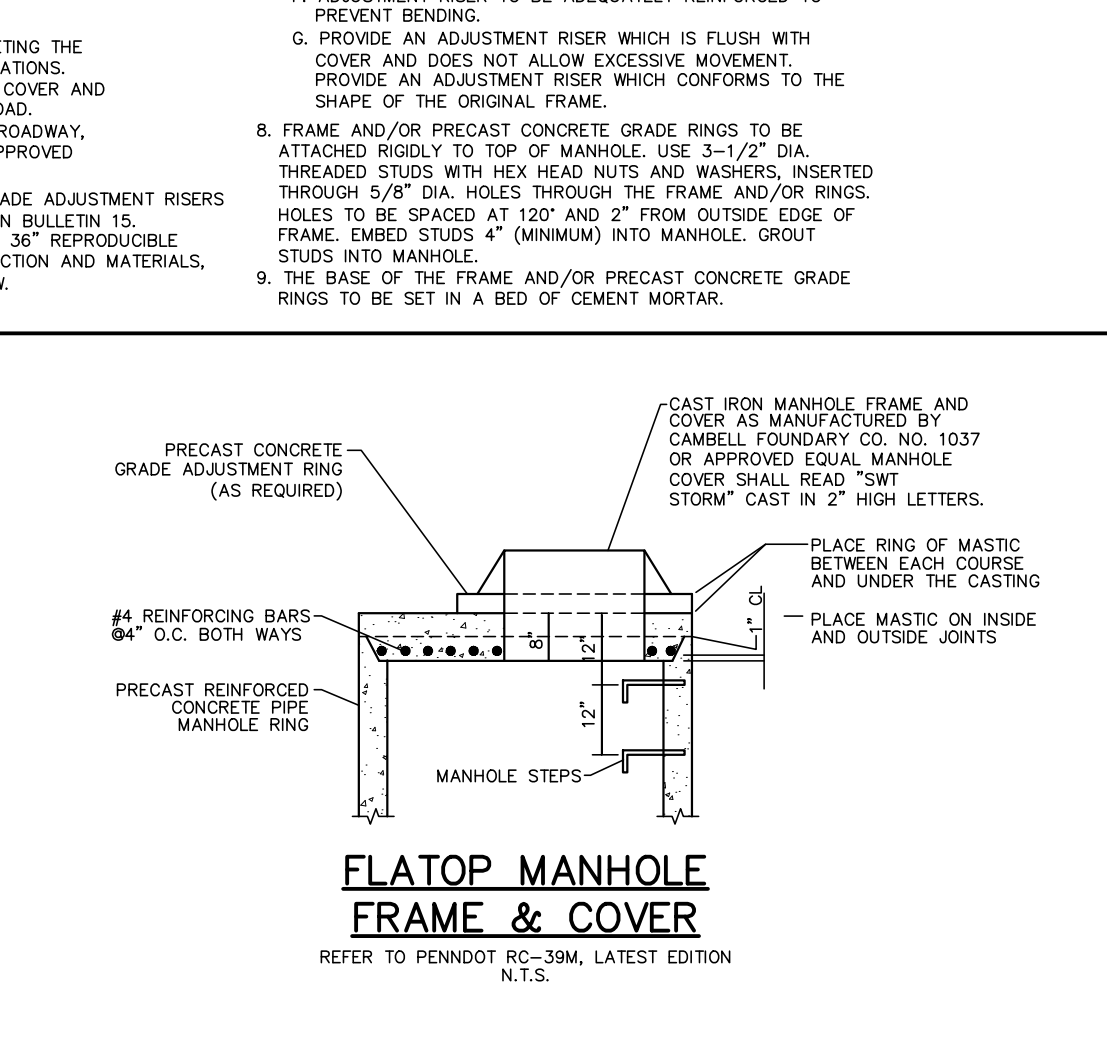
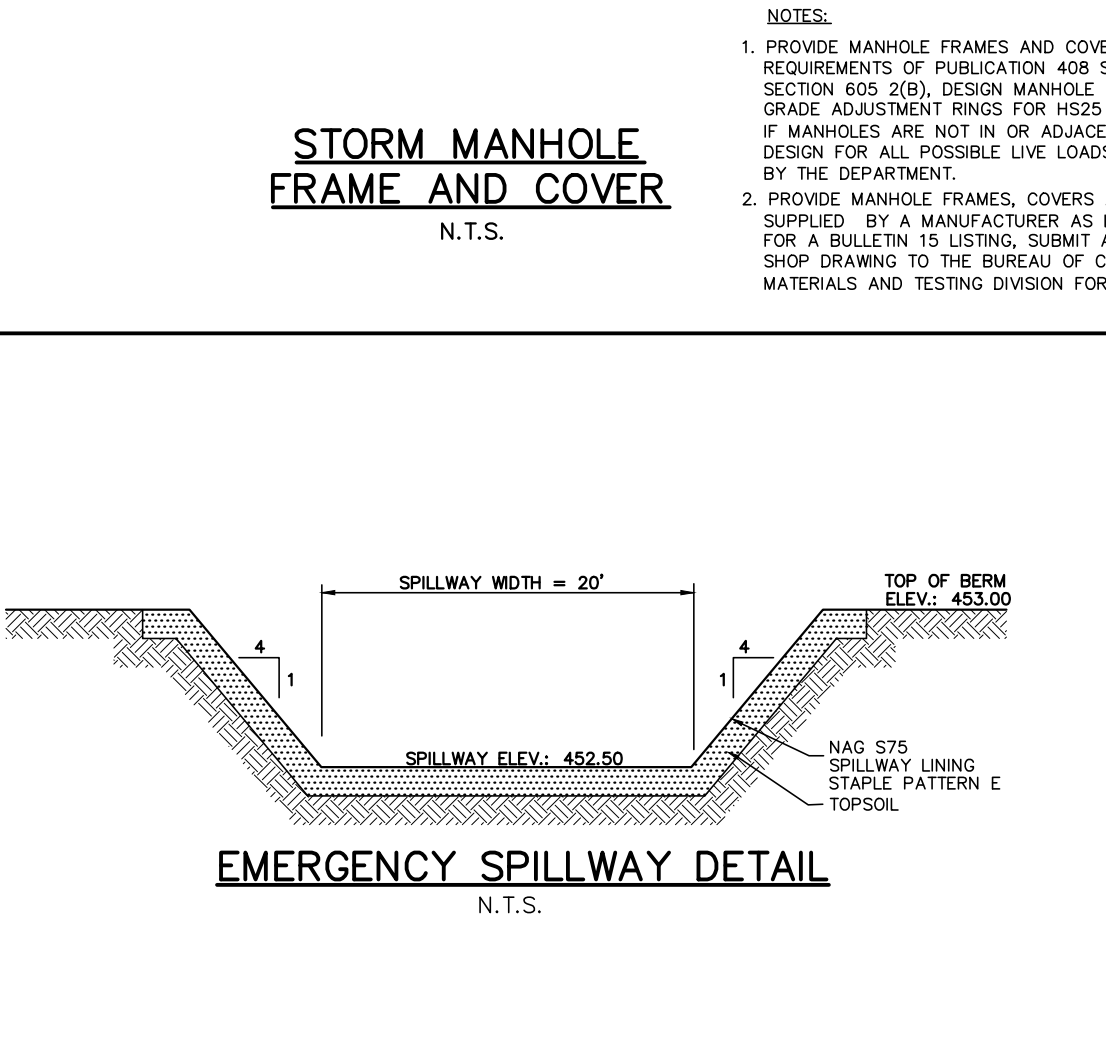
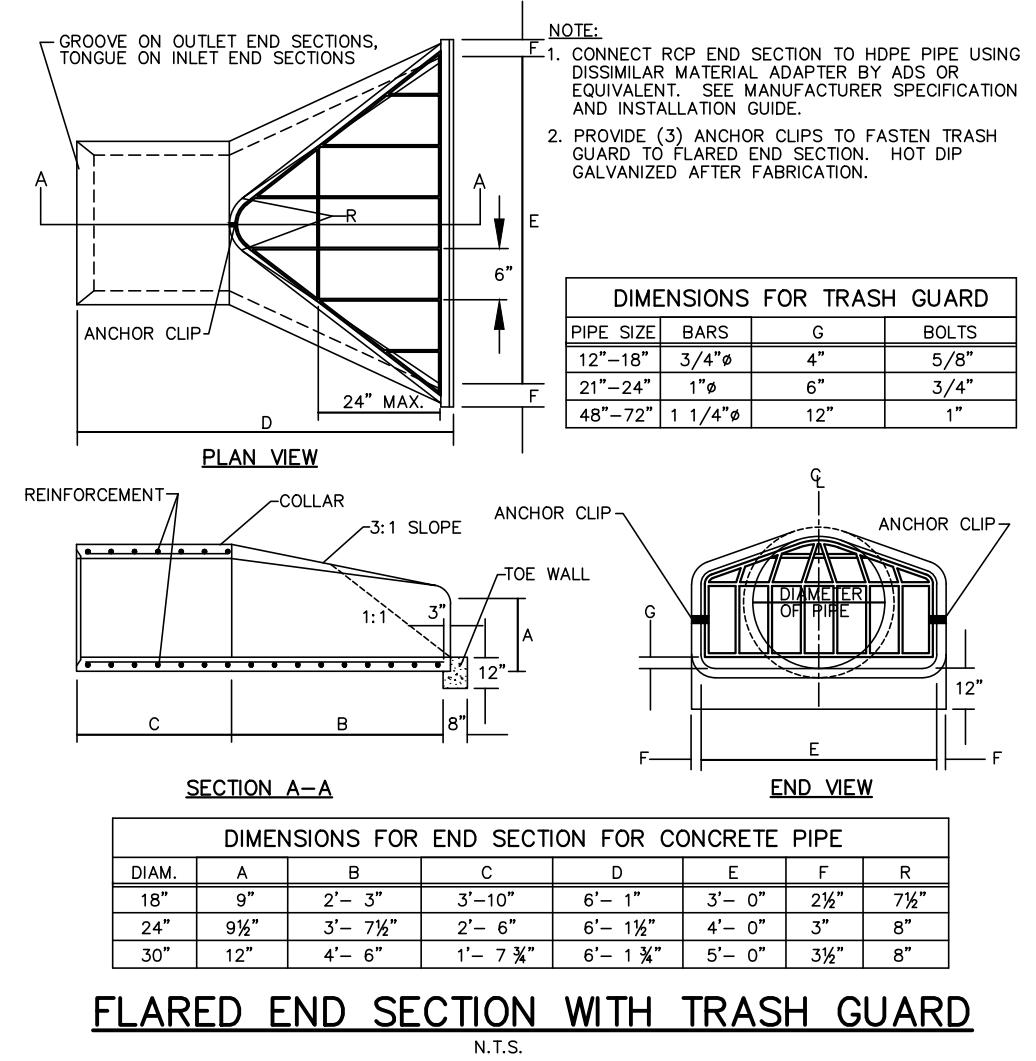
POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS WATER GAP WELLNESS RECREATION CENTER WATER GAP ACQUISITIONS PARTNERS, LLC SMITHFIELD TOWNSHIP MONROE COUNTY, PA

Table with columns: DATE, SCALE, DRAWN, JOB, DSGN, CHK, APPRD, P MGR.

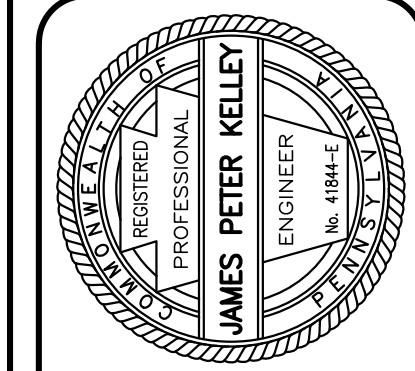
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- PROVIDE A GASKET SEALING SYSTEM (DOWEL GROOVE AND CONTINUOUS GASKET), AS INDICATED IN DETAIL A, TO PREVENT INFLOW THROUGH THE BEARING SURFACES, OF SURFACE RUNOFF WATER IN THE MANHOLE SYSTEM. WHEN SPECIFIED, PROVIDE 1/4" DIA. ONE PIECE SELF SEAL POLYISOPRENE ROUND GASKET, 40 DUROMETER GLED IN PLACE. PROVIDE TWO (2) LIFT HOLES AT 180° TO FACILITATE COVER REMOVAL FOR SELF-SEALING MANHOLE COVER.
- PROVIDE ONE LIFT HOLE TO FACILITATE COVER REMOVAL FOR NON-SEALING MANHOLE COVER.
- FRAME AND GRADE ADJUSTMENT RISER TO HAVE A MINIMUM 1" BEARING SEAT FOR COVER.
- LOCATE TOP OF FRAME OR ADJUSTMENT RISER 1/8" BELOW THE TOP OF ROADWAY SURFACE.
- GRADE ADJUSTMENT RISERS PROVIDE GRADE ADJUSTMENT RISERS MEETING THE REQUIREMENTS OF PUBLICATION 408 SPECIFICATIONS, SECTION 606, AND AS MODIFIED HEREIN:
 - EACH ADJUSTMENT RISER TO BE CUSTOM FABRICATED FROM MEASUREMENTS PROVIDED WITH EACH ORDER.
 - BAR STOCK AND RETAINER CLIP TO BE MANUFACTURED FROM U.S. MADE CARBON STEEL MEETING OR EXCEEDING THE MINIMUM REQUIREMENTS OF A.S.T.M. A-36.
 - FULL CIRCUMFERENTIAL WELDS ARE REQUIRED ON BOTH TOP AND BOTTOM RINGS. THE INNER WELD TO BE BEVEL GROOVE WELD (FLUSH FINISH FOR PROPER SEATING OF MANHOLE LID AND THE OUTER WELD TO BE FILLET WELD.
 - MINIMUM WIDTH OF BOTTOM AND TOP BAR STOCK TO BE 1" AND 3/8", RESPECTIVELY.
 - BOTTOM BAR STOCK FOR MULTI-PIECE ADJUSTMENT RISER TO BE TAPPED FOR 1/2" DIAMETER ADJUSTMENT BOLT.
 - ADJUSTMENT RISER TO BE ADEQUATELY REINFORCED TO PREVENT BENDING.
- PROVIDE AN ADJUSTMENT RISER WHICH IS FLUSH WITH COVER AND DOES NOT ALLOW EXCESSIVE MOVEMENT. PROVIDE AN ADJUSTMENT RISER WHICH CONFORMS TO THE SHAPE OF THE ORIGINAL FRAME.
- FRAME AND/OR PRECAST CONCRETE GRADE RINGS TO BE ATTACHED RIGIDLY TO TOP OF MANHOLE. USE 3x1/2" DIA. THREADED STUDS WITH HEX HEAD NUTS AND WASHERS, INSERTED THROUGH 5/8" DIA. HOLES THROUGH THE FRAME AND/OR RINGS. HOLES TO BE SPACED AT 120° AND 2" FROM OUTSIDE EDGE OF FRAME. EMBED STUDS 4" (MINIMUM) INTO MANHOLE. DROUT STUDS INTO MANHOLE.
- THE BASE OF THE FRAME AND/OR PRECAST CONCRETE GRADE RINGS TO BE SET IN A BED OF CEMENT MORTAR.



REVISIONS	DATE	BY



272.200.2050
baryrissett.com
525 Main Street, Suite 200
Stroudsburg, PA 18360



POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS
WATER GAP WELLNESS RECREATION CENTER
WATER GAP ACQUISITIONS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

DATE: 8/26/2024	DSGN: TAL/DFG
SCALE: AS NOTED	CHK: CRS
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SHEET: 24 OF 24	

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