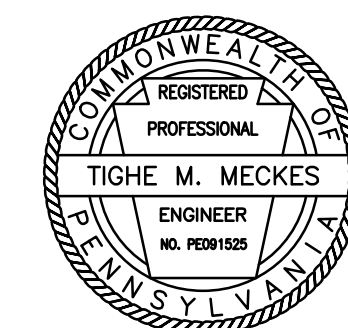
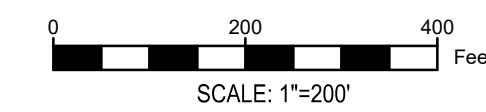


PROPERTY OWNERS

1. NAHID NESARI - FRANKLIN HILL ROAD PARCEL 16.7E.1.28
2. DONALD W. & RUTH ANN POPE - 157 HIDDEN VALLEY DR.
3. ANDREW SHUKAITIS - 6315 FRANKLIN HILL RD.
4. DANA GILBERT - 110 HIDDEN VALLEY DR.
5. ANDRWE SHUKAITIS - HIDDEN VALLEY DR. PARCEL 16.7.2.23-2
6. JOSEPH SHUKAITIS - 6277 FRANKLIN HILL RD.
7. ANTHONY GRECO - 6193 FRANKLIN HILL RD.
8. LAURA M. ZAPUSHNY - 6241 FRANKLIN HILL RD.
9. NEL S. JONES - 6255 FRANKLIN HILL RD.
10. FRANK J. & LISA M. IMBERT - FRANKLIN HILL RD. PARCEL 16.92868
11. FRANK J. & LISA M. IMBERT - 6227 FRANKLIN HILL RD.
12. ANAIS MEZA - 301 MUSIC CENTER DR.
13. ALBERT H. & KAREN H. DUDLEY - 6242 FRANKLIN HILL RD.
14. ZAKIYAH WILLIAMS - 292 MUSIC CENTER DR.
15. REYNALDO ALBERTO - 299 MUSIC CENTER DR.
16. IVAN M. & JESSICA V. RIVERA - 284 MUSIC CENTER DR.
17. DAVID J. LANTZ JR. FAMILY TRUST - 280 MUSIC CENTER DR.
18. CHARLES A. & GRACE BARZYDLO - 270 MUSIC CENTER DR.
19. N & B CONSTRUCTION LLC - MUSIC CENTER DR. PARCEL 16.7F.1.2
20. LYNN C. & SUSAN D. LESOINE - FRANKLIN HILL RD. PARCEL 16.7F.1.10
21. LYNN C. & SUSAN D. LESOINE - 6248 FRANKLIN HILL RD.
22. ELIZABETH YUNG SOOK MOON - 100 WOODWIND CT.
23. LOUIS ROMANO - 76 SYMPHONY DR.
24. RICKY & LILLIAN T. RIVERA - 74 SYMPHONY DR.
25. ROBERT HOODIMAN - 72 SYMPHONY DR.
26. THE TYLER GORDON TRUST - 70 SYMPHONY CIR.
27. LORRAINE M. PENTON - 68 SYMPHONY CIR.
28. KIMBERLY S. ADAMS - 66 SYMPHONY CIR.
29. JESSICA RODRIGUEZ - 64 SYMPHONY CIR.
30. PIETRO & AMALIA DESANTIS - 62 SYMPHONY CIR.
31. IVOR R. SQUIRES - 60 SYMPHONY CIR.
32. GREGORY J. & LINDA E. YEAGER - 50 BROOK SONG WAY
33. KAMALUDDIN ALLADIN - 71 SYMPHONY CIR.
34. RENATO & INGRID NARANJO - 69 SYMPHONY CIR.
35. CHARLES M. & JEANETTE P. YEAGER - 65 SYMPHONY CIR.
36. CARLOS A. & SANDRA C. RAUDA - 63 SYMPHONY CIR.
37. RONALD & NIKKI D. LANGFORD - 51 BROOK SONG WAY
38. ERIC J. CASSELL - 224 DOCTOR LANE
39. ANTHONY QUINONES - 141 BULLDOG HL.
40. DAVID W. SMOKE - GAP VIEW DR.
41. FIDORO F. & SUSAN SCALERCIO - 131 BULLDOG HL.
42. ROBERT L. & PAULA L. WILLISTON - 2383 GAP VIEW DR.
43. DAVID A. ISKOWITZ - 193 ALBERT LANE
44. LAURA A. PETTINATO - 199 ALBERT LANE
45. JAMES G. LONG - 147 ALBERT LANE
46. PENN LEADERS LLC - 2417 GAP VIEW DR.
47. ROBERT JOHN HARRIS - DOGWOOD ST. PARCEL 16.7D.2.14
48. SIGISMUND & ANNELES E. PELZER - 5433 DEERFIELD DR.
49. CLAU SIGISMUND & JANET PELZER - 5435 DEERFIELD DR.
50. JOSEPH REYNOLDSON - 5443 DEERFIELD DR.
51. DAVE WEDDERMANN - 5449 DEERFIELD DR.
52. JAMES H. & EVELYN G. KLAMMER - 5451 DEERFIELD DR.
53. LISANDRO & LILLIAN ROSA - DOGWOOD ST. PARCEL 16.7D.2.13
54. ROBERT JOHN HARRIS - DOGWOOD ST. PARCEL 16.7D.2.12
55. MARILYN R. SHULTZ - PINE ST. PARCEL 16.7D.2.11
56. MARILYN R. SHULTZ - 5407 DEERFIELD DR.
57. FRANK M. BROWN JR. - FRANKLIN HILL RD. PARCEL 16.7D.2.25
58. FRANK M. & PATRICIA A. BROWN - 5410 DEERFIELD DR.
59. MICHAEL S. RENFREW - 5412 DEERFIELD DR.
60. ALAN R. PRIDE JR. - 5432 DEERFIELD DR.
61. GEORGE J. SAPPAN - 5438 DEERFIELD DR.
62. HECTOR R. SILVA - 5444 DEERFIELD DR.
63. JOHN T. & VIRGINIA CUMMINGS - 5452 DEERFIELD DR.
64. JILL M. SHUKAITIS - 6298 FRANKLIN HILL RD.
65. GAVRIL SIMUTIU - 6298 FRANKLIN HILL RD.
66. STEPHEN P. & KIMBERLEE S. HETTEL - 134 ALBERT LN.



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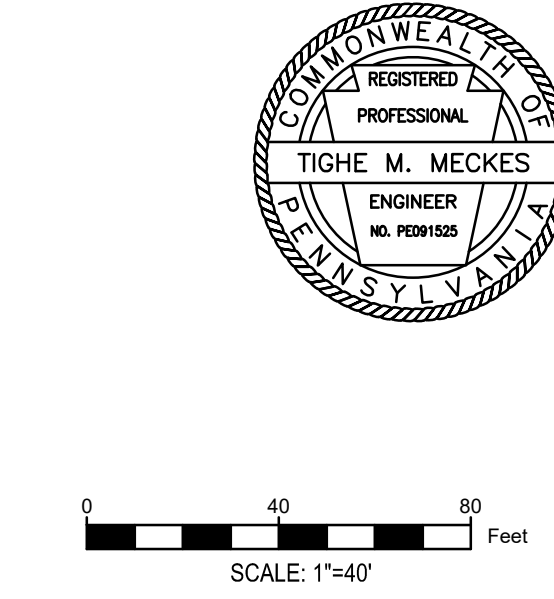
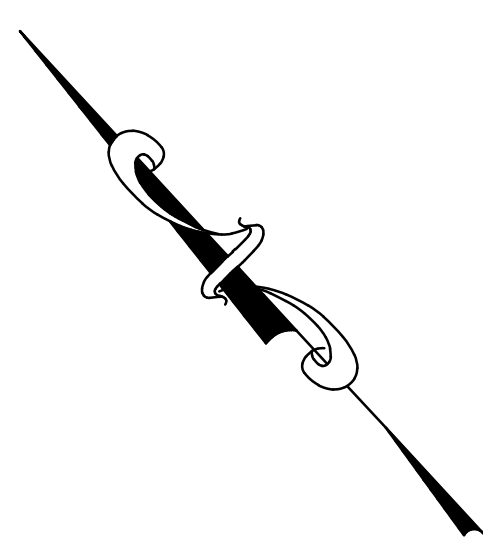
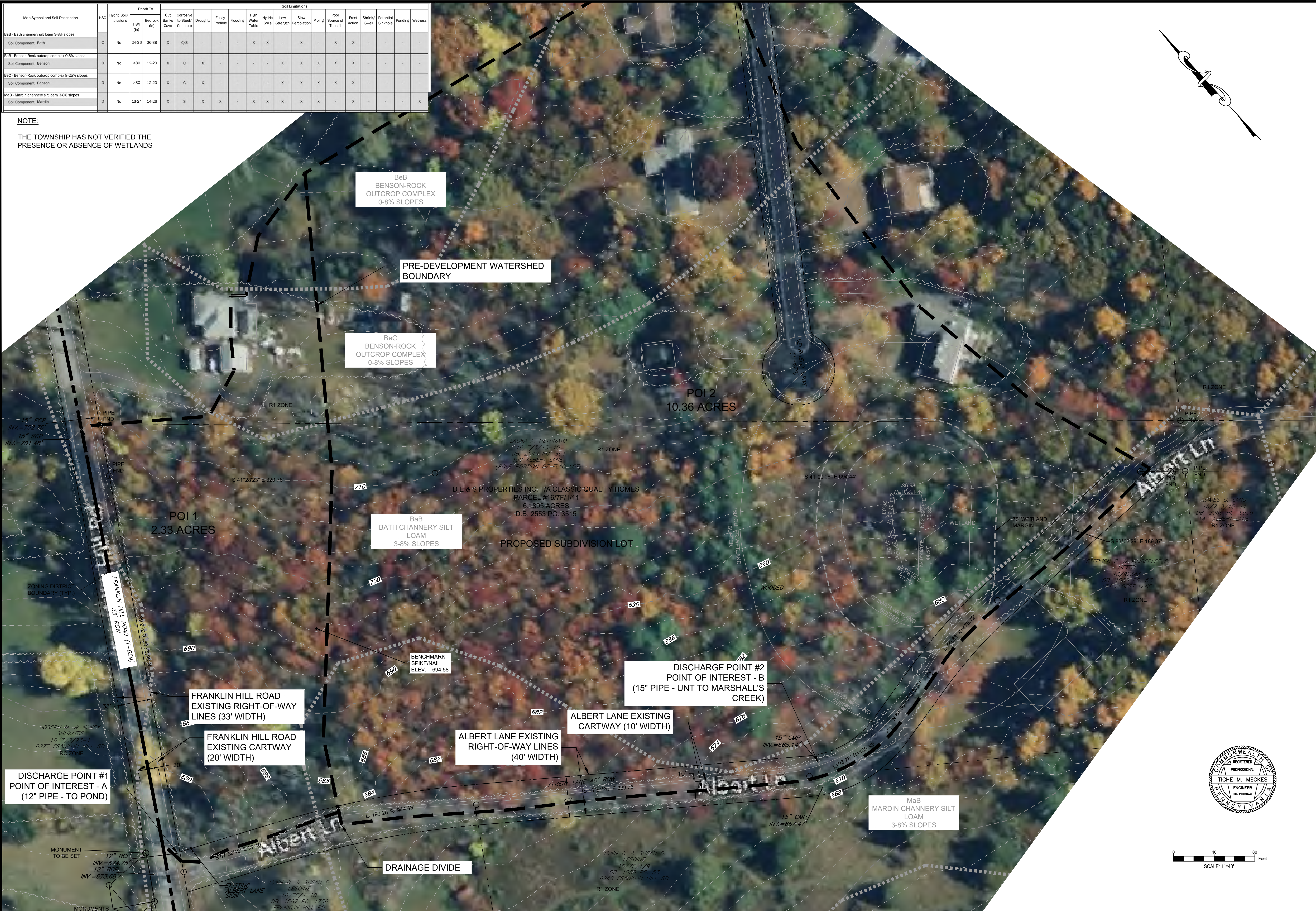
SITE CONTEXT MAP
FRANKLIN HILL MANOR
PRELIMINARY/FINAL MINOR SUBDIVISION OF
LANDS OF D & S PROPERTIES LLC
2621 ROUTE 940 POCONO SUMMIT, PA 18346
 SMITHFIELD TOWNSHIP
 MONROE COUNTY, PENNSYLVANIA

DESIGNED BY:	TMM
DRAWN BY:	TMM
CHECKED BY:	ESS
DATE:	DEC 1, 2023
SCALE:	AS NOTED
JOB NUMBER:	CN-23-041
SHEET:	2 OF 11

REVISIONS	DATE
BY	2-14-2024
TMM	

Map Symbol and Soil Description	HSG	Hydric Soil/Inclusions	Depth To		Soil Limitations															
			HWT (in)	Bedrock (in)	Cut Bank/ Cave	Corrosive to Steel/ Concrete	Droughty	Easily Erodes	Flooding	High Water Table	Hydric Soils	Low Strength	Slow Percolation	Piping	Poor Source of Topsoil	Frost Action	Shrink/ Swell	Potential Sinkhole	Ponding	Witness
BaB - Bath channery silt loam 3-8% slopes Soil Component: Bath	C	No	24-36	26-38	X	C/S	-	-	-	X	X	-	X	-	X	X	-	-	-	-
BeB - Benson-Rock outcrop complex 0-8% slopes Soil Component: Benson	D	No	>80	12-20	X	C	X	-	-	-	-	X	X	X	X	X	-	-	-	-
BeC - Benson-Rock outcrop complex 8-25% slopes Soil Component: Benson	D	No	>80	12-20	X	C	X	-	-	-	-	X	X	X	X	X	-	-	-	-
MaB - Martin channery silt loam 3-8% slopes Soil Component: Martin	D	No	13-24	14-26	X	S	X	X	-	X	X	X	X	X	X	-	-	-	-	X

NOTE:
THE TOWNSHIP HAS NOT VERIFIED THE PRESENCE OR ABSENCE OF WETLANDS



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EXISTING RESOURCE & SITE ANALYSIS	
FRANKLIN HILL MANOR	
PRELIMINARY/FINAL MINOR SUBDIVISION OF LANDS OF D E & S PROPERTIES LLC	
2621 ROUTE 940 POCONO SUMMIT, PA 18346	
SMITHFIELD TOWNSHIP MONROE COUNTY, PENNSYLVANIA	
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SHEET:	3 OF 11
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TMM	

RESOURCE IMPACT AND CONSERVATION ANALYSIS CHART:

RESOURCE	EXISTING AC.	PROPOSED AC.	% IMPACTED	% CONSERVED
WOODLANDS	5.84	3.55	39	61
WETLANDS	0.04	0.04	0	100
WETLAND INNER BUFFER	0.41 (17647 SQ.FT)	0.41 (17647 SQ.FT)	0	100
WETLAND OUTER BUFFER	1.89 (82417 SQ.FT)	1.89 (82417 SQ.FT)	0	100
ROADWAY	0.31	0.31	0	100
75' WETLAND MARGIN	0.74 (32361 SQ.FT)	0.74 (32361 SQ.FT)	0	100

ADJUSTED TRACT AREA CALCULATIONS:

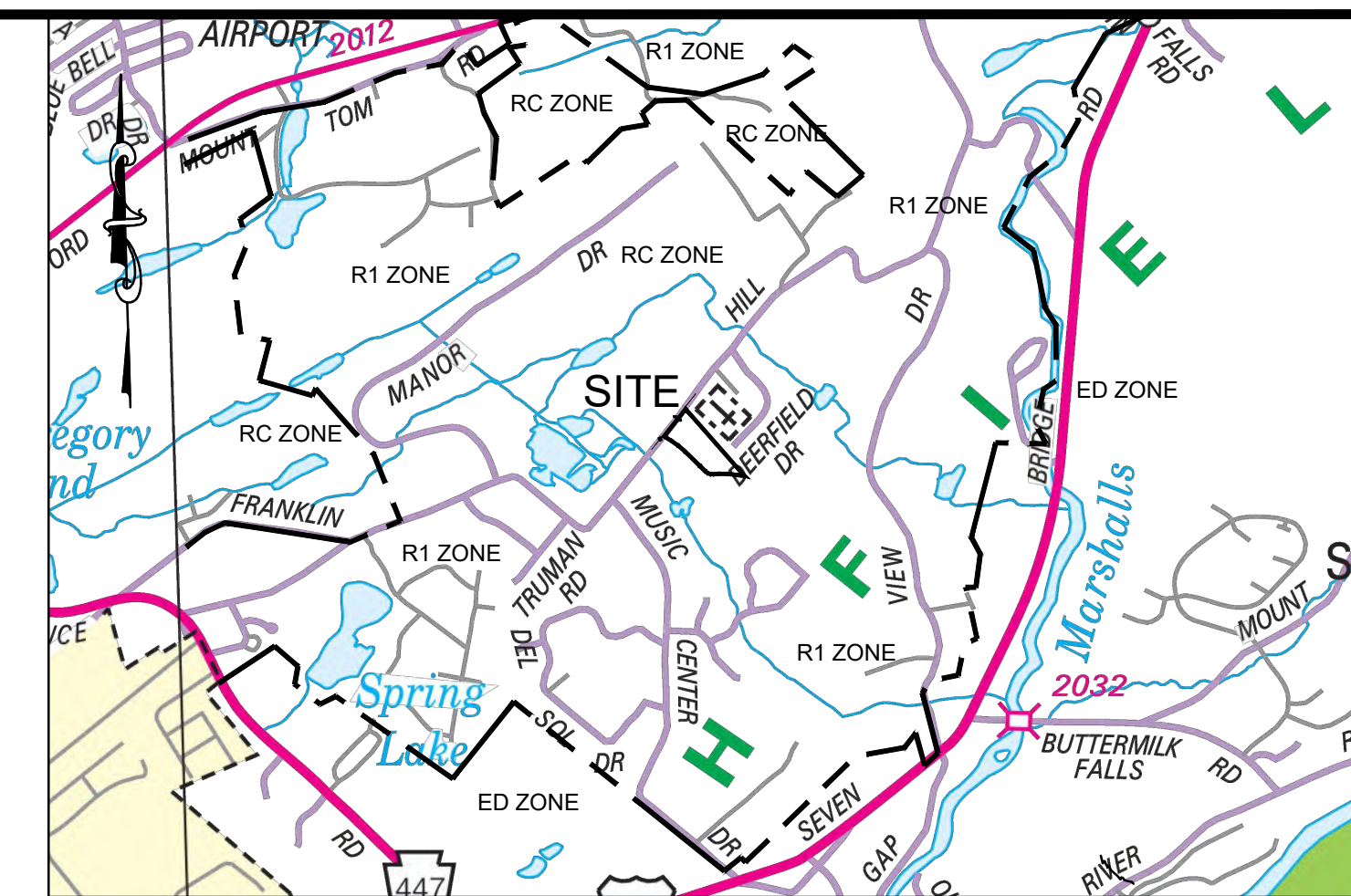
	GROSS AREA	15-25% SLOPES	25%+ SLOPES	WETLANDS	FLOODWAYS	RIGHT-OF-WAYS	NET AREA
LOT 1	58368 S.F.	0 S.F.	0 S.F.	0 S.F.	0 S.F.	8309 S.F.	50059 S.F.
LOT 2	51918 S.F.	0 S.F.	0 S.F.	0 S.F.	0 S.F.	1275 S.F.	50643 S.F.
LOT 3	159329 S.F.	0 S.F.	0 S.F.	1704 S.F. X 75% 1278 S.F.	0 S.F.	14790 S.F.	143261 S.F.

TREE PLANTING SCHEDULE

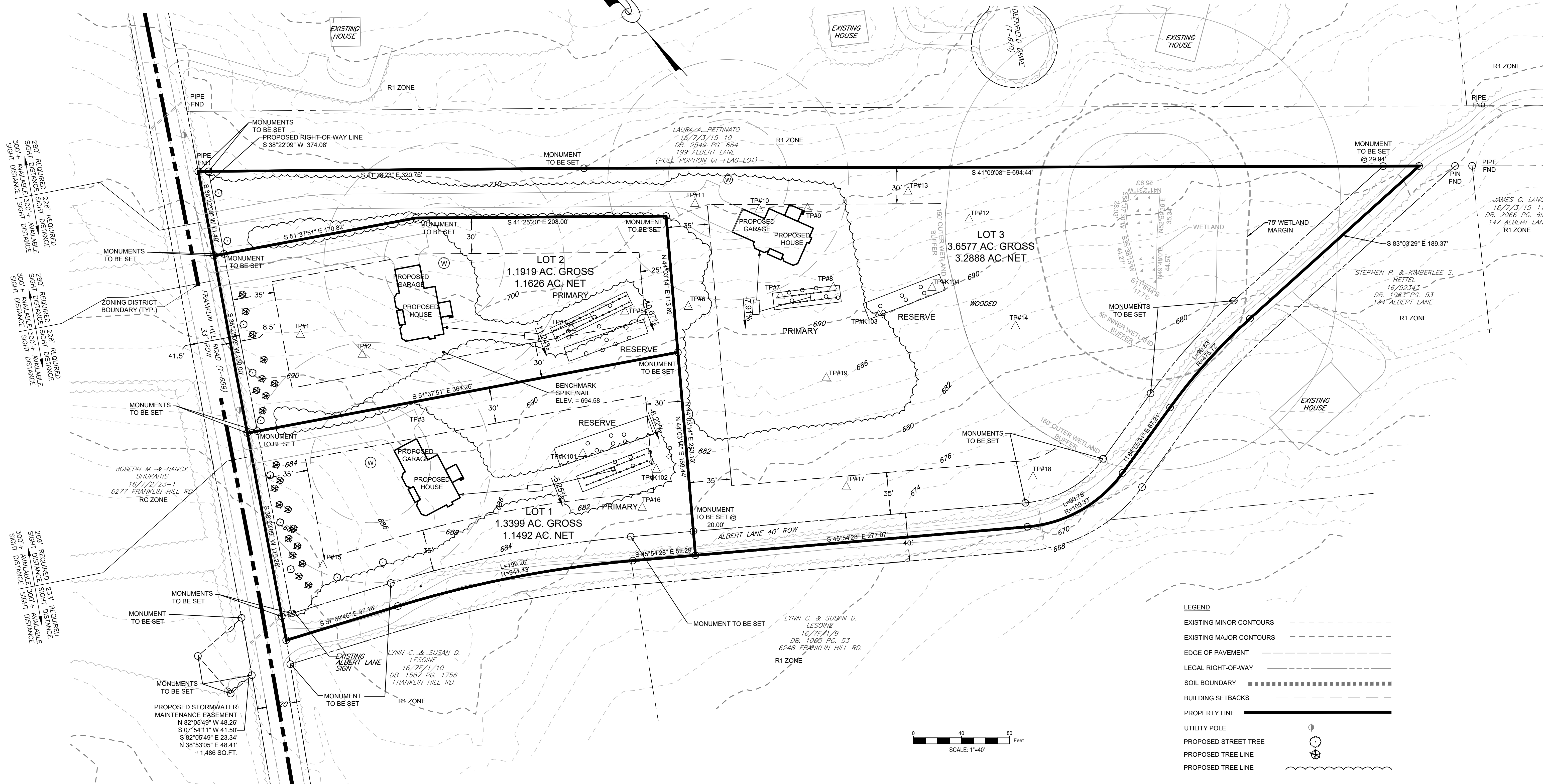
KEY	QTY	BOTANICAL/NAME	COMMON/NAME	SIZE	REMARKS	HEIGHT
				COND.		SPREAD
[Symbol]	10	QUERCUS ALBA	WHITE OAK	14' MIN. HT. 3" CAL.	DECIDUOUS	14'-18', CLEAR TRUNK TO 7' ABOVE GROUND
				B & B		8' MIN. FULL BRANCHING STRUCTURE
[Symbol]	21	JUNIPER COMMUNIS ILEX GLABRA BERBERIS THUNBERGII	COMMON JUNIPER INKBERRY HOLLY BLUE HOLLY RED BARBERRY	3' MIN. HT.	21 TOTAL USING COMBINATION OF TYPES LISTED	3'
				B & B		

NOTE: TREE SPECIES MAY BE CHANGED PROVIDED PROPER APPROVALS FROM THE DEVELOPER AND TOWNSHIP. TREE CALIPERS ARE MEASURED AT A HEIGHT OF SIX (6) INCHES ABOVE FINISHED GRADE. THE ABOVE QUANTITIES ARE FOR THE TOTAL JOB.

SIGHT DISTANCES FOR THE DRIVEWAYS FOR LOTS 1-3 MEET THE SIGHT DISTANCE TABLE (PENNDOT REQUIREMENTS) FOR ROADWAYS POSTED AT 35 MPH.



LOCATION MAP
1" = 2000'



LEGEND

- EXISTING MINOR CONTOURS
- EXISTING MAJOR CONTOURS
- EDGE OF PAVEMENT
- LEGAL RIGHT-OF-WAY
- SOIL BOUNDARY
- BUILDING SETBACKS
- PROPERTY LINE
- UTILITY POLE
- PROPOSED STREET TREE
- PROPOSED TREE LINE
- PROPOSED TREE LINE

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SUBDIVISION PLAN
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 MONROE COUNTY, PENNSYLVANIA

REVISIONS	DATE
BY: TMM	2-14-2024

DESIGNED BY: TMM	CHECKED BY: ESS
DATE: DEC 1, 2023	SCALE: AS NOTED
JOB NUMBER: CN-23-041	SHEET: 4 OF 11

SOILS:

BaB - BATH CHANNERY SILT LOAM, 3-8% SLOPES, DEPTH TO WATER TABLE 24-36 INCHES, DEPTH TO BEDROCK 26-38 INCHES, HYDROLOGIC SOIL GROUP C.
 BeB - BENSON-ROCK OUTCROP COMPLEX, 0-8% SLOPES, DEPTH TO WATER TABLE >80 INCHES, DEPTH TO BEDROCK 12-20 INCHES, HYDROLOGIC SOIL GROUP D.
 BeC - BENSON-ROCK OUTCROP COMPLEX, 8-25% SLOPES, DEPTH TO WATER TABLE >80 INCHES, DEPTH TO BEDROCK 12-20 INCHES, HYDROLOGIC SOIL GROUP D.
 MaB - MARDIN CHANNERY SILT LOAM, 3-8% SLOPES, DEPTH TO WATER TABLE 13-24 INCHES, DEPTH TO BEDROCK 14-26 INCHES, HYDROLOGIC SOIL GROUP D.

MINIMIZE EARTH DISTURBANCE:

THE PROPERTY OWNER/DEVELOPER ARE TO ONLY REMOVE VEGETATION AND TREES WITHIN THE DISTURBED LIMITS AS INDICATED ON THE PLANS. NO EARTH DISTURBANCE SHALL BE OUTSIDE OF THE LIMIT OF EARTH DISTURBANCE, WHICH SHALL BE STAKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. REFER TO THE MINIMIZE EARTH DISTURBANCE NOTES UNDER THE OPERATION AND MAINTENANCE NOTES ON SHEET 10.

POST CONSTRUCTION STORMWATER BMP DESIGN:

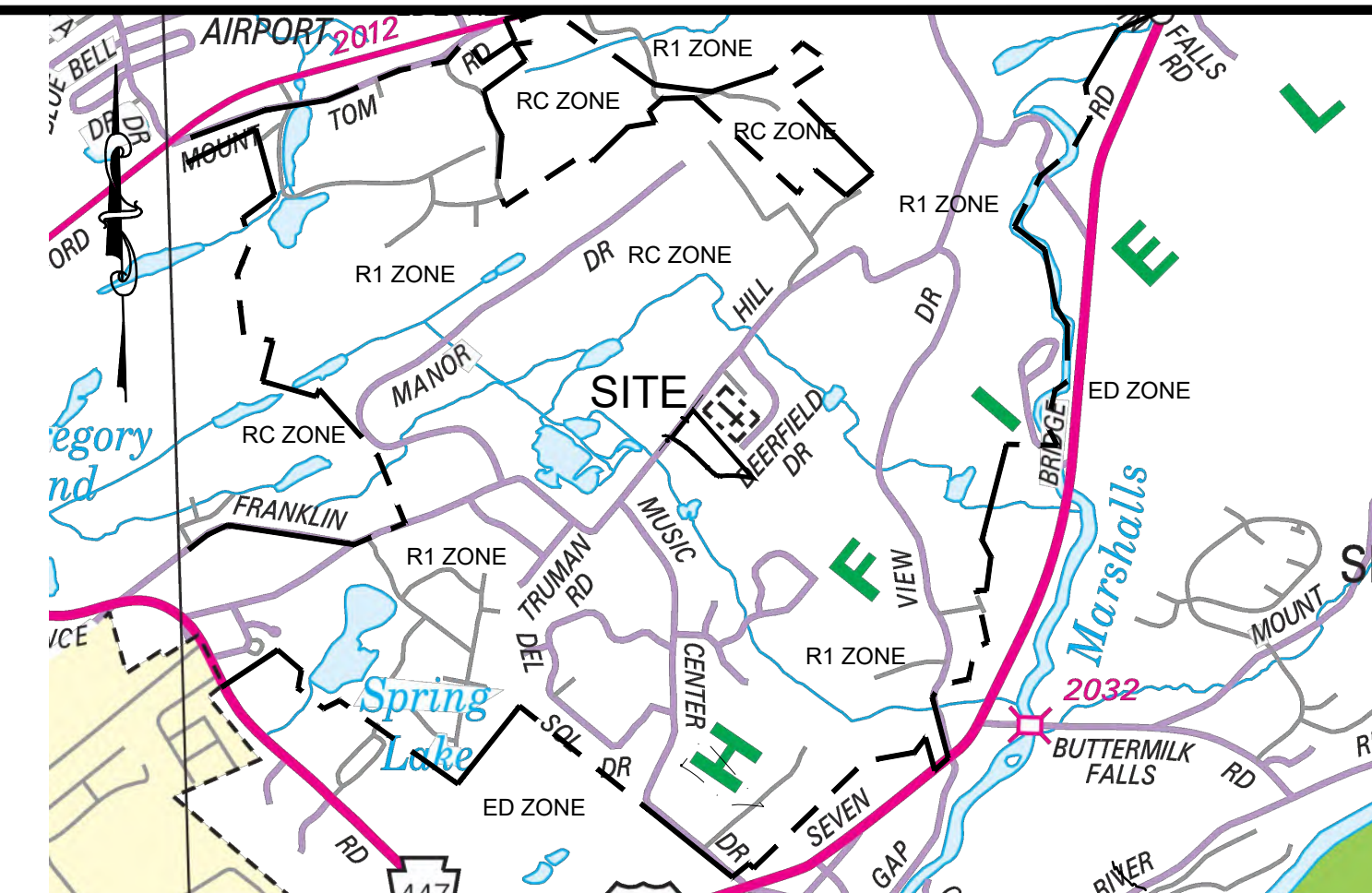
THE FOLLOWING MAXIMUM IMPERVIOUS AREAS ARE ALLOCATED FOR EACH LOT:

LOT 1 - 4500 SF
 LOT 2 - 4500 SF
 LOT 3 - 8000 SF

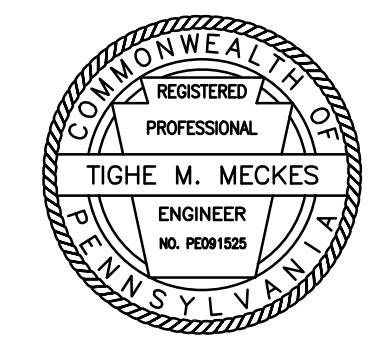
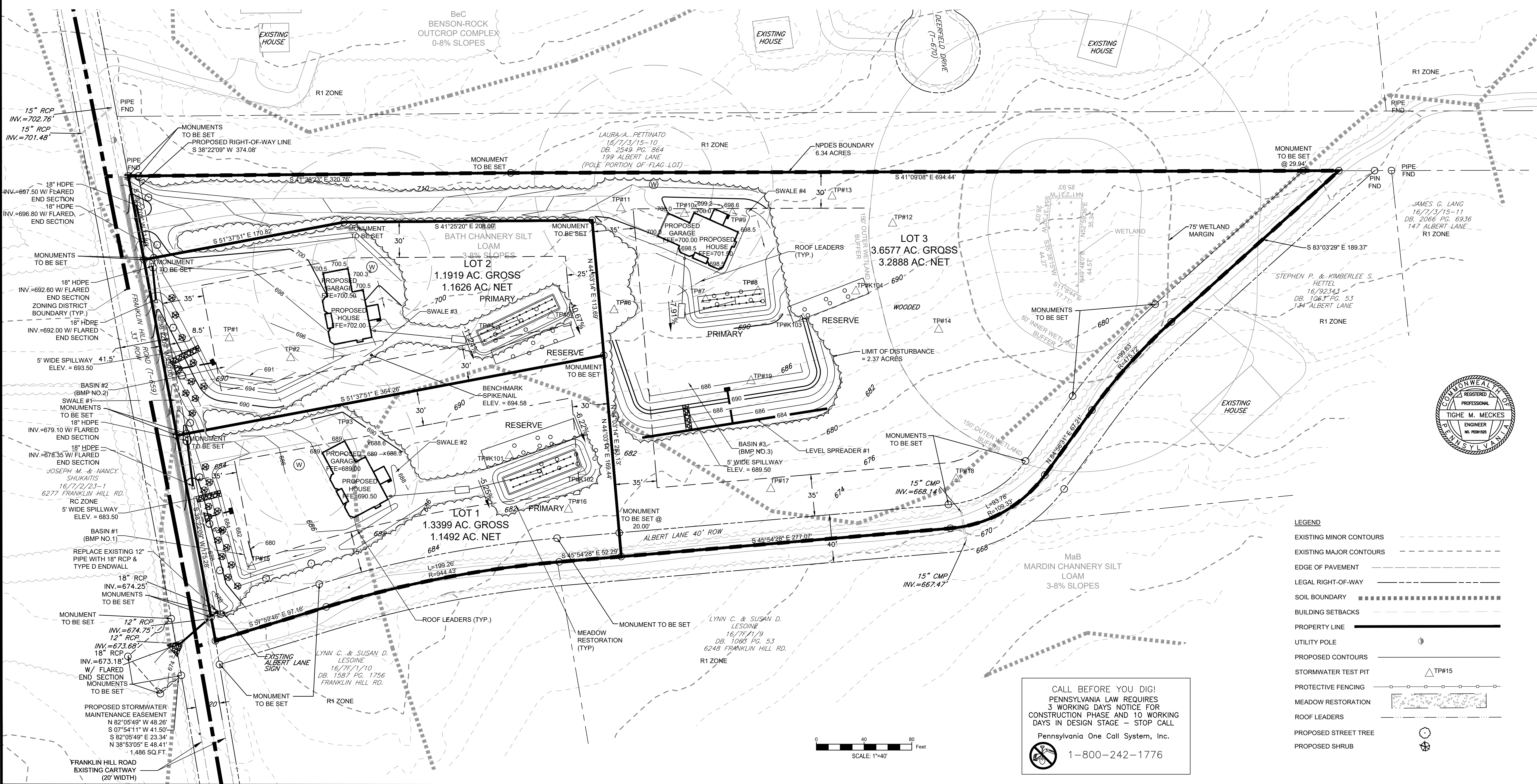
IF IMPERVIOUS AREA IS EXCEEDED, ADDITIONAL ON-LOT SYSTEMS WILL BE REQUIRED.

NOTES:

1. NO STREAMS, PONDS, OR LAKES ARE ON THE SUBJECT PARCEL. NO FLOODPLAINS OR FLOODWAYS ARE LOCATED WITHIN THE PROJECT BOUNDARIES. THERE IS A NEGLIGIBLE AREA OF WETLANDS WITHIN LOT 3. THERE WILL BE NO DISTURBANCE OF WETLANDS.
2. THE ENTIRE DISTURBED ACREAGE AND TRIBUTARY WATERSHED IS LOCATED WITHIN THE MARSHALLS CREEK (HQ-CWF) WATERSHED.
3. IMPERVIOUS AREAS WERE MINIMIZED FOR THE HOUSE FOOTPRINT AND DRIVEWAYS WITH AN ADDITIONAL 400-500 SQUARE FEET FOR FUTURE ADD ONS.
4. THE PLAN MAXIMIZES THE PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION. LIMITED EARTH DISTURBANCE AND CLEARING OF WOODS IS PROPOSED FOR CONSTRUCTION OF HOUSES, DRIVEWAYS, AND STORMWATER AND SEWAGE DISPOSAL SYSTEMS. LIMITS OF DISTURBANCE TO BE MARKED OUT IN THE FIELD AND PROTECTED WITH ORANGE CONSTRUCTION FENCING, IF NEEDED.
5. MEADOW RESTORATION WILL BE PROVIDED WITHIN THE PROPOSED SEWAGE DISPOSAL AREA AS AN ADDITIONAL MEASURE TO MINIMIZE CHANGES IN STORMWATER RUNOFF.
6. SMITHFIELD TOWNSHIP HAS THE RIGHTS TO ACCESS THE PROPERTY FROM THE DRIVEWAY LOCATIONS ON FRANKLIN HILL ROAD. THE TOWNSHIP IS PERMITTED TO ENTER THE PROPERTY TO INSPECT THE STORMWATER MANAGEMENT BMPs (ABOVE GROUND SYSTEM, VEGETATIVE SWALES, AND PIPES). REFER TO CONSTRUCTION SEQUENCE, SEEDING STABILIZATION, WASTE RECYCLING & DISPOSAL NOTES, PCSM OPERATION & MAINTENANCE NOTES, AND INDIVIDUAL BMP CONSTRUCTION DETAILS AND NOTES ON SHEETS 9 AND 10.
8. INFILTRATION BMP'S SHALL NOT BE CONSTRUCTED NOR RECEIVE RUNOFF UNTIL THE ENTIRE CONTRIBUTORY DRAINAGE AREA TO THE INFILTRATION BMP HAS ACHIEVED FINAL STABILIZATION.



LOCATION MAP
 1" = 2000'



LEGEND

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- EXISTING MAJOR CONTOURS
- EDGE OF PAVEMENT
- LEGAL RIGHT-OF-WAY
- SOIL BOUNDARY
- BUILDING SETBACKS
- PROPERTY LINE
- UTILITY POLE
- PROPOSED CONTOURS
- STORMWATER TEST PIT
- PROTECTIVE FENCING
- MEADOW RESTORATION
- ROOF LEADERS
- PROPOSED STREET TREE
- PROPOSED SHRUB

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PCSM PLAN
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 2621 ROUTE 940 POCONO SUMMIT, PA 18346
 SMITHFIELD TOWNSHIP
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SHEET:	5 OF 11

SOILS:

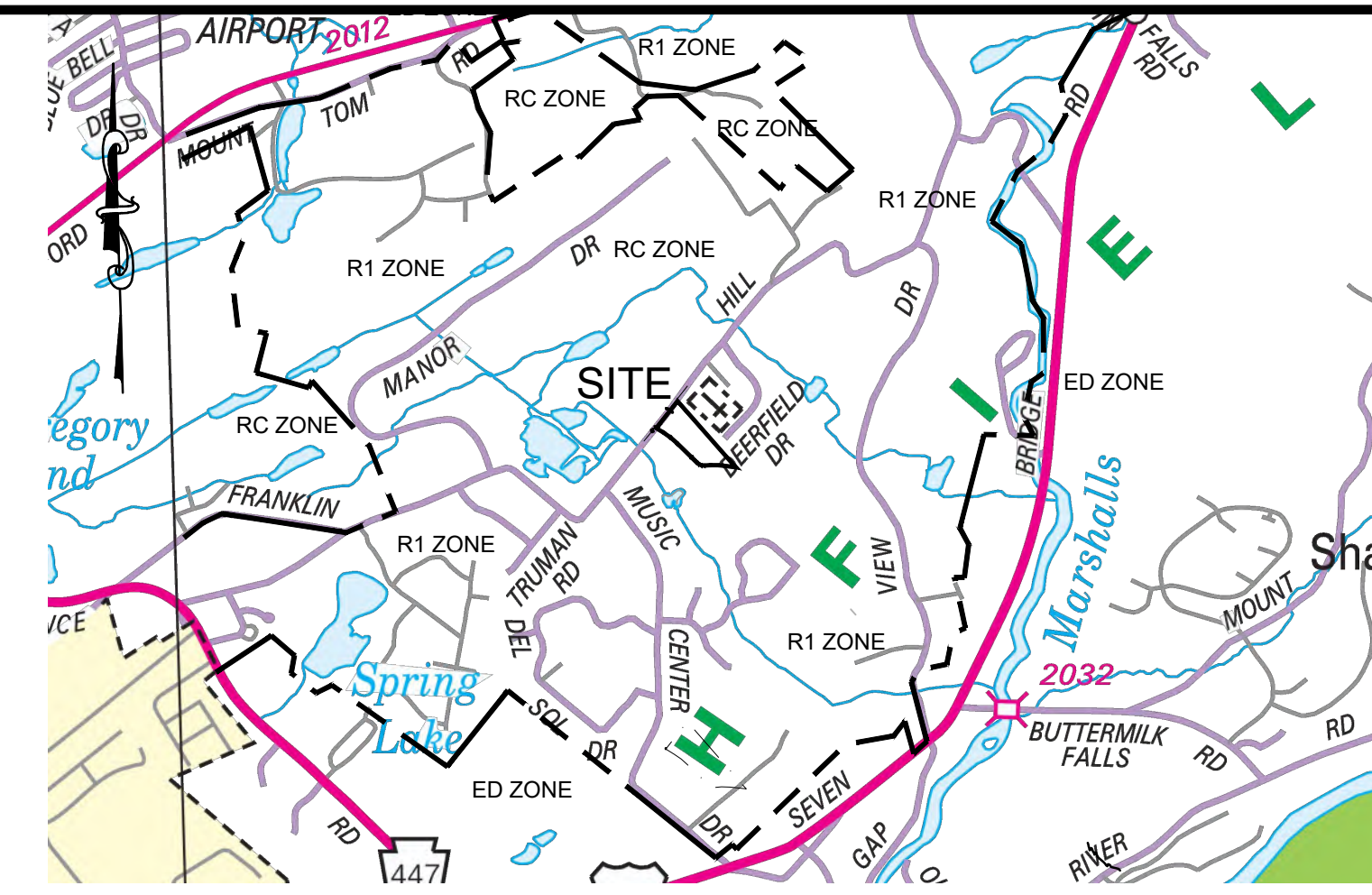
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NOTES:

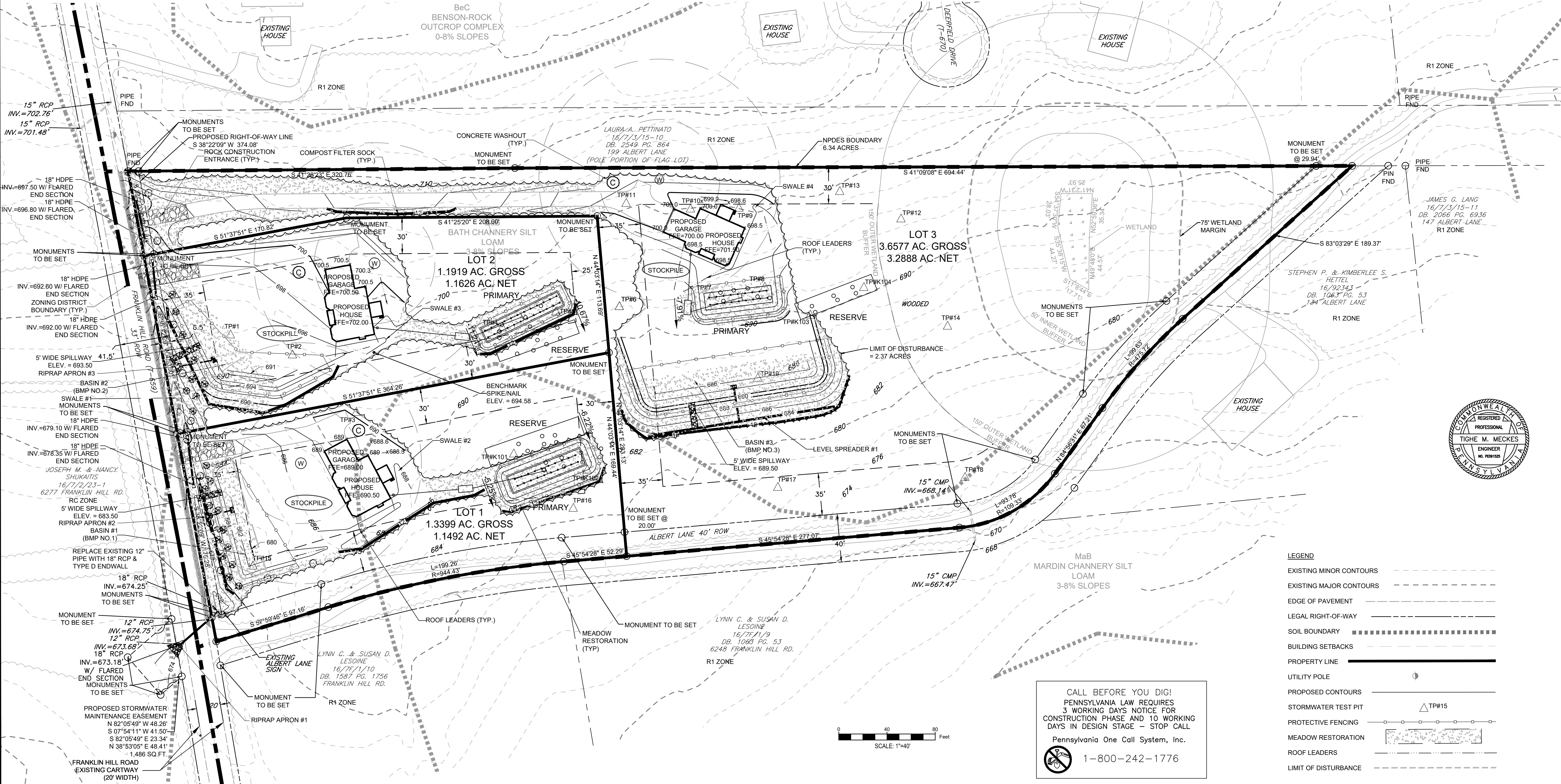
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NOTE:

SHEET FLOW SHALL BE MAINTAINED TO THE COMPOST FILTER SOCKS. IF CONCENTRATED FLOW OR OVERTOPPING OCCURS, A ROCK FILTER OUTLET SHALL BE INSTALLED AT THE POINT OF CONCENTRATION/OVERTOPPING.

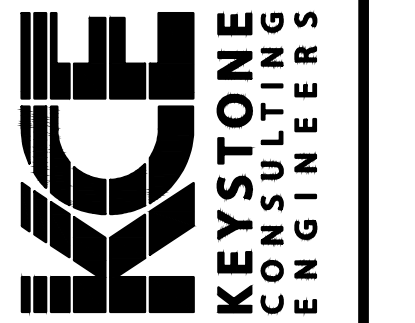


LOCATION MAP
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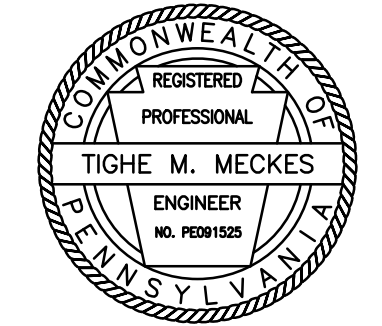
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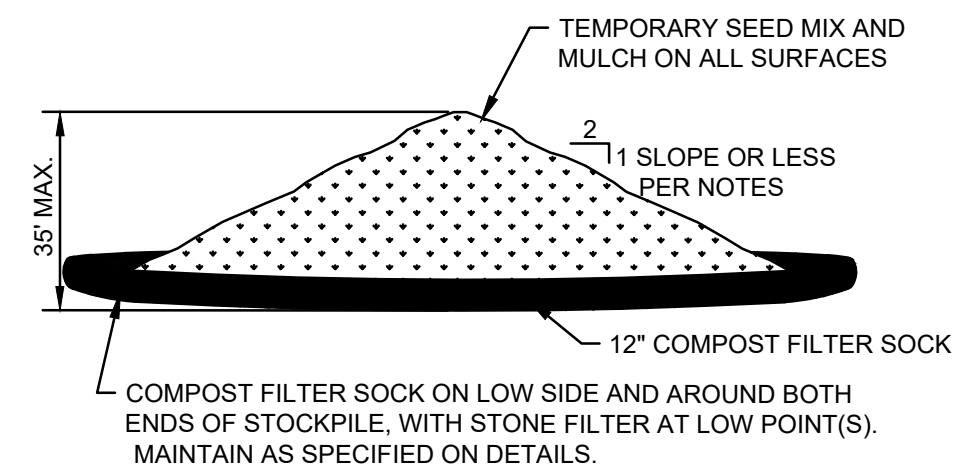


ES&PC PLAN
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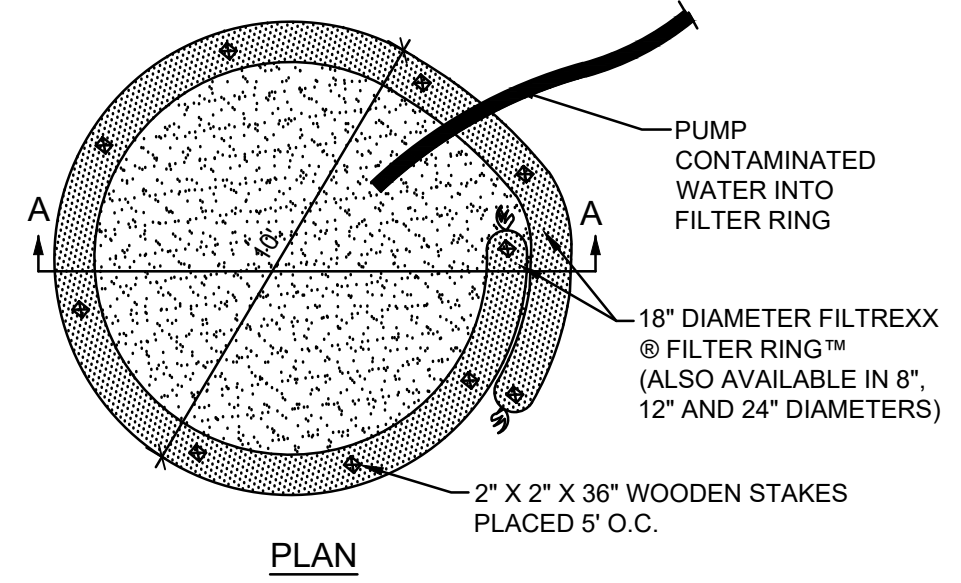
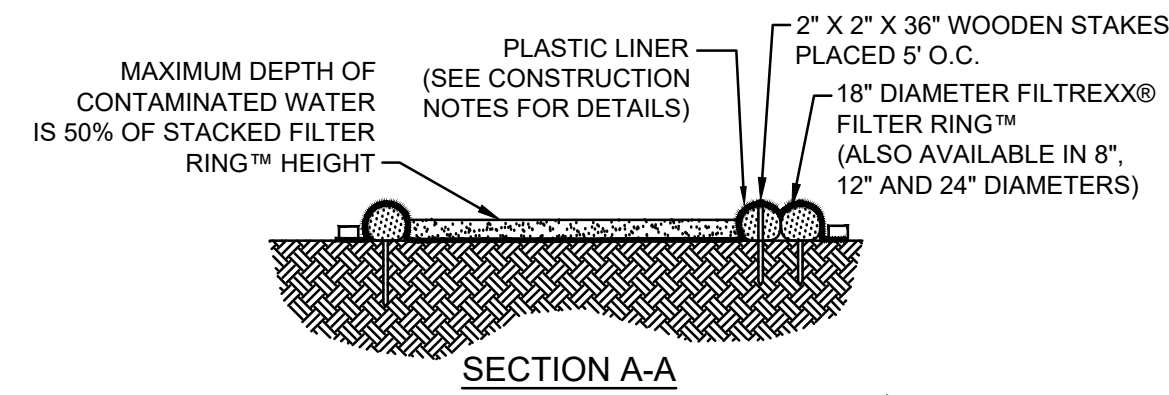
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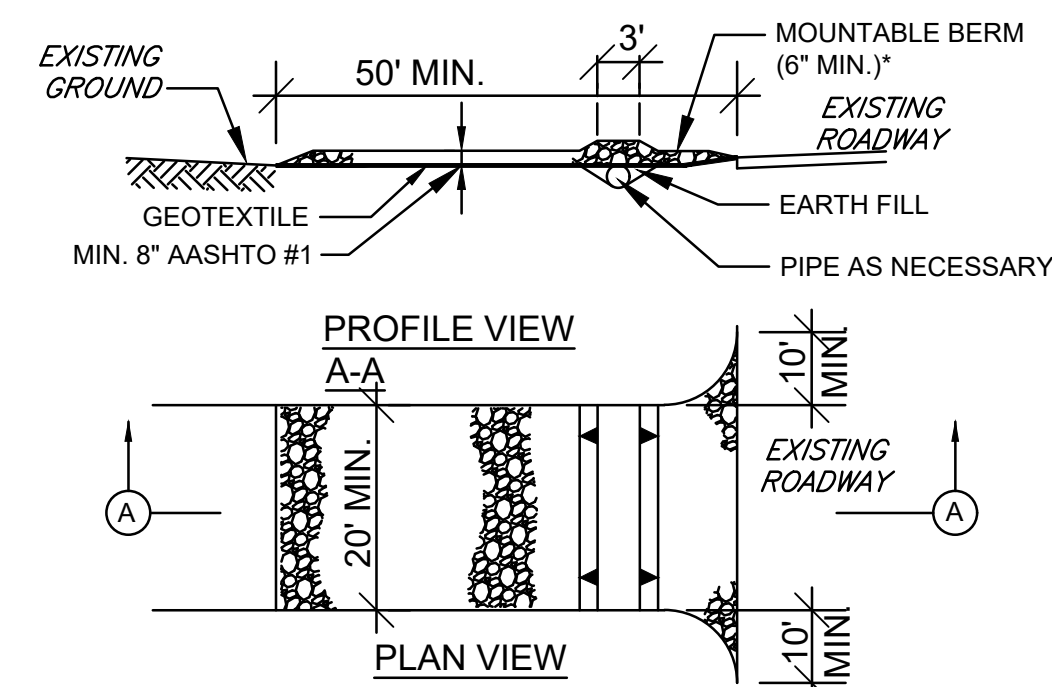
- NOTES:**
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 2. STOCKPILE TOPSOIL OR EXCAVATED SOIL MATERIAL AT LOCATIONS SHOWN FOR EACH PHASE OF CONSTRUCTION. HEIGHT AND SIDE SLOPES SHALL NOT EXCEED MAXIMUM VALUES SHOWN ON DETAIL.
 3. INSTALL COMPOST FILTER SOCK PRIOR TO STOCKPILING OF MATERIAL. REPLACE ANY COMPOST FILTER SOCK REMOVED FOR VEHICULAR ACCESS AFTER EACH WORK DAY.
 4. ALL ACTIVE STOCKPILES SHALL BE ACCESSED FROM THE UPHILL SIDE.
 5. SEE SPECIFICATIONS FOR INSTALLATION OF COMPOST FILTER SOCK.
 6. APPLY A TEMPORARY SEED MIX AND MULCH WHEN PILE WILL REMAIN FOR 30 DAYS OR MORE.
 7. ANY EXCAVATION SLOPES THAT WILL EXIST FOR A PERIOD LESS THAN 6 MONTHS IS CONSIDERED TO BE TEMPORARY. ALL TEMPORARY SLOPES ARE RECOMMENDED TO BE CONSTRUCTED NOT STEEPER THAN 2H:1V.

TYPICAL STOCKPILE DETAIL
NOT TO SCALE



- NOTES:**
1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
 2. FILTER RINGS™ MAY BE STACKED IN A PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT AND STABILITY.
 3. FILTER RINGS™ MAY BE DIRECT SEEDED AT THE TIME OF INSTALLATION.
 4. PREFABRICATED METAL WASHOUT CONTAINERS CAN BE USED IN LIEU OF COMPOST SOCK RING WASHOUT.

CONCRETE WASHOUT DETAIL
NOT TO SCALE



*MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE.

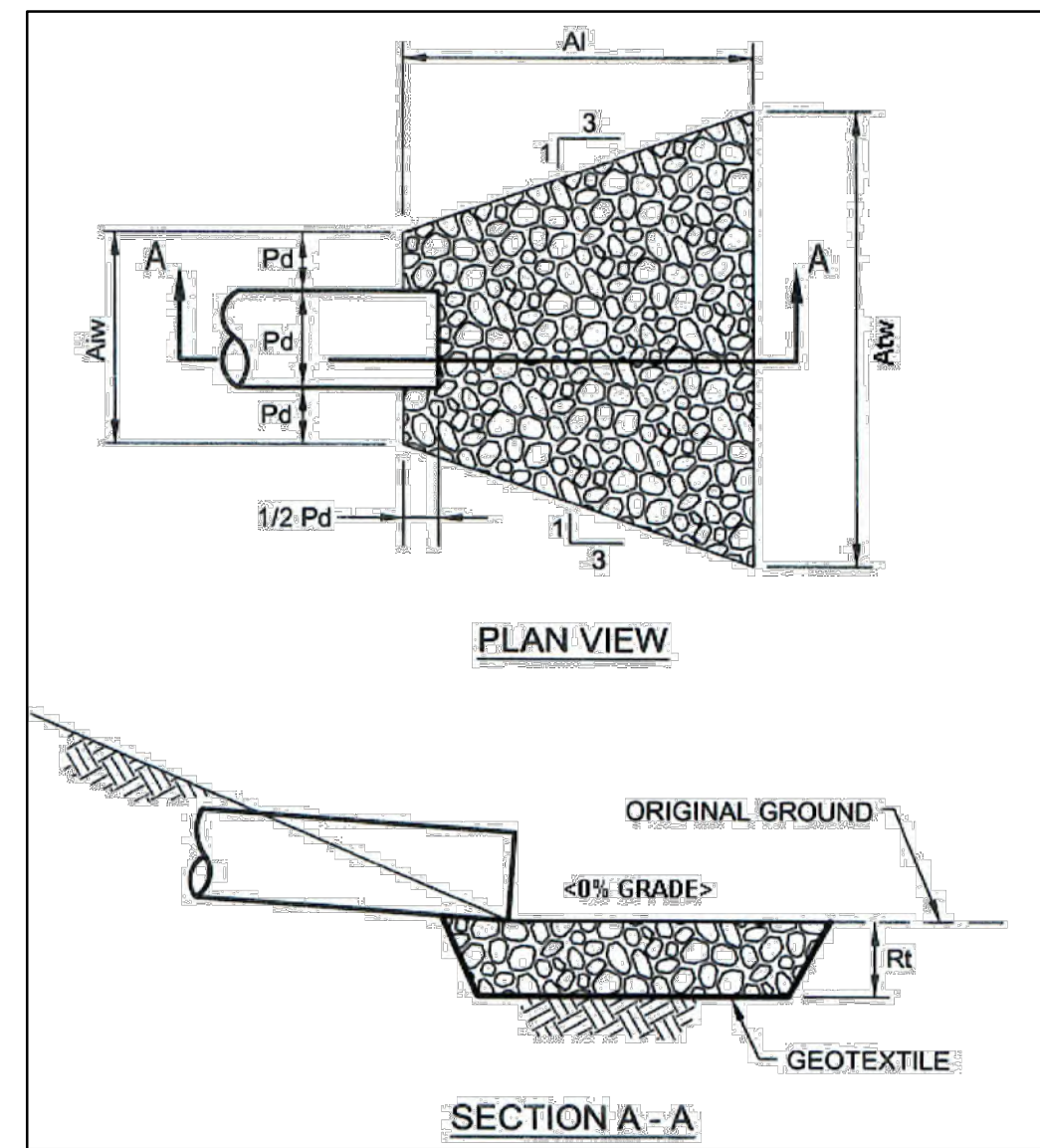
- NOTES:**
1. REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
 2. RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
 3. MOUNTABLE BERM SHOULD BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE TO BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

MAINTENANCE:

ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAYS, EXTEND LENGTH OF ROCK CONSTRUCTION BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWER, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

STANDARD CONSTRUCTION DETAIL # 3-1

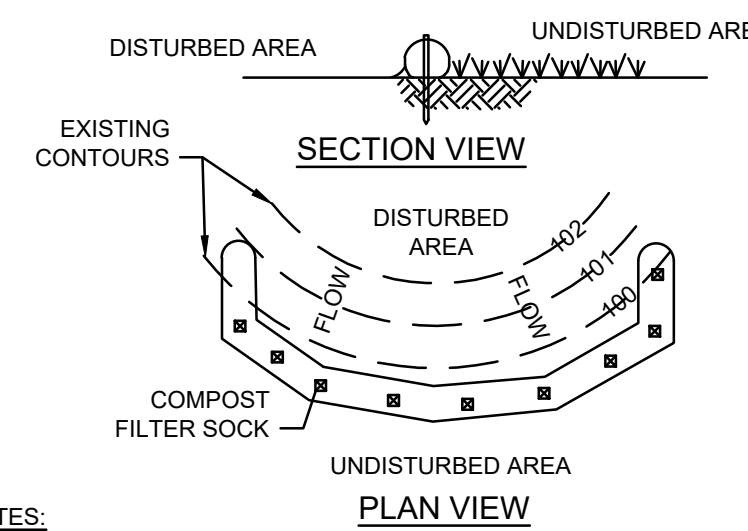
ROCK CONSTRUCTION ENTRANCE
NOT TO SCALE



APRON NO.	PIPE DIA Pd (IN)	RIPRAP		APRON		
		SIZE (R-)	THICK. Rt (IN)	LENGTH Al (FT)	INITIAL WIDTH Aw (FT)	TERMINAL WIDTH Atw (FT)
1	18	5	27	9	5	13
2	12	3	12	6	3	9
3	12	3	12	6	3	9

- NOTES:**
1. ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.
 2. ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.
 3. EXTEND RIPRAP ON BACK SIDE OF APRON TO AT LEAST 1/2 DEPTH OF PIPE ON BOTH SIDES TO PREVENT SCOUR AROUND THE PIPE.

STANDARD CONSTRUCTION DETAIL # 9-0
RIPRAP APRON AT PIPE OUTLET WITHOUT FLARED ENDWALL
NOT TO SCALE



- NOTES:**
1. SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2.
 2. COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY SOCK SHALL NOT EXCEED DESIGN LENGTHS INDICATED ON PADEP EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL. STAKES MAY BE INSTALLED IMMEDIATELY DOWNSLOPE OF THE SOCK IF SO SPECIFIED BY THE MANUFACTURER.
 3. TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.
 4. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
 5. SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
 6. BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 7. UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

STANDARD CONSTRUCTION DETAIL # 4-1
COMPOST FILTER SOCK
NOT TO SCALE

TABLE 4.2
COMPOST STANDARDS

ORGANIC MATTER CONTENT	25% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
pH	5.5 - 8.5
MOISTURE CONTENT	30% - 60%
PARTICLE SIZE	30% - 50% PASS THROUGH 3/8" SIEVE
SOLUBLE SALT CONCENTRATE	5.0 dS/m (mmhos/cm) MAXIMUM

TABLE 4.1
COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS

MATERIAL TYPE	3 mil HDPE	5 mil HDPE	5 mil HDPE	MULTI-FILAMENT POLYPROPYLENE (MFPP)	HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE (HDMFPP)
MATERIAL CHARACTERISTICS	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	BIO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE
SOCK DIAMETERS	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"
MESH OPENING	3/8"	3/8"	3/8"	3/8"	3/8"
TENSILE STRENGTH		26 PSI	26 PSI	44 PSI	202 PSI
ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM G-155)	23% AT 1000 HR	23% AT 1000 HR		100% AT 1000 HR	100% AT 1000 HR
MINIMUM FUNCTIONAL LONGEVITY	6 MONTHS	9 MONTHS	6 MONTHS	1 YEAR	2 YEARS

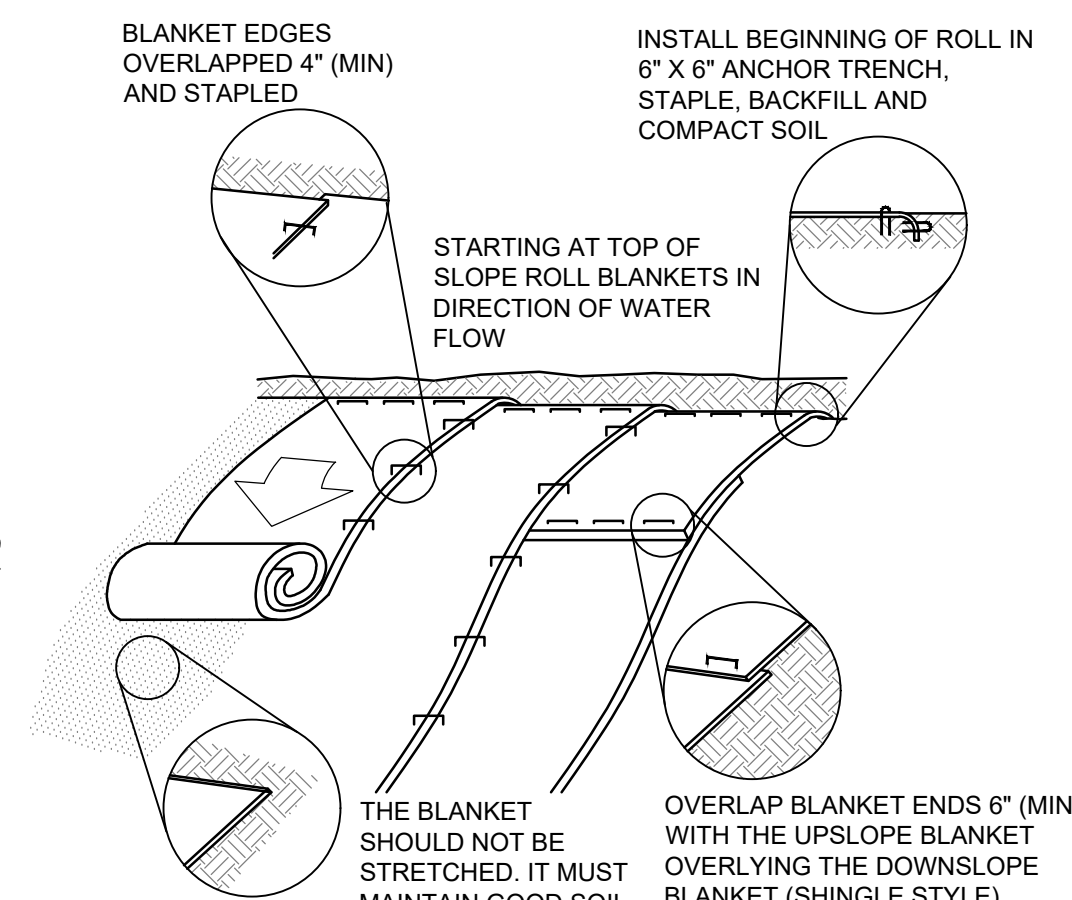
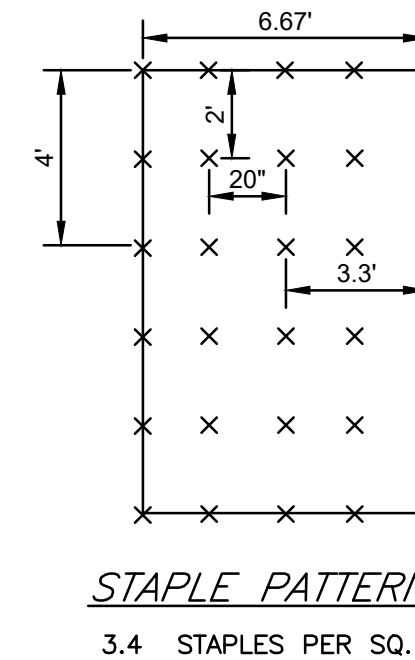
2-PLY SYSTEMS

INNER CONTAINMENT NETTING	HDPE BIAXIAL NET
	CONTINUOUSLY WOUND FUSION-WELD JUNCTURES 3/4" X 3/4" MAX. APERTURE SIZE
OUTER FILTRATION MESH	COMPOSITE POLYPROPYLENE FABRIC (WOVEN LAYER AND NON-WOVEN FLEECE MECHANICALLY FUSED VIA NEEDLE PUNCH)
	3/16" MAX APERTURE SIZE

SOCK FABRICS COMPOSED OF BURLAP MAY BE USED ON PROJECTS LASTING 6 MONTHS OR LESS

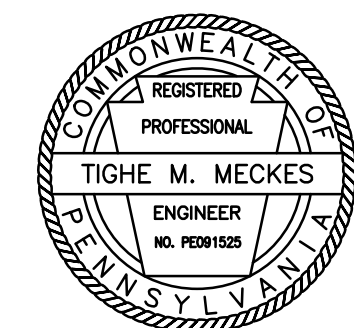
COMPOST SHOULD BE WELL DECOMPOSED, WEED-FREE ORGANIC MATTER DERIVED FROM AGRICULTURE, FOOD, STUMP GRINDINGS, AND YARD OR WOOD/BARK ORGANIC MATTER SOURCES. THE COMPOST SHOULD BE AEROBICALLY COMPOSTED. THE COMPOST SHOULD POSSESS NO OBJECTIONABLE ODORS AND SHOULD BE REASONABLY FREE (<1% BY DRY WEIGHT) OF MAN-MADE FOREIGN MATTER. THE COMPOST PRODUCT SHOULD NOT RESEMBLE THE RAW MATERIAL FROM WHICH IT WAS DERIVED. WOOD AND BARK CHIP, GROUND CONSTRUCTION DEBRIS OR REPROCESSED WOOD PRODUCTS ARE NOT ACCEPTABLE AS THE INORGANIC COMPONENT OF THE MIX.

THE PHYSICAL PARAMETERS OF THE COMPOST SHOULD COMPLY WITH THE STANDARDS IN TABLE 4.2. THE STANDARDS CONTAINED IN THE PENNDOT PUBLICATION 408 ARE AN ACCEPTABLE ALTERNATIVE.



- NOTES:**
1. SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.
 2. PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.
 3. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLOUDS, STICKS, AND GRASS.
 4. BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH THE UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.
 5. THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 6. BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIALS VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

STANDARD CONSTRUCTION DETAIL # 11-1
EROSION CONTROL BLANKET INSTALLATION
NOT TO SCALE



REVISIONS

BY	DATE
TMM	2-14-2024

DESIGNED BY: TMM
DRAWN BY: TMM
CHECKED BY: ESS
DATE: DEC 1, 2023
SCALE: AS NOTED
JOB NUMBER: CN-23-041
SHEET: 8 OF 11

PCSM BMP OWNERSHIP, OPERATION AND MAINTENANCE PROCEDURES:

GENERAL OWNERSHIP, OPERATION, AND MAINTENANCE NOTES:

- D E & S PROPERTIES LLC SHALL OWN, OPERATE AND MAINTAIN ALL STORMWATER FACILITIES ON THEIR PROPERTY. ONCE INDIVIDUAL LOTS ARE SOLD THE CURRENT OWNER OF THE PARCEL WILL COME ON THE NPDES PERMIT AS A CO-PERMITTEE AND IS RESPONSIBLE FOR THE MAINTENANCE OF ALL STORMWATER FACILITIES ON THE PROPERTY.
- THE PROPOSED STORMWATER MANAGEMENT FACILITIES ARE INTENDED TO MINIMIZE THE ADVERSE EFFECTS OF DEVELOPMENT BOTH ON AND OFF THE SITE. IN ORDER FOR THE FACILITIES TO CONTINUE TO OPERATE AS INTENDED, THEY SHOULD BE INSPECTED QUARTERLY AND IMMEDIATELY AFTER MAJOR STORMS. THE PROPERTY OWNER IS RESPONSIBLE FOR OPERATION AND MAINTENANCE OF ALL STORMWATER FACILITIES LOCATED ON THE PROPERTY.
- THE COUNTY CONSERVATION DISTRICT SHALL BE INFORMED PRIOR TO ANY CHANGES TO A PCSM BMP.
- ALL BMPS WILL BE INSPECTED ON A QUARTERLY BASIS OR AFTER ANY SIGNIFICANT RAIN EVENT GREATER THAN THE 2-YEAR FREQUENCY (3 INCHES OF RAIN IN A 24-HOUR PERIOD) STORM EVENT UNLESS OTHERWISE NOTED IN THIS SCHEDULE.
- THE PCSM BMPS WILL BE KEPT IN THE FREE FLOW CONDITION; FREE OF DEBRIS, SEDIMENT AND OBSTRUCTIONS. IF THE PCSM BMP IS OBSTRUCTED OR IMPACTED BY DEBRIS OR SEDIMENT, MATERIAL WILL BE REMOVED. THE BMP MUST BE MAINTAINED ACCORDING TO DESIGN PROTOCOLS.
- MAINTENANCE SHALL BE IMMEDIATELY PERFORMED ON ANY MALFUNCTIONING PCSM BMP. BMPS SHALL BE REPLACED IF MAINTENANCE DOES NOT RETURN ALL DESIGN FUNCTIONS OF THE PCSM BMP.
- ANY PROPOSED PROPRIETARY BMPS SHALL BE MAINTAINED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
- DEBRIS AND LITTER REMOVAL IS IMPORTANT TO REDUCE THE CHANCE OF CLOGGING IN THE INLETS AND STORM PIPE SYSTEMS. IT ALSO HELPS TO PREVENT DAMAGE TO ADJACENT VEGETATED AREAS AND REDUCES POTENTIAL MOSQUITO BREEDING HABITATS. ALL INLETS AND OUTLETS MUST BE INSPECTED FOR DEBRIS ON A MONTHLY BASIS AND AFTER ANY 2-YEAR 24-HOUR FREQUENCY STORM EVENT OR GREATER. DEBRIS SHALL BE REMOVED WHEN ACCUMULATED TO A DEPTH ABOVE THE INLET BOX INVERT OF TWO INCHES OR GREATER. ALL REMOVED DEBRIS MUST BE DISPOSED OF PROPERLY.
- PERMANENTLY SEEDED AREAS SHOULD BE INSPECTED FOR PLANTURE, IF LESS THAN 70 PERCENT OF AN AREA IS COVERED BY ESTABLISHED VEGETATION, REEVALUATE THE CHOICE OF PLANT MATERIALS AND THE QUANTITIES OF LIME AND FERTILIZER USED. REESTABLISH THE STAND AFTER THE SEEDBED IS PREPARED. IF THE SEASON PREVENTS RESOWING, MULCH OR EROSION NETTING IS AN EFFECTIVE TEMPORARY COVER.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE CONTROL FACILITIES DURING CONSTRUCTION.
- A LOG BOOK OF ALL MAINTENANCE ACTIVITIES SHALL BE KEPT ON SITE FOR ALL BMPS AT ALL TIMES TO ENSURE COMPLIANCE WITH THE PCSM PLANS THAT INCLUDES AT A MINIMUM: INSPECTION DATES, OBSERVATIONS, AND MAINTENANCE ACTIVITIES

BMP SPECIFIC INSPECTION AND MAINTENANCE NOTES

- INLETS AND PIPES MUST BE INSPECTED MONTHLY AND AFTER ANY 2-YEAR STORM FREQUENCY OR GREATER (3 INCHES OF RAIN IN A 24-HOUR PERIOD).
 - INSPECT INLET BOXES FOR ACCUMULATED DEBRIS AND SEDIMENT. DEBRIS MUST BE REMOVED WHEN ACCUMULATED TO A DEPTH ABOVE THE INLET BOX INVERT OF TWO INCHES OR GREATER. ALL DEBRIS MUST BE DISPOSED OF PROPERLY.
 - INSPECT INLET GRATES FOR PRESENCE OF DEBRIS THAT COULD IMPEDE INLET CAPTURE. REMOVE DEBRIS AND DISPOSE OF PROPERLY.
- MAINTENANCE ON VEGETATIVE SWALES:
 - INSPECT AND CORRECT EROSION PROBLEMS, DAMAGE TO VEGETATION, AND SEDIMENT AND DEBRIS ACCUMULATION.
 - INSPECT VEGETATION ON SIDE SLOPES FOR EROSION AND FORMATION OF RILLS OR GULLIES, CORRECT AS NEEDED.
 - INSPECT SWALE INLETS AND OUTLET FOR SIGNS OF EROSION OR BLOCKAGE. CORRECT AS NEEDED.
 - INSPECT FOR POOLS OF STANDING WATER, DEWATER AND DISCHARGE TO AN APPROVED LOCATION AND RESTORE TO DESIGN GRADE.
 - MONITOR SWALE FOR INVASIVE SPECIES. REMOVE OR DISPOSE OF INVASIVE SPECIES, IF REQUIRED.
 - INSPECT FOR LITTER AND DISPOSE OF PROPERLY.
- MAINTENANCE OF LANDSCAPE RESTORATION/SOIL AMENDMENT AREAS:
 - MONITOR SITE LANDSCAPING FOR GROWTH AND POTENTIAL PROBLEMS.
 - WATER, WEED, AND PROVIDE PROTECTION FROM ANIMALS AND INSECTS, AS REQUIRED.
- MAINTENANCE OF ABOVE GROUND INFILTRATION/DETENTION SYSTEMS:
 - CATCH BASINS AND INLETS (UPGRADIENT OF INFILTRATION BASIN) SHOULD BE INSPECTED AND CLEANED AT LEAST TWO TIMES PER YEAR AND AFTER RUNOFF EVENTS.
 - THE VEGETATION ALONG THE SURFACE OF THE INFILTRATION BASIN SHOULD BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS REVEGETATED AS SOON AS POSSIBLE.
 - VEHICLES SHOULD NOT BE PARKED OR DRIVEN ON AN INFILTRATION BASIN, AND CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS.
 - INSPECT THE BASIN AFTER RUNOFF EVENTS AND MAKE SURE THAT RUNOFF DRAINS DOWN WITHIN 72 HOURS. MOSQUITOS SHOULD NOT BE A PROBLEM IF THE WATER DRAINS IN 72 HOURS. MOSQUITOES REQUIRE A CONSIDERABLY LONG BREEDING PERIOD WITH RELATIVELY STATIC WATER LEVELS.
 - ALSO INSPECT FOR ACCUMULATION OF SEDIMENT, DAMAGE TO OUTLET CONTROL STRUCTURES, EROSION CONTROL MEASURES, SIGNS OF WATER CONTAMINATION/SPILLS, AND SLOPE STABILITY IN THE BERMS.
 - MOW ONLY AS APPROPRIATE FOR VEGETATIVE COVER SPECIES.
 - REMOVE ACCUMULATED SEDIMENT FROM BASIN AS REQUIRED. RESTORE ORIGINAL CROSS SECTION AND INFILTRATION RATE. PROPERLY DISPOSE OF SEDIMENT.
- MINIMIZE DISTURBED AREAS:
 - DISTURBED LIMITS SHALL BE STAKED OUT IN THE FIELD FOR EACH LOT PRIOR TO ANY EARTH DISTURBANCE (I.E. MARK WITH ORANGE CONSTRUCTION FENCING AND/OR E&S PERIMETER CONTROLS). NO EARTH DISTURBANCE SHALL BE ALLOWED OUTSIDE OF THE LIMITS AS INDICATED ON THE PLANS.
 - REMOVE TREES AND VEGETATION IN AREAS ALLOCATED FOR EARTH DISTURBANCE ONLY.
 - ORANGE CONSTRUCTION FENCING TO BE PLACED AROUND AREAS OF PROPOSED INFILTRATION SO AS NOT TO COMPACT AREAS DURING CONSTRUCTION.

CONSTRUCTION FOR INDIVIDUAL ABOVE GROUND INFILTRATION/DETENTION SYSTEMS:

- PROTECT AREA FROM COMPACTION PRIOR TO AND DURING CONSTRUCTION ACTIVITIES.
- INSTALL AND MAINTAIN PROPER EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION.
- CONSTRUCT INFILTRATION BERM FOR SYSTEMS 1-3 ACCORDING TO DETAILS.
- SEED AND STABILIZE TOPSOIL.
- REMOVE SILT SOCKS WHEN ALL AREAS HAVE REACHED THE REQUIRED 70% VEGETATIVE COVER REQUIREMENT.

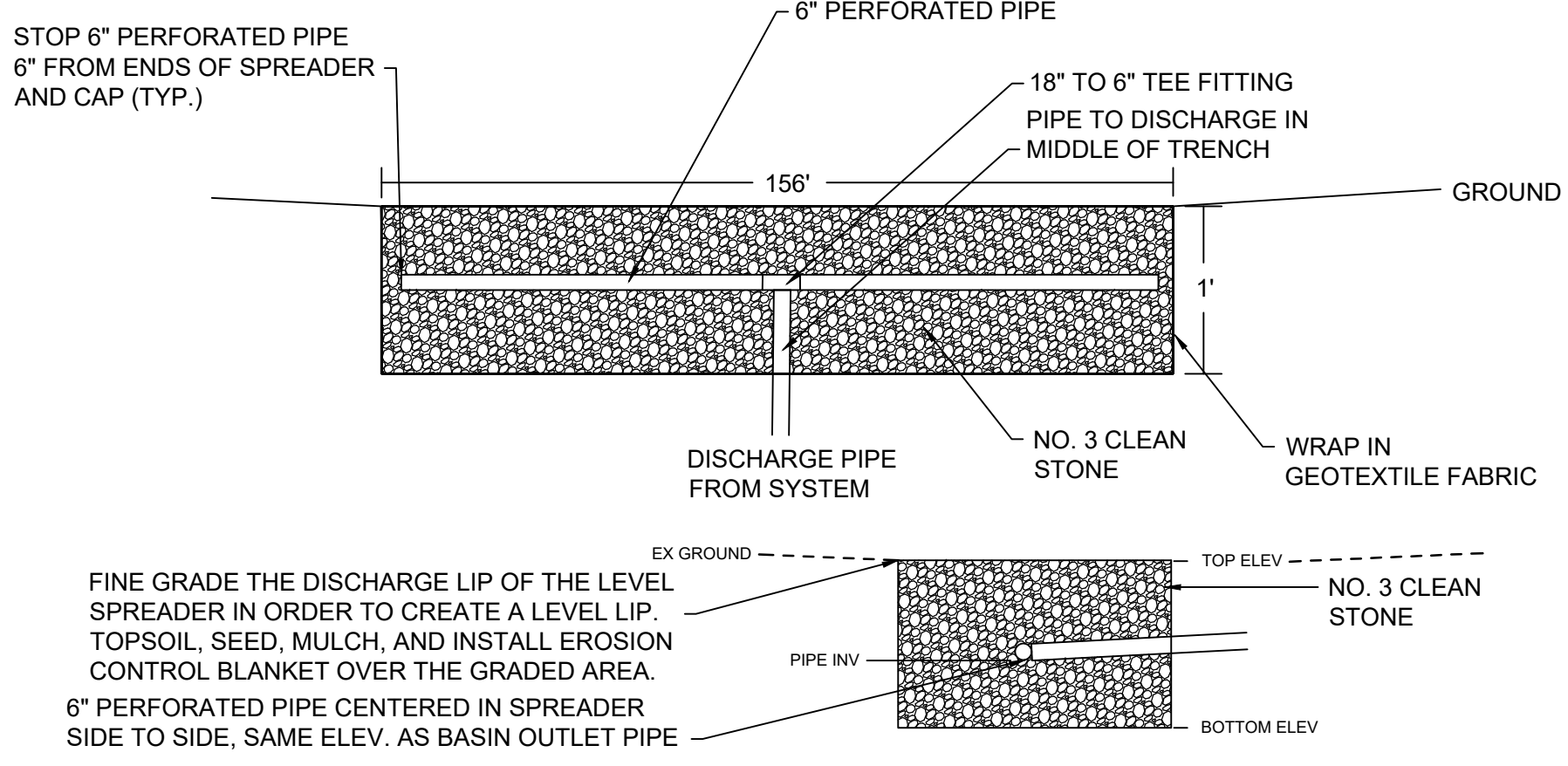
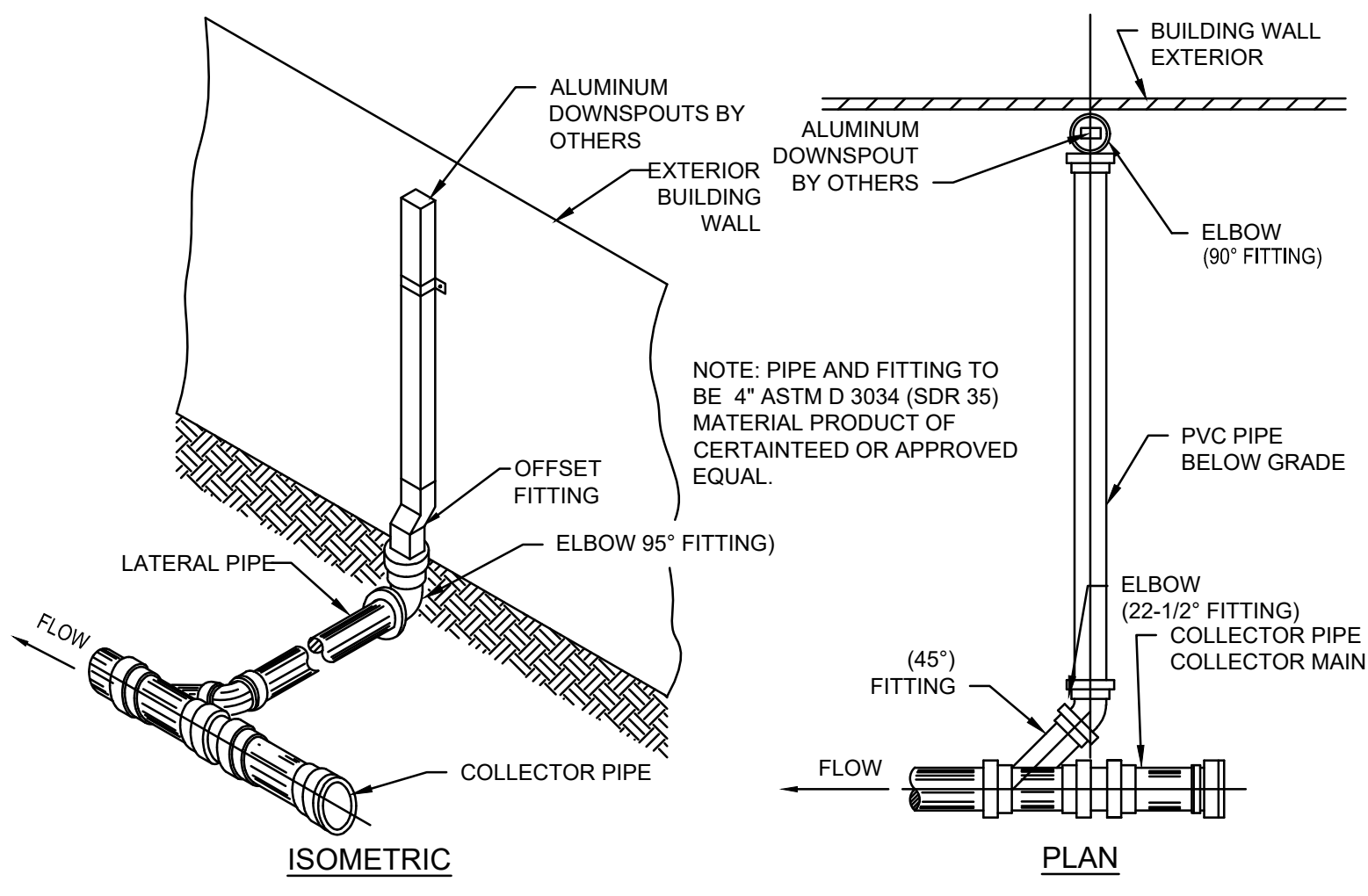
LONG TERM OPERATION & MAINTENANCE OF PCSM BMP'S & CO-PERMITTEE

- THE FOLLOWING ITEMS WILL NEED TO BE COMPLETED AFTER PERMIT ISSUANCE AND AS PART OF PROPERTY TRANSFER, AND INDIVIDUAL LOT CONSTRUCTION:
 - APPROVED PCSM PLAN SHALL BE RECORDED IN THE MONROE COUNTY RECORDER OF DEEDS OFFICE WITHIN 45 DAYS OF PERMIT ISSUANCE AND PRIOR TO THE SALE OF INDIVIDUAL LOTS.
 - AN "INSTRUMENT FOR THE DECLARATION OF RESTRICTION AND COVENANTS", BETWEEN THE PERMITTEE AND THE HOMEOWNERS, OUTLINING THE MAINTENANCE RESPONSIBILITIES FOR STORMWATER FACILITIES TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS, SHALL BE RECORDED IN THE MONROE COUNTY RECORDER OF DEEDS OFFICE WITHIN 45 DAYS OF PERMIT ISSUANCE AND PRIOR TO THE SALE OF THE INDIVIDUAL LOTS.
- THE FOLLOWING ITEMS WILL NEED TO BE COMPLETED AT THE TIME OF INDIVIDUAL LOT SALE AND CONSTRUCTION:
 - THE NEW LOT OWNER AND THE INDIVIDUAL LOT SITE CONTRACTOR SHALL BECOME CO-PERMITTEES BY EXECUTING THE CO-PERMITTEE AGREEMENT.
 - THE DESIGN PROFESSIONAL SHALL PERFORM THE CRITICAL STAGE INSPECTION FOR THE INDIVIDUAL LOT PCSM BMPS TO CERTIFY THE BMPS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS.
 - IN THE EVENT THAT THE AMOUNT OF IMPERVIOUS SURFACE, DISTURBED AREA, OR LAND COVER CHANGE ON THE INDIVIDUAL LOTS IS GREATER THAN WHAT WAS ASSUMED IN THE STORMWATER CALCULATIONS, A PERMIT MODIFICATION ADDRESSING PCSM AND E&S CHANGES WILL BE SUBMITTED AND APPROVED BY MCCD PRIOR TO INITIATING CONSTRUCTION ON THE INDIVIDUAL LOT.
 - UPON COMPLETION OF WORK AND PERMANENT STABILIZATION FOR EACH INDIVIDUAL LOT, A "RELEASE OF LIABILITY" FORM WILL BE EXECUTED AND ACKNOWLEDGED BY MCCD TO REMOVE THE HOMEOWNER AND INDIVIDUAL LOT CONTRACTOR FROM THE NPDES PERMIT.
 - UPON COMPLETION OF THE ENTIRE PROJECT (ALL INDIVIDUAL LOTS CONSTRUCTED), A NOTICE OF TERMINATION SHALL BE SUBMITTED TO MCCD, INCLUDING THE RECORDING OF AS-BUILT DRAWINGS AND DESIGN PROFESSIONAL CERTIFICATIONS.

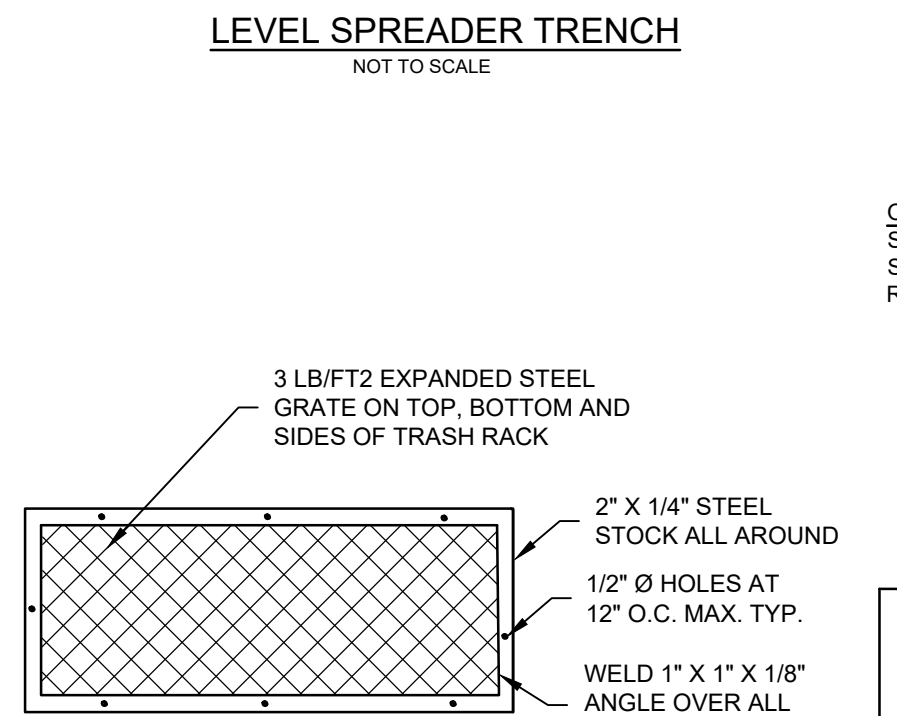
IDENTIFICATION OF CRITICAL STAGES OF BMP IMPLEMENTATION

CRITICAL STAGES OF IMPLEMENTATION OF PCSM PLAN REQUIRING OVERSIGHT DURING INSTALLATION:
 A LICENSED PROFESSIONAL OR THEIR DESIGNEE MUST BE PRESENT AT THE SITE DURING INSTALLATION OF CRITICAL STAGES OF THE PCSM PLAN MEASURES. THE INSTALLATION OF THE STORMWATER MANAGEMENT FACILITIES WILL REQUIRE A LICENSED PROFESSIONAL OR THEIR DESIGNEE TO BE PRESENT AT THE SITE DURING INSTALLATION OF THESE PCSM PLAN MEASURES. REFER TO THE SEQUENCE OF CONSTRUCTION AS OUTLINED IN THE EROSION AND SEDIMENTATION CONTROL PLAN SHEETS FOR COORDINATION OF INSPECTION OF THESE MEASURES.

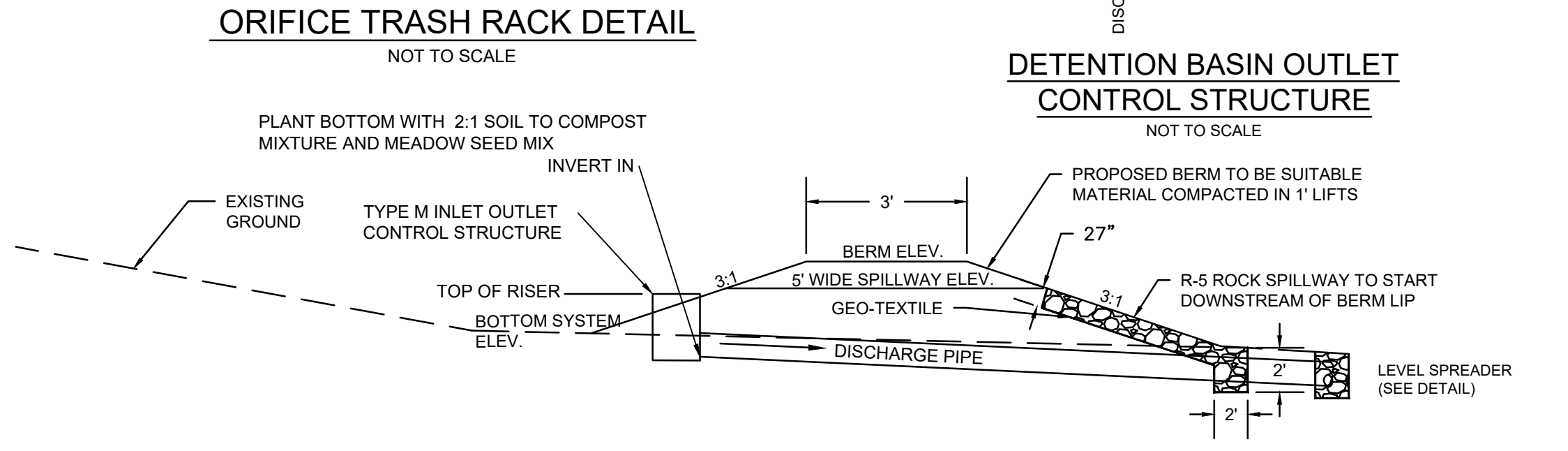
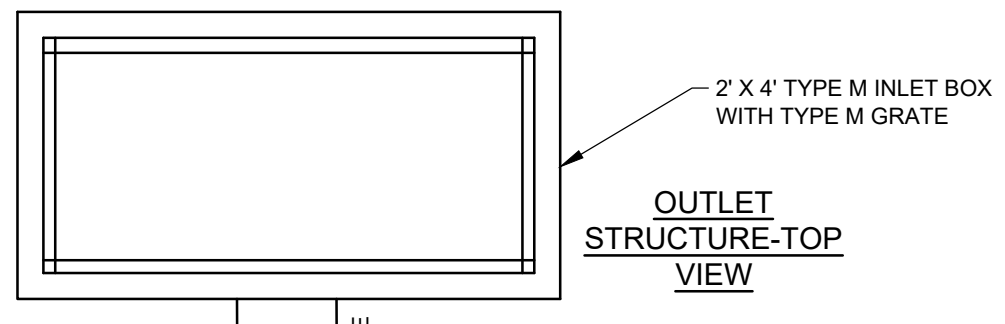
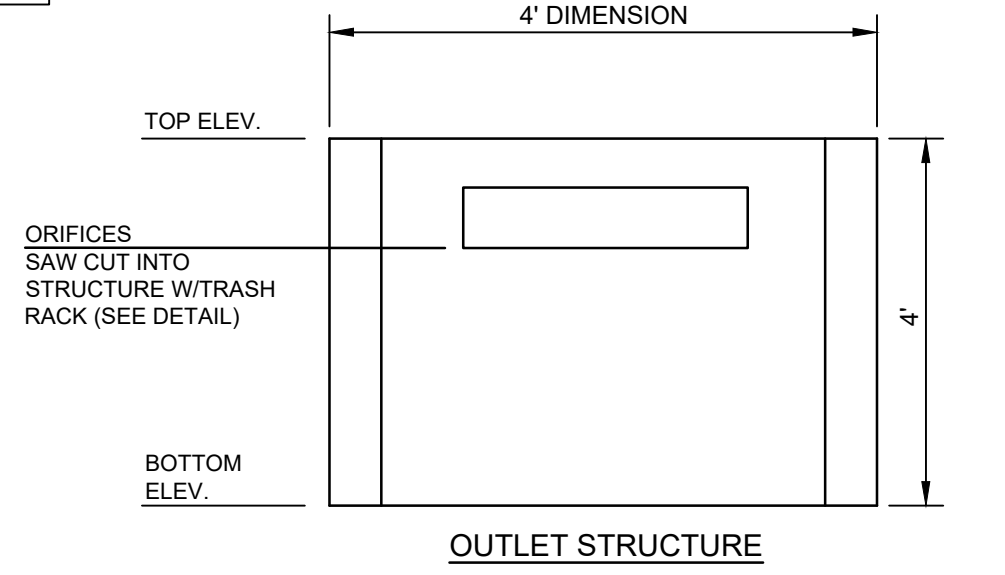
CRITICAL STAGES INCLUDE THE INSTALLATION OF THE ON-LOT INFILTRATION/DETENTION SYSTEMS FOR LOTS 1, 2, AND 3. REFER TO THE SEQUENCE OF CONSTRUCTION ON THE APPROVED E&S PLANS.



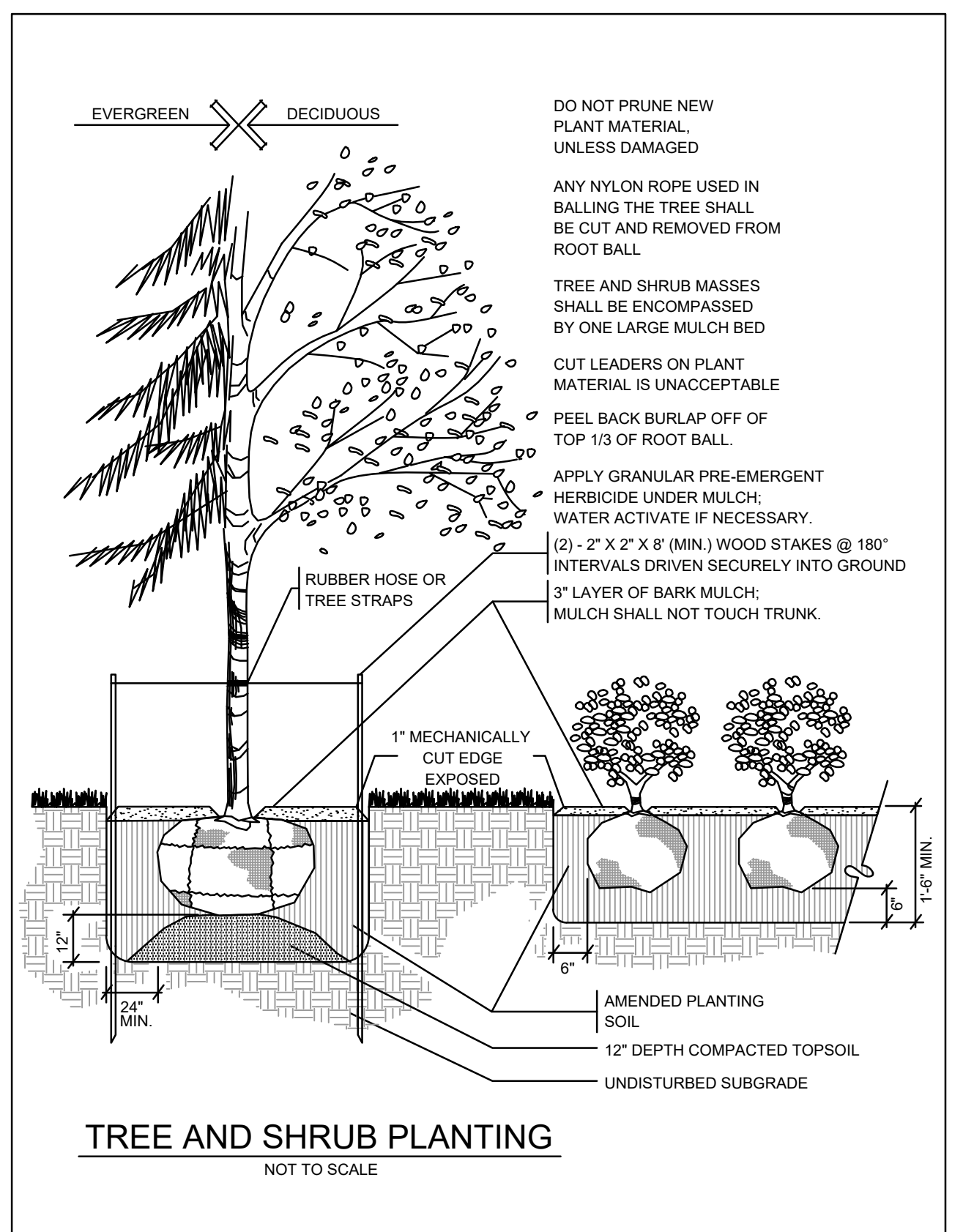
#	TOP ELEV	BOTTOM ELEV	Basin Outlet Pipe INV
1	684.00	682.00	682.25



- NOTES:**
- TRASH RACK TO BE CENTERED OVER ORIFICE.
 - STEEL TO CONFORM TO ASTM A-36.
 - ALL SURFACES TO BE COATED WITH ZRC COLD GALVANIZING COMPOUND AFTER WELDING.
 - TRASH RACK TO BE FASTENED TO THE WALL WITH 1/2\"/>



BASIN #	BOTTOM SYSTEM	BERM ELEV.	OUTLET PIPE	OUTLET PIPE INV	SPILLWAY ELEV.	TOP OF RISER ELEV.	1ST ORIFICE ELEV./SIZE	2ND ORIFICE ELEV./SIZE
1	680.0	684.0	12\"/>					



- GENERAL PLANTING NOTES**
- THE CONTRACTOR MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO BEGINNING CONSTRUCTION. CALL PENNSYLVANIA ONE CALL 1-800-242-1778.
 - THE CONTRACTOR SHALL LAYOUT AND REVIEW ALL PLANT MATERIAL AND PLANT LOCATIONS WITH ARCHITECT OR OWNER PRIOR TO INSTALLATION.
 - ALL AREAS DISTURBED DURING PLANTING ACTIVITY SHALL BE REESTABLISHED AS PERMANENT LAWN WITH THE SPECIFIED SEED MIX:
 60% NASSAU KENTUCKY BLUEGRASS
 20% JAMESTOWN II CHEWINGS FESCUE
 20% PALMER II PERENNIAL RYEGRASS
 % EQUALS PROPORTION BY WEIGHT
 SEED AT A RATE OF FIVE POUNDS PER 1,000 SQUARE FEET
 - ALL TREE AND SHRUB GROUPINGS SHALL BE COMPLETELY ENCOMPASSED WITHIN ONE LARGE MULCH BED AT EACH PLAN GROUPING LOCATION. THE MULCH BED SHALL TYPICALLY EXTEND MINIMALLY 2'-0\"/>

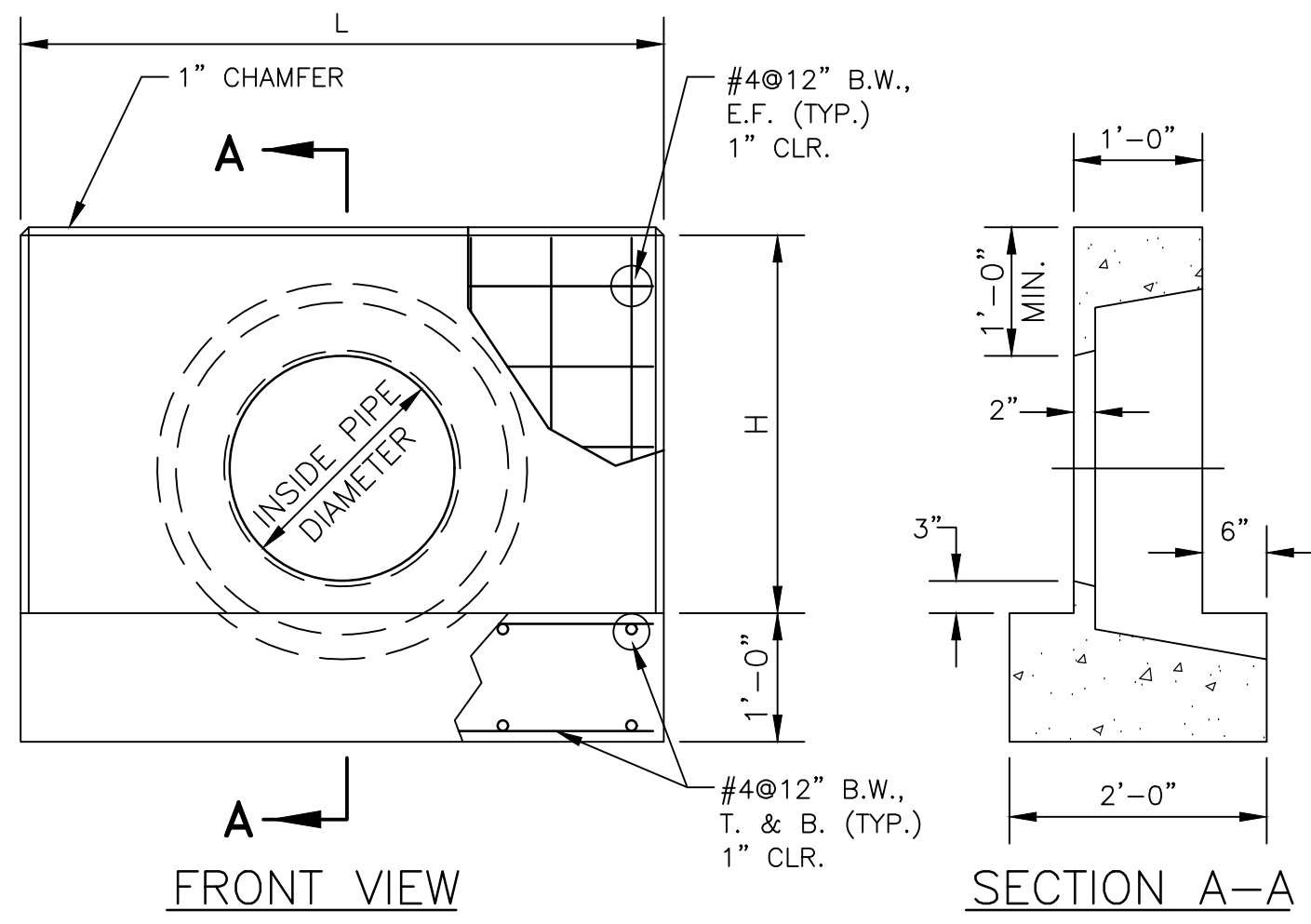
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KEYSTONE CONSULTING ENGINEERS

PCSM/SITE DETAILS
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 PRELIMINARY/FINAL MINOR SUBDIVISION OF LANDS OF D E & S PROPERTIES LLC
 2621 ROUTE 940 POCONO SUMMIT, PA 18346
 SMITHFIELD TOWNSHIP
 MONROE COUNTY, PENNSYLVANIA

DESIGNED BY:	TMM
DRAWN BY:	TMM
CHECKED BY:	ESS
DATE:	DEC 1, 2023
SCALE:	AS NOTED
JOB NUMBER:	CN-23-041
SHEET:	10 OF 11

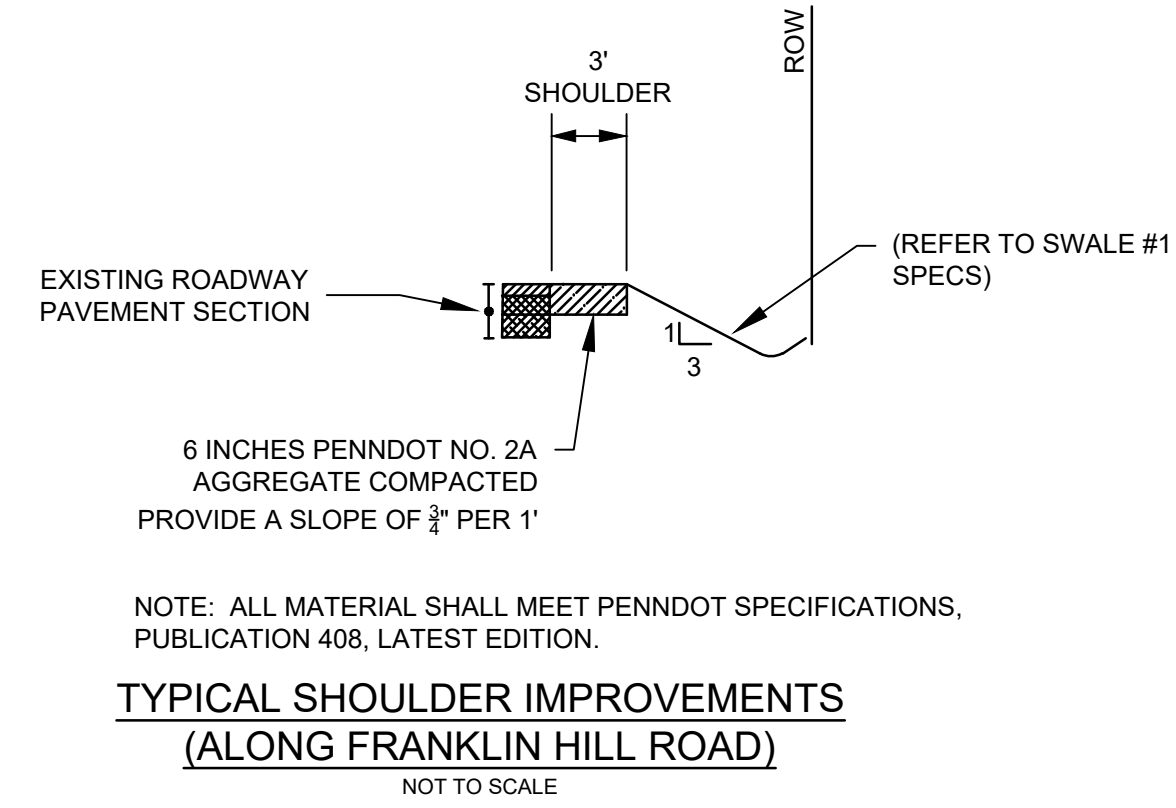
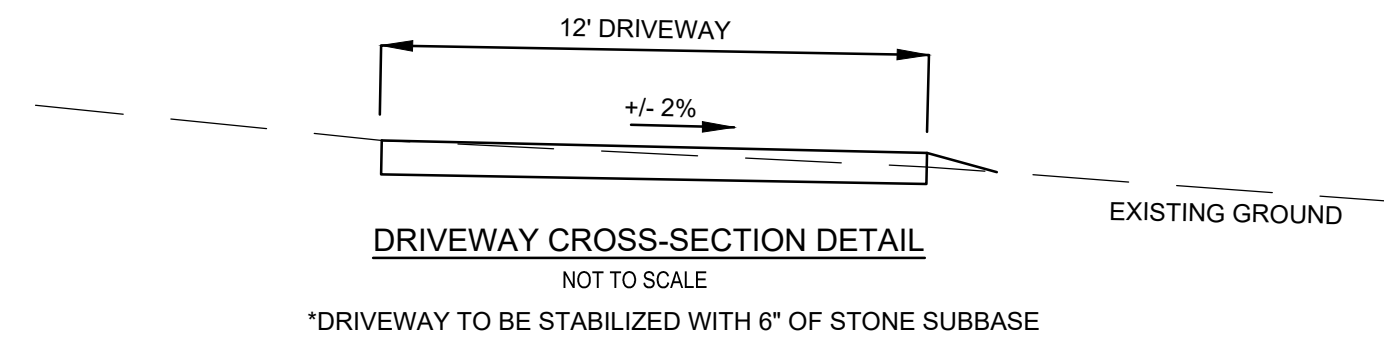
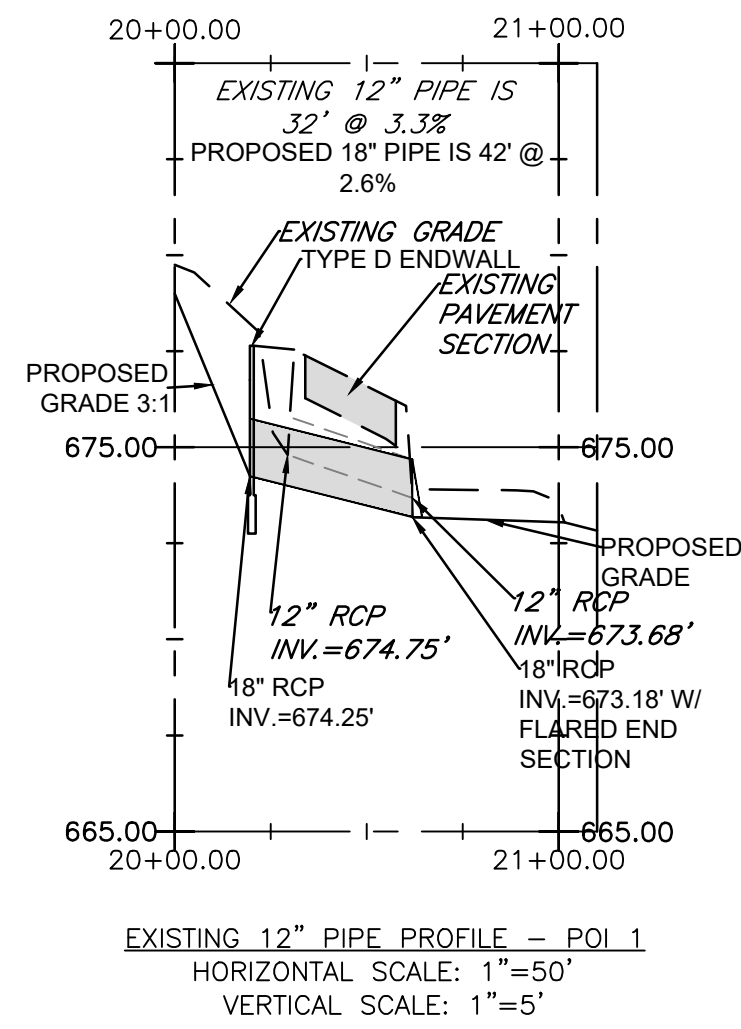
TIGHE M. MECKES
 REGISTERED PROFESSIONAL ENGINEER
 NO. 1091010
 STATE OF PENNSYLVANIA



INSIDE PIPE DIA. (IN.)	WEIGHT (LB.)	L (IN.)	H (IN.)
12-15	3375	60	30
18-21	3750	60	36
24-27	5775	84	42
30-33	7200	108	48
36	7900	108	57
42	9380	128	66

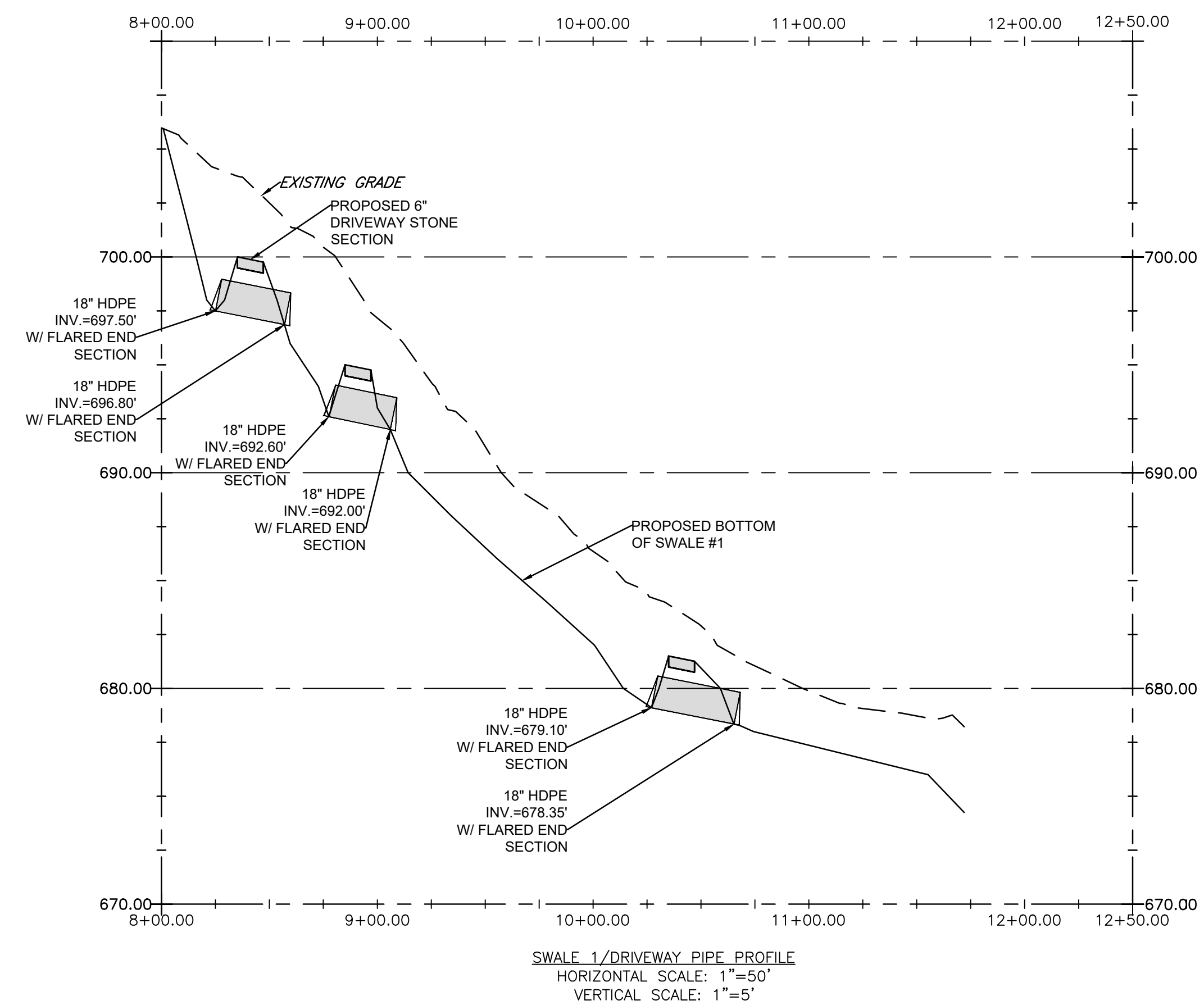
1. PRECAST CONCRETE STRUCTURE TO BE WET CAST AS MANUFACTURED BY ATLANTIC CONCRETE PRODUCTS, OR APPROVED EQUAL.
2. CONCRETE TO OBTAIN A STRENGTH OF 4,000 PSI IN 28 DAYS.
3. REINFORCING STEEL TO HAVE A YIELD STRENGTH OF 60,000 PSI.

TYPE "D" ENDWALL
NO SCALE



NOTE: ALL MATERIAL SHALL MEET PENNDOT SPECIFICATIONS, PUBLICATION 408, LATEST EDITION.

TYPICAL SHOULDER IMPROVEMENTS
(ALONG FRANKLIN HILL ROAD)
NOT TO SCALE



KEYSTONE CONSULTING ENGINEERS, INC.
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863 INTERCHANGE ROAD, SUITE 101, P.O. BOX 639
KRESGEVILLE, PA 18333 PH: (610) 681-5233 FAX: (610) 681-5248
East Office: Bethlehem; West Office: Allentown
www.KeystoneConsultingEngineers.com



PCSM/SITE DETAILS
FRANKLIN HILL MANOR
PRELIMINARY/FINAL LAND DEVELOPMENT OF
LANDS OF D & S PROPERTIES LLC
2621 ROUTE 940 POCONO SUMMIT, PA 18346
SMITHFIELD TOWNSHIP
MONROE COUNTY, PENNSYLVANIA

DESIGNED BY:	TMM
DRAWN BY:	TMM
CHECKED BY:	ESS
DATE:	DEC 1, 2023
SCALE:	AS NOTED
JOB NUMBER:	CN-23-041
SHEET:	11 OF 11

