GENERAL NOTES:

- OWNER/APPLICANT/DEVELOPER: D E & S PROPERTIES T/A CLASSIC QUALITY HOMES 2621 ROUTE 940 POCONO SUMMIT, PA 18346 (570) 839-3200
- 2. PROPERTY ADDRESS: FRANKLIN HILL ROAD
- ZONING DISTRICT:
- R-1; SINGLE FAMILY RESIDENTIAL HOUSING IS A PERMITTED USE 4. PROPERTY DEED BOOK/PAGE:
- BOOK 2553, PAGE 3515

16-7312-04-80-8766

- PROPERTY ACREAGE 5. 6.1895 ACRES
- 6. PIN NUMBER
- 7. PARCEL NUMBER
- 16/7F/1/11
- INTENTION OF PLAN/STATEMENT OF PLAN: 8. THE SUBDIVISION OF LAND INTO THREE NEW SINGLE-FAMILY RESIDENTIAL HOUSES. PROPOSED PRINCIPAL USES TO BE SINGLE-FAMILY HOUSES ON EACH LOT.

9. ZONING DISTRICT REQUIREMENTS:

REQUIREMENT	REQUIRED	PROPOSED LOT 1	PROPOSED LOT 2	PROPOSED LOT 3
MIN. LOT ACREAGE (GROSS) MIN. LOT ACREAGE (NET)	50,000 S.F. 50,000 S.F.	1.3399 1.1492	1.1919 1.1626	3.6577 3.2888
MIN. LOT WIDTH	150'	170.43'	150.00'	320.32'
MIN. LOT DEPTH	200'	364.26'	375.57'	627.52'
FRONT YARD	35'	35'	35'	35'
SIDE YARD	30'	30'	30'	30'
REAR YARD	25'	N/A	25'	25'
MAX. % BLDG COVERAGE	20%	3.90%	3.85%	1.36%
MAX. % IMPERVIOUS COVERAGE	25%	8.99%	8.89%	5.58%
MAX. BUILDING HEIGHT	35'	30'	30'	30'

10. PARKING: REQUIRED PARKING: 2 SPACES PER DWELLING UNIT

PROVIDED PARKING: 1 SPACE ALLOCATED PER DWELLING UNIT IN THE GARAGE WITH 2 ADDITIONAL SPACES SHOWN ON THE PLANS IN THE DRIVEWAY.

11. TOPOGRAPHIC INFORMATION IS BASED ON A COMBINATION OF FIELD SURVEY AND LIDAR INFORMATION. CONTOUR INTERVALS ARE 2' AND 10'

- 12. BOUNDARY SURVEY PERFORMED BY JONATHAN SHUPP, PLS.
- 13. THE SUBJECT SITE DOES NOT LIE WITHIN THE FEMA FLOODPLAIN AS DEPICTED ON THE LATEST (FIRM) FLOOD INSURANCE RATE MAPS OF MONROE COUNTY, PENNSYLVANIA NUMBER 42089C0294E, EFFECTIVE DATE MAY 2, 2013.
- 14. THERE IS A NEGLIGIBLE AREA OF WETLANDS WITHIN LOT 3. THE REPORT PROVIDED BY SPARNON WETLANDS SERVICES DESCRIBES THE CONDITIONS IN DETAIL. THERE AR HYDRIC SOILS ON THE PARCEL
- 15. THERE ARE NO STEEP SLOPES ON THE PARCEL.
- 16. THE PLANNING COMMISSION AND BOARD OF SUPERVISORS HAVE NOT PASSED UPON THE FEASIBILITY OF ANY INDIVIDUAL LOT OR LOCATION WITHIN A LOT BEING ABLE TO ANY TYPE OF WELL OR SEWAGE DISPOSAL SYSTEM.
- 17. INDIVIDUAL OWNERS OF LOTS MUST APPLY TO THE TOWNSHIP FOR A SEWAGE PERMIT PRIOR TO THE CONSTRUCTION OF ANY ON-LOT SEWAGE DISPOSAL SYSTEM.

COVENANTS

- THE RESIDENTIAL LOTS WILL BE SERVICED BY ON-LOT SEWAGE DISPOSAL SYSTEMS.
- 2. THE RESIDENTIAL LOTS WILL BE SERVICED BY ON-LOT WELLS.
- 3. TOWNSHIP DRIVEWAY PERMITS WILL BE REQUIRED TO OBTAIN ACCESS FROM FRANKLIN HILL ROAD.
- 4. CLEAR SIGHT EASEMENTS ARE HEREBY ESTABLISHED ACROSS ALL LOTS WHICH CORRESPOND WITH CLEAR SIGHT TRIANGLES CREATED AT THE INTERSECTION OF EACH DRIV FRANKLIN HILL ROAD. EACH CLEAR SIGHT TRIANGLE IS FORMED COMMENCING AT A POINT IN THE CENTER OF THE DRIVEWAY OF EACH LOT, MEASURED 15' FROM THE EDGE PAVEMENT OF THE ROAD ON WIHICH THAT DRIVEWAY FRONTS, FROM WHICH POINT TWO LINES ARE DRAWN TO POINTS 15' LEFT AND 15' RIGHT ALONG THE EDGE OF PAVEMENT ROAD ON WHICH THAT DRIVEWAY FRONTS, AND THEN A LINE DRAWN CONNECTING THOSE LATTER TWO POINTS. EACH LOT OWNER SHALL BE RESPONSIBLE TO MAINTAIN TH SIGHT TRIANGLE ASSOCIATED WITH HIS LOT, BY KEEPING THE AREA WITHIN THE CLEAR SIGHT TRIANGLE CLEAR OF ANY SIGHT OBSTRUCTIONS (OTHER THAN UTILITY POLES, OFFICIAL STREET SIGN POSTS. AND INDIVIDUAL DECIDUOUS TREE TRUNKS) BETWEEN A HEIGHT OF 1.5' AND 10' ABOVE GROUND LEVEL, AND SHALL ALSO BE RESPONSIBLE TO KEEP ANY PORTION OF HIS LOT WHICH IS INCLUDED WITHIN THE CLEAR SIGHT TRIANGLE OF ANY NEIGHBORING LOT, CLEAR OF ANY SIGHT OBSTRUCTIONS (OTHER THAN UTIL MAILBOXES, OFFICIAL STREET SIGN POSTS, AND INDIVIDUAL DECIDUOUS TREE TRUNKS) BETWEEN A HEIGHT OF 1.5' AND 10' ABOVE GROUND LEVEL. THIS EASEMENT, OBLIGAT COVENANT SHALL RUN WITH THE LAND.
- BY APPROVAL OF THIS PLAN, SMITHFIELD TOWNSHIP HAS NEITHER CONFIRMED NOR DENIED THE EXISTENCE AND/OR EXTENT OF ANY WETLAND AREAS, WHETHER OR NOT DE ON THE PLAN, AND ANY ENCROACHMENT THEREON FOR ANY REASON WHATSOEVER SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, HIS HEIRS AND ASSIGNS AND SHALL TO THE JURISDICTION OF THE ARMY CORPS OF ENGINEERS AND/OR PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION, AND THE ENCROACHMENT SHALL CONF RULES AND REGULATIONS OF THE JURISDICTIONAL AGENCIES.
- 6. TEN (10') UTILITY AND DRAINAGE EASEMENTS ARE PROVIDED ALONG ALL PROPERTY LINES AND STREET RIGHT-OF-WAYS AS INDICATED ON THE PLANS. ALL EASEMENTS SHAL ACCESSIBLE AND USABLE BY SMITHFIELD TOWNSHIP FOR THE EASEMENT'S STATED PURPOSE.
- WELL AND SEWAGE DISPOSAL SYSTEMS SHALL BE CONTRUCTED IN ACCORDANCE WITH STANDARDS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- 8. INDIVIDUAL OWNERS OF LOTS MUST RECEIVE APPROVAL FROM THE TOWNSHIP SEWAGE ENFORCEMENT OFFICER FOR A SEWAGE PERMIT PRIOR TO UNDERTAKING THE CONS OF AN ON-LOT SEWAGE DISPOSAL SYSTEM OR BUILDING THAT WILL NEED TO BE SERVED BY SUCH A SYSTEM.
- 9. THE OWNERS, ITS SUCCESSORS AND ASSIGNS, SHALL MAKE PROVISION AND BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, OPERATION AND REPAIR OF ANY AND A STORMWATER MANAGEMENT FACILITIES AND CONTROLS DEPICTED ON THIS PLAN AND OTHER PLANS AND DOCUMENTS SUPPORTING THE SAME, INCLUDING, BUT NOT LIMITE DETENTION/RETENTION BASINS, INFILTRATION FACILITIES, DRAINS, RAIN GARDENS, INLETS, SWALES, PIPES, BERMS, MANHOLES AND SPREADERS. SMITHFIELD TOWNSHIP IS I GRANTED AN EASEMENT AND RIGHT TO ACCESS AND INSPECT ALL OF THE STORMWATER MANAGEMENT FACILITIES AND CONTROLS AT ANY REASONABLE TIME. IF SMITHFIEL DETERMINES AT ANY TIME THAT ANY OF SAID STORMWATER MANAGEMENT FACILITIES AND CONTROLS HAVE BEEN ELIMINATED, ALTERED OR IMPROPERLY MAINTAINED, THE OWNER SHALL BE ADVISED OF THE CORRECTIVE MEASURES REQUIRED AND BE AFFORDED A REASONABLE PERIOD OF TIME TO TAKE THE NECESSARY CORRECTIVE ACTION. TOWNSHIP SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION, OF INGRESS, EGRESS AND REGRESS TO ANY AND ALL OF THE STORMWATER MANAGEMENT FACILITIES AND CO OVER, UPON, IN, UNDER AND THROUGH THE PROPERTY, AS WELL AS UPON AND WITHIN THE UTILITY AND DRAINAGE EASEMENTS AS SHOWN ON THIS PLAN, FOR THE PURPOSI INSTALLATION, MAINTENANCE AND/OR REPAIR DUE TO THE FAILURE OR NEGLECT OF THE OWNER TO PERFORM THE SAME WITHIN THE TIME REQUIRED, OR FOR EMERGENCY I TO THE STORMWATER MANAGEMENT FACILITIES AND CONTROLS IF NECESSARY, IF SMITHFIELD TOWNSHIP ELECTS TO PERFORM SUCH INSTALLATION, MAINTENANCE AND/OF ALL COSTS AND EXPENSES INCURRED BY SMITHFIELD TOWNSHIP IN RELATION TO ANY WORK PERFORMED BY SMITHFIELD TOWNSHIP PURSUANT TO THE PROVISIONS OF THI AND/OR THE ENFORCEMENT OF THE SAME, SHALL BE THE JOINT AND SEVERAL RESPONSIBILITY OF THE OWNER AND ANY OCCUPIER OF THE PROPERTY WHO VIOLATED THE OF THIS COVENANT, PAYABLE BY THE OWNERS AND/OR OCCUPIERS OF THE PROPERTY, THEIR HEIRS, ADMINISTRATORS, EXECUTORS, SUCCESSORS AND ASSIGNS UPON DEI SMITHFIELD TOWNSHIP, AND SHALL CONSTITUTE A LIEN AGAINST THE PROPERTY UNTIL PAID IN FULL. THE REMEDIES OF SMITHFIELD TOWNSHIP PURSUANT TO THIS COVENA ADDITION TO ALL OTHER RIGHTS AND REMEDIES AVAILABLE TO SMITHFIELD TOWNSHIP, ITS SUCCESSORS AND ASSIGNS, PURSUANT TO ANY STATUTE, ORDINANCE, AT LAW O THIS COVENANT SHALL RUN WITH THE LAND.

10. THE FOLLOWING PERMIT APPROVALS ARE REQUIRED PRIOR TO START OF CONSTRUCTION:

- INDIVIDUAL NPDES PERMIT - SEWAGE FACILITIES PLANNING MODULE
- EROSION AND SEDIMENT POLLUTION CONTROL - TOWNSHIP STORMWATER MANAGEMENT PERMIT

11. A MAXIMUM ALLOWED IMPERVIOUS AREA HAS BEEN ESTABLISHED FOR EACH LOT AS DEPICTED ON SHEET 5 OF THIS SUBDIVISION PLAN, WHICH TRANSLATES TO THE FOLLOWING SQUARE FOOTAGE PER LOT:

LOT 1 = 4500 SF LOT 2 = 4500 SF LOT 3 = 8000 SF

SAID MAXIMUM IMPERVIOUS AREA SHALL NOT BE ALTERED OR INCREASED FOR ANY REASON UNLESS AND UNTIL ANY ALL ALL NECESSARY LOCAL, STATE AND FEDERAL PERMITS AND APPROVALS ARE FIRST OBTAINED. THIS COVENANT SHALL RUN WITH THE LAND.

- 12. PLAN COVENANTS 4, 6, 7, 8, 9, AND 11 SHALL BE INCLUDED IN EACH DEED WHICH CONVEYS A LOT DEPICTED ON THIS PLAN, TOGETHER WITH A STATEMENT THAT THEY "SHALL RUN WITH THE LAND".
- 13. SHEETS 2 THROUGH 11 INCLUSIVE, ON RECORD AT SMITHFIELD TOWNSHIP, SHALL BE CONSIDERED A PART OF THE APPROVED FINAL PLANS AS IF RECORDED WITH SAME.
- 14. THE APPLICANT/DEVELOPER IS REQUIRED TO OBTAIN FROM A LICENSED TESTING LABORATORY, CERTIFICATES OF APPROVAL FOR EACH LOT AS TO THE QUALITY AND ADEQUACY OF THE WATER SUPPLY PROPOSED TO BE USED BY THE APPLICANT/DEVELOPER.

REVIEWED BY SMITHFIELD TOWNS

TOWNSHIP ENGINEER

DATE

COVER* SITE CONTEXT MAP EXISTING RESOURCES & SITE ANALYSIS SUBDIVISION PLAN* PCSM PLAN* E&S PLAN E&SPC DETAILS E&SPC DETAILS E&SPC/PCSM DETAILS PCSM/SITE DETAILS SITE DETAILS

SHEET INDEX:

SHEET 3 SHEET 4 SHEET 5 SHEET 6 SHEET 7 SHEET 8 SHEET 9 SHEET 10 SHEET 11

SHEET '

SHEET 2

*PLAN SHEETS TO BE RECORDED.

PRE



CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE – STOP CALL
Pennsylvania One Call System, Inc.
1-800-242-1776

LIMI LAND Smit	NARY/FINAL OF T S OF D E & S HFIELD TOWNSHIP, MONR	MINOR SUBDI HE PROPERTIES OE COUNTY, PENNSYLVAN	EVISION REQUEST FOR W THE FOLLOWING ORDINANCE AND 22-601 - SUBMIT 22-603.G.14 & 22- 22-603.G.15 - PROV 22-1023.5 & 22-13 22-1013.1 - PROV 22-1023.5 & 22-13 22-1011.1 F. (2)(e) 26-224.A.3 - USE	/AIVERS: REQUEST FOR WAIVERS FROM THE SMITHFIELD TOWNSHIP SUBDIVISIO STORMWATER MANAGEMENT ORDINANCE WERE GRANTED BY THE BO/ FOR THE PLAN: SEPARATE PRELIMINARY AND FINAL PLANS 1101 - PROVIDE LANDSCAPING PLAN DVIDE LIGHTING PLAN IDE SIDEWALKS 01.5.B - PROVIDE MONUMENTED EASEMENTS AROUND STORMWATER F. (1) - PROVIDE 1 SHADE TREE AND 3 SHRUBS FOR EVERY 30 LINEAR FEET DVIDE 20' ACCESS EASEMENT AROUND STORMWATER FACILITIES NRCS CURVE NUMBER METHOD	AND LAND DEVELOPMENT AND OF SUPERVISORS ON ACILITIES	ENGINEERS, INC.	esince1972 E101, P.O.BOX 639 1-5233 FAX: (610) 681-5248	Office: Allentown ngineers.com
IA, MAP RE NO SUSTAIN	RC ZONE RE	NE RC ZONE RI ZONE	PROJECT NARATIVE: THE PURPOSE OF THIS LAND I WILL CONTAIN ONE SINGLE FAMILY SHOWS THE PROPOSED LOCATIONS "I, TIGHE ME DRAINAGE B BRODHEAD MANAGEME TIGHE MEC "I, DAVID WE BEST OF ME BUILDING, S REVISION STATEMENT BUILDING, S BUILDING BUILDING, S BUILDING, S BUILDING, S BUILDING, S BUILDING, S BUILDING, S BUILDING, S	DEVELOPMENT IS TO CREATE THREE RESIDENTIAL LOTS FROM THE 6 HOME WITH ON-LOT WELL, SEWAGE DISPOSAL, AND STORMWATER M S FOR THESE FACILITIES. CKES, ON THIS DATE, HEREBY CERTIFY THAT THE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE MCMICHAELS ACT 167 PLAN AND SMITHFIELD TOWNSHIP STORMWATER NT ORDINANCE. KES, PE DATE, HEREBY CERTIFY THAT TO T Y KNOWLEDGE, THE PLANS ARE IN CONFORMITY WITH ENGINEERING, ZO SANITATION AND OTHER APPLICABLE TOWNSHIP ORDINANCES AND INS AND, WHERE THEY ARE NOT SO CONFORMING, DETAILS OF THE ARE RRMANCE AND THE REASONS FOR REQUESTING MODIFICATIONS TO THE STANDARDS HAVE BEEN PROVIDED. GERD DATE	THE APPROVED DRAINAGE PLAN	KEYSTONE CONSULTING	Engineering firm of choice 863 INTERCHANGE ROAD, SUIT KRESGEVILLE PA 18333 PH: (610) 681	East Office: Bethlehem; West www.KeystoneConsultingE
VEWAY WITH DF NT OF THE	CALL BEFORE PENNSYLVANIA LA 3 WORKING DAYS CONSTRUCTION PHASE DAYS IN DESIGN STAG Pennsylvania One Co	YOU DIG! W REQUIRES NOTICE FOR AND 10 WORKING E - STOP CALL all System, Inc.	DAVID WENGERD, PRESIDENT D E & S PROPERTIES INC. T/A CLASSIC QU 2621 ROUTE 940 POCONO SUMMIT, PA 18346 SWORN AND SUBSCRIBED BEFORE THIS_ <u>OWNERS STATEMENT</u> I/WE MAKE THIS STATEMENT BEING PLANS, WE ARE THE MAJORITY OWNERS AND ARE IN PEACEFUL POSSESSION OF I ACKNOWLEDGE AND ENDORSE THE ACC	DAY OF, 20 DAY OF, 20 DULY SWORN ACCORDING TO LAW. I/WE STATE THAT FOR THE LAND IN OF THIS PROPERTY OR THE AUTHORIZED OFFICERS OF THE CORPORAT T, AND THAT THERE ARE NO SUITS PENDING AFFECTING THE TITLE OF S DMPANYING PLANS AND THAT WE WILL PROPOSE A RECORD PLAN FOR I	VOLVING THE ACCOMPANYING ION THAT OWNS THIS PROPERTY, AME, AND THAT I/WE RECORDING (AS APPLICABLE),			CONSULTING ENGINEERS
E CLEAR MAILBOXES, ILKEWISE ITY POLES, TION AND ELINEATED BE SUBJECT ORM TO THE LL BE I. STRUCTION ALL ED TO, ALL HEREBY D TOWNSHIP THEN SMITHFIELD ONTROLS E OF REMEDIES REPAIR. IS COVENANT PROVISIONS MAND BY INT ARE IN DR IN EQUITY	STORMWATER MANAGEMENT THE TOWNSHIP HAS THE RIG SHOWN. THE TOWNSHIP IS P THE STORMWATER MANAGEM OWNER'S EXPENSE. COVENANTS CONTINUED: 15. ANY PROPOSED WELL IS SUBJECT TO THE PROVISI STANDARDS, WHICH INCLUDES REQUIREMENTS FOR WE PRODUCTION CERTIFICATION. 16. WHEN THE APPLICANT/DEVELOPER HAS COMPLETE IMPROVEMENTS, THE APPLICANT/DEVELOPER SHALL NO MAIL, OF THE COMPLETION OF THE IMPROVEMENTS AND THIS NOTICE SHALL INCLUDE A SET OF AS-BUILT DRAWE MAIL, OF THE COMPLETION OF THE IMPROVEMENTS AND THIS NOTICE SHALL INCLUDE A SET OF AS-BUILT DRAWE MAIL, OF THE COMPLETION OF THE IMPROVEMENTS AND THIS NOTICE SHALL INCLUDE A SET OF AS-BUILT DRAWE MAIL, OF THE COMPLETION OF THE IMPROVEMENTS AND THE NOTICE SHALL INCLUDE A SET OF AS-BUILT DRAWE MAIL, OF THE COMPLETION OF THE IMPROVEMENTS AND THE NOTICE SHALL INCLUDE A SET OF AS-BUILT DRAWE MAIL, OF THE COMPLETION OF THE IMPROVEMENTS AND THE NOTICE SHALL INCLUDE A SET OF AS-BUILT DRAWE MAIL AREAS TO BE PLANTED WITH MEADOW SEED ME BE MAINTAINED AS SUCH FOR THE LIFE OF THE PROJECT	242–1776 <u>BLANKET EASEMENT:</u> HT TO ACCESS THE PROPERTY FROM THE EXISTING ROAD (ALBER ERMITTED TO ENTER THE PROPERTY TO INSPECT, MAINTAIN, AND MENT FACILITIES SHOULD THE PROPERTY OWNER FAIL TO DO SO, DNS OF THE TOWNSHIP WELL CONSTRUCTION ELL PERMITTING, WATER QUALITY TESTING, AND WELL D ALL OF THE NECESSARY AND APPROPRIATE DTIFY THE TOWNSHIP, BY CERTIFIED OR REGISTERED D SHALL SEND A COPY TO THE TOWNSHIP ENGINEER. NGS FOR REVIEW AND APPROVAL BY THE TOWNSHIP X AS INDICATED ON THE PCSM AND E&S PLANS SHALL T. IN THE EVENT A FUTURE PROPERTY OWNER WOULD	AFTER RECEIVING ALL REQUIRED MUNIC DAVID WENGERD, PRESIDENT D E & S PROPERTIES INC. T/A CLASSIC QU 2621 ROUTE 940 POCONO SUMMIT, PA 18346 SWORN AND SUBSCRIBED BEFORE THIS D/OR REPAIR D, AT THE PERMIT/APPROVAL CERTIFICATION I/WE HEREBY CERTIFY THIS DATE O PROPERTY SHOWN AND DEPICTED ON TH REQUIREMENTS AND OBTAIN ALL PERMIT AGREE AND ACKNOWLEDGE THAT ANY A PERMITS AND APPROVALS, AND THAT IF / BY SMITHFIELD TOWNSHIP WITH RESPEC PART OF THE SMITHFIELD TOWNSHIP. DAVID WENGERD, PRESIDENT D E & S PROPERTIES INC. T/A CLASSIC QU 2621 ROUTE 940 POCONO SUMMIT, PA 18346	PRINTED NAME PRINTED NAME DAY OF	ED EQUITABLE OWNERS OF THE GNS SHALL COMPLY WITH ALL NCIES AND BODIES; AND I/WE N MY/OUR OBTAINING SUCH ANY AND ALL APPROVALS GIVEN OUT FURTHER ACTION ON THE	FRANKLIN HILL MANOR	PRELIMINARY/FINAL MINOR SUBDIVISION OF LANDS OF D E & S PROPERTIES LLC 2621 ROUTE 940 POCONO SUMMIT, PA 18346	SMITHFIELD TOWNSHIP MONROE COUNTY, PENNSYLVANIA
	DEVELOPMENT PLAN MUST BE SUBMITTED TO SMITHFIE PRIOR TO CONSTRUCTION. ADDITIONAL STORMWATER	REVIEWED BY THE SMITHFIELD TOWNSHIP PLANNING COMMISSION	APPROVED BY THE SMITHFIELD TOWNSHIP BOARD OF SUPERVISORS AND ACCEPTED FOR RECORDING	PENNSYLVANIA DO HEREBY CERTIFY THAT THE PLAN CORRECTL SURVEY MADE BY MYSELF ON AUGUST 27, 2020, THE MONUMENT AS LOCATED AND THE DIMENSIONAL AND GEODETIC DETAILS AR PROPERTY OF THE PROPOSED SUBDIVISION OR LAND DEVELOPI JONATHAN SHUPP, PLS, SEO DATE "I, JONATHAN SHUPP, A REGISTERED SURVEYOR OF THE COMMO PENNSYLVANIA, DO HEREBY CERTIFY THAT THE ACCOMPANYING AND SUPPORTING DOCUMENTATION ARE TRUE AND ACCURATE, KNOWLEDCE	ONWEALTH OF S APPLICATION, PLANS, TO THE BEST OF MY	REVISIONS BY DATE		
APPROVA	_/REVIEW BLOCKS: REVIEWED BY MONROE COUNTY PLANNING COMMISSION COUNTY PLANNING COMMISSION STAFF PERSON DATE	CHAIR SECRETARY DATE	CHAIR SECRETARY DATE	KNOWLEDGE. JONATHAN SHUPP, PLS, SEO DATE PRINTED NAME ADDRESS	REGISTERED PROFESSIONAL TIGHE M. MECKES DI ENGINEER NO. PEOPIS25	DESIGNED BY: TMM DRAWN BY: TMM	CHECKED BY: ESS DATE: DEC 1, 2023 SCALE: AS NOTED	JOB NUMBER: CN-23-041 SHEET: 1 OF 11







			Der	oth To								Soil L	imitations							
Map Symbol and Soil Description	HSG	Hydric Soil/ Inclusions	HWT (in)	Bedrock (in)	Cut Banks Cave	Corrosive to Steel/ Concrete	Droughty	Easily Erodible	Flooding	High Water Table	Hydric Soils	Low Strength	Slow Percolation	Piping	Poor Source of Topsoil	Frost Action	Shrink/ Swell	Potential Sinkhole	Ponding	Wetness
BaB - Bath channery silt loam 3-8% slopes Soil Component: Bath	с	No	24-36	26-38	x	C/S	•	i	-	x	x	-	x	-	x	x	-	-	-	÷
BeB - Benson-Rock outcrop complex 0-8% slopes Soil Component: Benson	D	No	>80	12-20	x	с	x	-	-	-	-	x	x	x	x	x	-	-	-	-
BeC - Benson-Rock outcrop complex 8-25% slopes Soil Component: Benson	D	No	>80	12-20	x	С	x	-	-	÷	-	x	x	x	x	x	-	-	-	-
MaB - Mardin channery silt Ioam 3-8% slopes Soil Component: Mardin	D	No	13-24	14-26	x	S	x	x		x	x	x	x	x		x	-	-	-	x

NOTE:

THE TOWNSHIP HAS NOT VERIFIED THE PRESENCE OR ABSENCE OF WETLANDS

BeB BENSON-ROCK OUTCROP COMPLEX 0-8% SLOPES

BOUNDARY

BeC BENSON-ROCK OUTCROP COMPLEX 0-8% SLOPES

--- POI 1/-2.33 ACRES

S

BaB BATH CHANNERY SILT LOAM 3-8% SLOPES

> BENCHMARK -SPIKE/NAIL ELEV. = 694.58

- - `

FRANKLIN HILL ROAD EXISTING RIGHT-OF-WAY LINES (33' WIDTH)

FRANKLIN HILL ROAD EXISTING CARTWAY (20' WIDTH)

DISCHARGE POINT #1 POINT OF INTEREST - A (12" PIPE - TO POND)

6277 H

12" RC

DRAINAGE DIVIDE

MaB MARDIN CHANNERY SILT LOAM 3-8% SLOPES

ALBERT LANE EXISTING CARTWAY (10' WIDTH) 676

DISCHARGE POINT #2 POINT OF INTEREST - B (15" PIPE - UNT TO MARSHALL'S CREEK)

C00

-PROPOSED SUBDIVISION LOT

PERTIES INC: T/A CLASSIC QUALITY HON PARCEL #16/7F/1/11 6.1895 ACRES D.B. 2553 PG 3515

682-

(40' WIDTH)

ALBERT LANE EXISTING RIGHT-OF-WAY LINES 0.36 ACRES

PRE-DEVELOPMENT WATERSHED



RE	SOURCE IMPACT AND	D CONSERVA	TION AN	IALYSIS CHA	ART:					
RESOUR	CE		EXIS AC.	TING	PR AC	OPOSED	% IMPACTED	% CONSERVED		
WOODLA	ANDS		5.84		3.5	5	39	61		
WETLAN	DS		0.04		0.04	4	0	100		
WETLAN	D INNER BUFFER		0.41	17 SO ET)	0.4	1 647 SO ET)	0	100		
WETLAN	D OUTER BUFFER		1.89 (82417 SO ET)	(1.89 (82417 SQ FT)		1.89	9 417 SO FT)	0	100	
ROADWA	ΑY		0.31	17 302.1 1)	0.3	1	0	100		
75' WETL	AND MARGIN		0.74 (3236	61 SQ.FT)	0.74 (323	4 361 SQ.FT)	0	100		
ADJUSTED TRACT AREA CALCULATIONS:										
	GROSS AREA	15-25% SL	OPES	25%+ SLC	OPES	WETLANDS	FLOODWAYS	RIGHT-OF-WAYS	NET AREA	
_OT 1	58368 S.F.	0 S.F.		0 S.F.		0 S.F.	0 S.F.	8309 S.F	50059 S.	
.OT 2	51918 S.F.	0 S.F.		0 S.F.		0 S.F.	0 S.F.	1275 S.F.	50643 S.	
	150320 S E					1704 8 5		14700 8 5	142261 6	



GENERAL NOTES:

- 1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
- 2. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS. THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- 4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.
- AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES. VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE
- OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPS SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF
- DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN. 8. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S)
- SHOWN ON THE PLAN MAPS(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED FROSION AND/OR SEDIMENT POLILUTION. THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
- 10. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE. 11. ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION
- DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED. 12. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR
- RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING. 13. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
- 14. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPS SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- 15. A LOG SHOWING DATES THAT E&S BMPS WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
- 16. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEPT INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER. 17. ALL SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN
- DRAWINGS
- 18. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES AND 6 TO 12 INCHES ON COMPACTED SOILS PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. REFER TO LANDSCAPE PLAN FOR TOPSOIL PLACEMENT DEPTHS
- 19. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION. SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- 21. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS. 23. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- 24. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE
- STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD. 25. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE, CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
- 26. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS, DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
- 27. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM. PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
- 28. E&S BMPS SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
- 29. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPS.
- 30. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED. TEMPORARY EROSION AND SEDIMENT BMPS MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPS. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPS SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON. 31. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED
- AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION. 32. FAILURE TO CORRECTLY INSTALL E&S BMPS, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING
- THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPS MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
- 33. CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.
- 34. ALL CHANNELS SHALL BE KEPT FREE OF OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO FILL, ROCKS, LEAVES, WOODY DEBRIS, ACCUMULATED SEDIMENT, EXCESS VEGETATION, AND CONSTRUCTION MATERIAL/WASTES.
- 35. UNDERGROUND UTILITIES CUTTING THROUGH ANY ACTIVE CHANNEL SHALL BE IMMEDIATELY BACKFILLED AND THE CHANNEL RESTORED TO ITS ORIGINAL CROSS-SECTION AND PROTECTIVE LINING. ANY BASE FLOW WITHIN THE CHANNEL SHALL BE CONVEYED PAST THE WORK AREA IN THE MANNER DESCRIBED IN THIS PLAN UNTIL SUCH RESTORATION IS COMPLETE.
- 36. CHANNELS HAVING RIPRAP, RENO MATTRESS, OR GABION LININGS MUST BE SUFFICIENTLY OVER-EXCAVATED SO THAT THE DESIGN DIMENSIONS WILL BE PROVIDED AFTER PLACEMENT OF THE PROTECTIVE LINING. 37. SEDIMENT BASINS AND/OR TRAPS SHALL BE KEPT FREE OF ALL CONSTRUCTION WASTE, WASH WATER, AND
- OTHER DEBRIS HAVING POTENTIAL TO CLOG THE BASIN/TRAP OUTLET STRUCTURES AND/OR POLLUTE THE SURFACE WATERS. 38. ANY DAMAGE THAT OCCURS IN WHOLE OR IN PART AS A RESULT OF BASIN OR TRAP DISCHARGE SHALL BE
- IMMEDIATELY REPAIRED BY THE PERMITTEE IN A PERMANENT MANNER SATISFACTORY TO THE MUNICIPALITY. LOCAL CONSERVATION DISTRICT, AND THE OWNER OF THE DAMAGED PROPERTY. 39. UPON REQUEST, THE APPLICANT OR HIS CONTRACTOR SHALL PROVIDE AN AS-BUILT (RECORD DRAWING) FOR
- ANY SEDIMENT BASIN OR TRAP TO THE MUNICIPAL INSPECTOR, LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT 40. EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3H:1V OR STEEPER WITHIN 50 FEET OF A
- SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS.

E& S MAINTENANCE & INSPECTION NOTES:

ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO ANY ROADWAY OR ANY PUBLIC RIGHT-OF-WAY SHALL IMMEDIATELY BE REMOVED. WASHING SEDIMENT FROM THE PAVEMENT IS PROHIBITED.

ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. DRAIN SPACE UNDER WASH RACK SHALL BE KEPT OPEN AT ALL TIMES. DAMAGE TO THE WASH RACK SHALL BE REPAIRED PRIOR TO FURTHER USE OF THE RACK.

COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVE GROUND HEIGHT OF THE SOCK AND DISPOSED OF IN A LAWFUL MANNER.

INLET FILTER BAGS SHOULD BE CLEANED AND/OR REPLACED WHEN THE BAG IS 1/2 FULL. DAMAGED FILTER BAGS SHALL BE REPLACED.

SEDIMENT BASIN SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED THE CLEAN OUT ELEVATION ON THE STAKE AND THE BASIN RESTORED TO ITS ORIGINAL DIMENSIONS.

CHANNELS SHALL BE CLEANED WHENEVER TOTAL CHANNEL DEPTH IS REDUCED BY 25% AT ANY LOCATION. REMOVE SEDIMENT DEPOSITS. DAMAGED LINING SHALL BE REPAIRED OR REPLACED.

ACCUMULATED SEDIMENT MAY BE INCORPORATED INTO THE FILL OR REMOVED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER (AN APPROVED EROSION AND SEDIMENT CONTROL PLAN WILL BE REQUIRED FOR ANY OFFSITE DISPOSAL AREA).

RIPRAP APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVEN. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

SHOULD UNFORESEEN EROSIVE CONDITIONS DEVELOP, IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMMEDIATELY CORRECT THE PROBLEM.

OWNER IS RESPONSIBLE FOR MAINTENANCE OF PERMANENT CONTROLS.

THE CONTRACTOR SHALL, PERIODICALLY OR AS DIRECTED DURING THE PROGRESS OF THE WORK, REMOVE AND LEGALLY DISPOSE OF ALL SURPLUS MATERIAL AND DEBRIS AND KEEP THE PROJECT AREA AND PUBLIC RIGHTS-OF-WAY REASONABLY CLEAR. SURPLUS OR DEMOLITION MATERIALS SHALL BE RECYCLED DURING THE COURSE OF THE WORK, WHENEVER PRACTICAL AND APPROVED BY THE DESIGN ENGINEER.

UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL REMOVE ALL TEMPORARY CONSTRUCTION FACILITIES, DEBRIS AND UNUSED MATERIALS, PROVIDED FOR THE WORK, AND PUT ALL OF THE SITES OF THE WORK AND PUBLIC RIGHTS-OF-WAY IN A NEAT AND CLEAN CONDITION. TRASH BURNING ON THE SITE OF THE WORK WILL NOT BE PERMITTED. OFF-SITE DISPOSAL OF SOIL OR ROCK WILL REQUIRE AN EROSION AND SEDIMENT CONTROL PLAN SUBMISSION, BY THE CONTRACTOR, TO THE APPROPRIATE CONSERVATION DISTRICT.

REFER TO THE INDIVIDUAL MAINTENANCE AND INSPECTION NOTES FOR EACH BMP WITHIN THE DETAILED SPECIFICATIONS ON SHEETS 9-11.

A LOG BOOK OF ALL MAINTENANCE ACTIVITIES SHALL BE KEPT ON SITE FOR ALL BMPS AT ALL TIMES TO ENSURE COMPLIANCE WITH THE E&S PLANS THAT INCLUDES AT A MINIMUM INSPECTION DATES, OBSERVATIONS. MAINTENANCE ACTIVITIES, AND REPAIRS.

MAINTENANCE PROGRAM:

THE CONTRACTOR IS REQUIRED TO INCORPORATE ALL TEMPORARY AND PERMANENT CONTROL MEASURES AND FACILITIES INDICATED ON THE APPROVED PLAN SET, INTO THE PROJECT AT THE EARLIEST PRACTICABLE TIME. THE CONTRACTOR IS RESPONSIBLE FOR APPLYING, CLEANING, AND MAINTAINING ALL CONTROL FEATURES DURING CONSTRUCTION. APPROPRIATE EROSION AND SEDIMENT POLLUTION CONTROL FEATURES SHALL BE APPLIED TO SECTIONS SUCH AS BORROW PITS AND MATERIAL STORAGE AREAS UNFORESEEN PRIOR TO CONSTRUCTION. PERMANENT EROSION CONTROL FACILITIES WILL BE MAINTAINED BY THE OWNER.

THE TEMPORARY FACILITIES FOR EROSION AND SEDIMENT POLLUTION CONTROL SHALL BE INSPECTED A MINIMUM OF ONCE PER WEEK AND AFTER EVERY RAINFALL EVENT. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT OF COMPOST FILTER SOCKS AND 1/3 THE ABOVE GROUND HEIGHT OF THE ROCK FILTERS. ANY COMPOST FILTER SOCK SECTION THAT HAS BEEN UNDERMINED OR OVERTOPPED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER. AS CONSTRUCTION PROGRESSES AND DISTURBED AREAS HAVE BEEN STABILIZED, TEMPORARY EROSION CONTROL STRUCTURES ARE TO BE CLEANED AND REMOVED.

RESPONSIBILITIES FOR FILL MATERIALS:

THE IMPLEMENTATION OF FILL MATERIALS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. UPON FINAL SITE ACCEPTANCE, THE OWNER SHALL BE RESPONSIBLE FOR FILL MATERIALS

OWNER: D E & S PROPERTIES T/A CLASSIC QUALITY HOMES 2621 ROUTE 940 POCONO SUMMIT. PA 18346 (570) 839-3200

CLEAN FILL:

* THE CONTRACTOR OF THE SITE WILL PERFORM ENVIRONMENTAL DUE DILIGENCE ON ALL IMPORTED SOILS THAT WILL BE UTILIZED ON THE PROJECT SITE.

* ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS.

* ANALYTICAL TESTING IS REQUIRED FOR FILL MATERIAL SUSPECTED OF BEING SUBJECTED TO A SPILL OR RELEASE OF A REGULATED SUBSTANCE BASED UPON COMPLETION OF VISUAL INSPECTION AND/OR REVIEW OF PAST LAND USES AS PART OF ENVIRONMENTAL DUE DILIGENCE. FILL MATERIAL DETERMINED TO NOT QUALIFY AS CLEAN FILL THROUGH ANALYTICAL TESTING IS CONSIDERED REGULATED FILL AND MUST BE MANAGED AS A WASTE IN ACCORDANCE WITH APPLICABLE MUNICIPAL OR RESIDUAL WASTE REGULATIONS OF THE DEPARTMENT.

EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMP'S) MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE WITHIN THE TRIBUTARY AREAS OF THOSE BMP'S. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT CONTROL BMP'S MUST BE MAINTAINED PROPERLY. ALL EROSION AND SEDIMENT CONTROL BMP'S SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEANOUT, REPAIR, REPLACEMENT, RE-GRADING, RE-SEEDING, RE-MULCHING, AND RE-NETTING MUST BE PERFORMED IMMEDIATELY. A WRITTEN REPORT DOCUMENTING THE INSPECTIONS AND REPAIRS MADE TO THE EROSION AND SEDIMENT CONTROL BMP'S MUST BE KEPT BY THE PERSON RESPONSIBLE FOR BMP MAINTENANCE.

* CLEAN FILL IS DEFINED AS: UNCONTAMINATED NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT SOLID. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIALS, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED.

PREPAREDNESS.

1. IT IS THE CONTRACTOR'S RESPONS CONTINGENCY (PPC) PLAN FOR THE POTENTIAL DISCHARGE OF POLLUTA

- 2. BOTH THE E&S PLAN AND THE PPC PFRMIT
- 3. A PPC PLAN IS REQUIRED IF CHEMIC POTENTIAL FOR CAUSING ACCIDEN ON THE SITE.
- 4. FOLLOW THIS FORMAT AND INCLUD
- A. GENERAL DESCRIPTION OF THE CO - INCLUDE DRAWINGS SHOWING G STORAGE AREAS, LOADING AND ADDITION TO THE FEATURES OF
- B. EMERGENCY RESPONSE PROGRA - DESCRIBE THE ORGANIZATIONAL
- AND CONTACTS, INCLUDE DESCR WITHIN THE CHAIN OF COMMANE
- IDENTIFY ON THE ORGANIZATION CONTACTED IN THE EVENT OF AN
- DESCRIBE THE DUTIES AND RESP SITE OR ACTIVITY IN THE EVENT - INCLUDE ON THE ORGANIZATION NUMBERS THAT MUST BE CONTA

SUCH A LIST INCLUDES AS APPL PA DFP PA EMERGENCY MANAGEMENT A

- COUNTY HEALTH DEPARTMENT PA FISH COMMISSION THE NATIONAL RESPONSE CENT LOCAL POLICE AND FIRE DEPART LOCAL SEWAGE TREATMENT PL DOWN STREAM PUBLIC WATER S INDUSTRIAL WATER USERS RECREATION AREAS
- INTERNAL AND EXTERNAL COMM - EMPLOYEE TRAINING PROGRAM.
- LIST OF EMERGENCY EQUIPMENT AND CAPABILITIES OF EACH ITEM
- MAINTENANCE PROCEDURES ANI - EVACUATION PLAN FOR INSTALL
- ARRANGEMENTS WITH EMERGEN
- NUMBERS AND THE SERVICES EA - INFORM LOCAL EMERGENCY RES POTENTIAL EMERGENCIES THAT MAY OCCU
- FAMILIARIZE LOCAL POLICE, FIRE EMERGENCY MANAGEMENT COC PROPERTIES AND DANGERS ASS PLACES WHERE PERSONNEL WO INSIDE THE FACILITY, AND ANY P
- C. MATERIAL AND WASTE INVENTORY - IDENTIFY BY COMMON CHEMICAL QUANTITIES USED OR STORED O - FOR EACH HAZARDOUS CHEMIC/ MATERIAL SAFETY DATA SHEET
- D. SPILL AND LEAK PREVENTION AND - DESCRIBE THE SOURCE AND ARE OF FLOW OF SPILLED MATERIAL OR AREA. - PROVIDE SEPARATE DRAWINGS
- E. INSPECTION PROGRAM:
- DESCRIBE THE INSPECTION PRO OF EQUIPMENT, STORAGE AREAS
- F. HOUSEKEEPING PROGRAM: - IDENTIFY THE AREAS AND THE AS POSSIBILITY OF ACCIDENTAL SPI
- G. SECURITY MEASURES: - DESCRIBE SECURITY PROCEDUR INTENTIONAL ENTRY THAT COUL AND/OR INJURY TO PERSONS AN
- H. EXTERNAL FACTORS: - DESCRIBE THE POSSIBLE AFFEC FLOODS, SNOWSTORMS ETC, AN TO PUBLIC HEALTH AND SAFETY

AN GENERAL NOTES		E ZZZZONE CONSULTING ENGINEERS, I	0F Engineering firm of choice since 1972 46 VEVETONE 46 VEVETONE	ENGINEERS ENGINEERS www.KeystoneConsultingEngineers.com
RES AND SYSTEMS AT THE SITE TO PREVENT ACCIDENTAL OR D RESULT IN A VIOLATION OF DEPARTMENTAL REGULATIONS, ID DAMAGE TO EQUIPMENT. TS OF EXTERNAL FACTORS SUCH AS POWER OUTAGES, STRIKES, ID ANY ACTION TO BE TAKEN TO ALLEVIATE ANY RESULTING EFFECTS OR THE ENVIRONMENT.		E&SPC DETAILS FRANKLIN HILL MANOR	PRELIMINARY/FINAL MINOR SUBDIVISIO LANDS OF D E & S PROPERTIES LLC 2621 ROUTE 940 POCONO SUMMIT, PA 1	SMITHFIELD TOWNSHIP MONROE COUNTY, PENNSYLVANIA
	REGISTERED PROFESSIONAL	REVISIONS BY DATE	TMM 2-14-2024	
	TIGHE M. MECKES DI ENGINEER NO. PEO91525	MMT MMT	ESS DEC 1, 2023 AS NOTED	CN-23-041 7 OF 11

- 6. SEE SPECIFICATIONS FOR INSTALLATION OF COMPOST FILTER SOCK.
- 7. APPLY A TEMPORARY SEED MIX AND MULCH WHEN PILE WILL
- REMAIN FOR 30 DAYS OR MORE. 8. ANY EXCAVATION SLOPES THAT WILL EXIST FOR A PERIOD
- LESS THAN 6 MONTHS IS CONSIDERED TO BE TEMPORARY. 9. ALL TEMPORARY SLOPES ARE RECOMMENDED TO BE
- CONSTRUCTED NOT STEEPER THAN 2H:1V.

TYPICAL STOCKPILE DETAIL

NOT TO SCALE

IN LIEU OF COMPOST SOCK RING WASHOUT.

*MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE.

NOTES:

- 1. REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK
- ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE. 2. RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK
- CONSTRUCTION ENTRANCE.
- 3. MOUNTABLE BERM SHOULD BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE TO BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

MAINTENANCE

ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAYS, EXTEND LENGTH OF ROCK CONSTRUCTION BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWER, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

STANDARD CONSTRUCTION DETAIL # 3-1

ROCK CONSTRUCTION ENTRANCE NOT TO SCALE

CONCRETE WASHOUT DETAIL

NOT TO SCALE

		RIPRAP			APRON	
APRON NO.	PIPE DIA Pd (IN)	SIZE (R)	THICK. Rt (IN)	LENGTH Al (FT)	INITIAL WIDTH Aiw (FT)	TERMINAL WIDTH Atw (FT)
1	18	ъ	27	9	5	13
2	12	3	12	6	3	9
3	12	3	12	6	3	9

1. ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.

2. ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT.

DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

3. EXTEND RIPRAP ON BACK SIDE OF APRON TO AT LEAST $\frac{1}{2}$ DEPTH OF PIPE ON BOTH SIDES TO PREVENT SCOUR AROUND THE PIPE.

> STANDARD CONSTRUCTION DETAIL # 9-0 RIPRAP APRON AT PIPE OUTLET WITHOUT FLARED ENDWALL NOT TO SCALE

SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE

LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE

MULCH SPREAD AS A SOIL SUPPLEMENT.

STANDARD CONSTRUCTION DETAIL # 4-1 COMPOST FILTER SOCK NOT TO SCALE

TABLE 4.2

COMPOST S	STANDARDS
ORGANIC MATTER CONTENT	25% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
рН	5.5 - 8.5
MOISTURE CONTENT	30% - 60%
PARTICLE SIZE	30% - 50% PASS THROUGH 3/8" SIEVE
SOLUBLE SALT CONCENTRATE	5.0 dS/m (mmhos/cm) MAXIMUM

		TABLE	Ξ 4.1		
	COMPOST	SOCK FABRIC N	/INIMUM SPECI	FICATIONS	
MATERIAL TYPE	3 mil HDPE	5 mil HDPE	5 mil HDPE	MULTI-FILAMENT POLYPROPYLENE (MFPP)	HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE (HDMFPP)
MATERIAL CHARACTERISTICS	PHOTO- DEGRADABLE	PHOTO- DEGRADABLE	BIO- DEGRADABLE	PHOTO- DEGRADABLE	PHOTO- DEGRADABLE
SOCK DIAMETERS	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"
MESH OPENING	3/8 "	3/8 "	3/8 "	3/8 "	3/8 "
TENSILE STRENGTH		26 PSI	26 PSI	44 PSI	202 PSI
ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM G-155)	23% AT 1000 HR	23% AT 1000 HR		100% AT 1000 HR	100% AT 1000 HR
MINIMUM FUNCTIONAL LONGEVITY	6 MONTHS	9 MONTHS	6 MONTHS	1 YEAR	2 YEARS
		2-PLY SYS	TEMS		
				HDPE BIAXIAL NE	T
INNER CC	NTAINMENT NE	TTING	C	ONTINUOUSLY WO	

	FUSION-WELD JUNCTURES
	3/4" X 3/4" MAX. APERTURE SIZE
OUTER FILTRATION MESH	COMPOSITE POLYPROPYLENE FABRIC (WOVEN LAYER AND NON-WOVEN FLEECE MECHANICALLY FUSED VIA NEEDLE PUNCH)
	3/16" MAX APERTURE SIZE

SOCK FABRICS COMPOSED OF BURLAP MAY BE USED ON PROJECTS LASTING 6 MONTHS OR LESS

COMPOST SHOULD BE WELL DECOMPOSED, WEED-FREE ORGANIC MATTER DERIVED FROM AGRICULTURE, FOOD, STUMP GRINDINGS, AND YARD OR WOOD/BARK ORGANIC MATTER SOURCES. THE COMPOST SHOULD BE AEROBICALLY COMPOSTED. THE COMPOST SHOULD POSSESS NO OBJECTIONABLE ODORS AND SHOULD BE REASONABLY FREE (<1% BY DRY WEIGHT) OF MAN-MADE FOREIGN MATTER. THE COMPOST PRODUCT SHOULD NOT RESEMBLE THE RAW MATERIAL FROM WHICH IT WAS DERIVED. WOOD AND BARK CHIP, GROUND CONSTRUCTION DEBRIS OR REPROCESSED WOOD PRODUCTS ARE NOT ACCEPTABLE AS THE INORGANIC COMPONENT OF THE MIX.

THE PHYSICAL PARAMETERS OF THE COMPOST SHOULD COMPLY WITH THE STANDARDS IN TABLE 4-2. THE STANDARDS CONTAINED IN THE PENNDOT PUBLICATION 408 ARE AN ACCEPTABLE ALTERNATIVE.

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SEQUENCE OF CONSTRUCTION ACTIVITIES

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE OF CONSTRUCTION ACTIVITIES. EACH STAGE SHALL BE COMPLETED BEFORE A SUBSEQUENT STAGE IS INITIATED. EXCEPT WHERE NOTED. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED BY THE MONROE COUNTY CONSERVATION DISTRICT PRIOR TO IMPLEMENTATION. UPON THE COMPLETION OR TEMPORARY CESSATION OF THE EARTH DISTURBANCE ACTIVITY, OR ANY STAGE THEREOF, THE PROJECT SITE SHALL BE IMMEDIATELY STABILIZED. AT LEAST SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES; THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN PREPARER, AND THE CONSERVATION DISTRICT TO AN ON-SITE MEETING. ALSO, AT LEAST THREE (3) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT (800) 242-1776 TO LOCATE BURIED UTILITIES AND THE MONROE COUNTY CONSERVATION DISTRICT AT (570) 629-3060. ADDITIONALLY, UPON INSTALLATION OR STABILIZATION OF ALL PERIMETER SEDIMENT CONTROL BMPS AND AT LEAST THREE (3) DAYS PRIOR TO PROCEEDING WITH THE BULK EARTH DISTURBANCE ACTIVITIES, THE PERMITTEE OR CO-PERMITTEE SHALL PROVIDE NOTIFICATION TO THE MONROE COUNTY CONSERVATION DISTRICT.

NOTES:

- EACH STAGE OF THE CONSTRUCTION SEQUENCE MUST BE COMPLETED PRIOR TO INITIATION OF SUBSEQUENT
- STAGE CESSATION OF ACTIVITY FOR 4 DAYS OR LONGER REQUIRES TEMPORARY STABILIZATION OF DISTURBED AREAS. CLEAR AND GRUB AREAS PRIOR TO EXCAVATION. STOCKPILE ALL TOPSOIL IN DESIGNATED AREAS.
- ALL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE PROJECT SITE THROUGH A ROCK CONSTRUCTION FNTRANCE STORMWATER FACILITIES SHOULD BE INSTALLED STARTING AT THE OUTLET AREAS AND PROGRESS UPSTREAM,
- INSTALLING BMPS AND LININGS AS WORK PROGRESSES. REFER TO TRENCH EXCAVATION NOTES FOR ALL TRENCHING OPERATIONS.
- UTILIZE CLEARED VEGETATION TO STABILIZE SITE DISTURBANCE AS DESIRED. MULCH VEGETATION AND SPREAD AS NEEDED. REMOVE ALL EXCESS MATERIAL OFF SITE AND DISPOSE OF PROPERLY.
- A PUMPED WATER FILTER BAG AND COMPOST SEDIMENT TRAP SHALL BE UTILIZED TO DEWATER EXCAVATIONS AS NEEDED
- ALL STOCKPILE MATERIAL SHALL BE PLACED IN DESIGNATED STOCKPILE LOCATIONS AS INDICATED ON PLAN DRAWINGS
- STOCKPILE ALL SUITABLE MATERIAL FOR REUSE WITHIN AN APPROVED STOCKPILE LOCATION AND HAUL ALL
- EXCESS AND UNSUITABLE MATERIAL OFF-SITE TO AN APPROVED DISPOSAL LOCATION. A LICENSED PROFESSIONAL OR THEIR DESIGNEE MUST BE PRESENT AT THE SITE DURING INSTALLATION OF PCSM PLAN MEASURES NOTED AS "CRITICAL STAGE" IN THE SEQUENCE.
- LAY EROSION CONTROL BLANKETS ON ANY PROPOSED SLOPES 3:1 OR GREATER.

CONSTRUCTION SEQUENCE (ROADWAY)

- REPLACE EXISTING 12" CROSS PIPE UNDER FRANKLIN HILL ROAD WITH PROPOSED 18" PIPE AND ASSOCIATED HEADWALL AND RIPRAP APRON.
- CONSTRUCT SHOULDER WIDENING AND ROADSIDE SWALE #1 ALONG FRANKLIN HILL ROAD. SWALE TO BE INSTALLED FROM DOWNSTREAM TO UPSTREAM. INSTALL 18" PIPES AT PROPOSED DRIVEWAY LOCATIONS AS THE SWALE CONSTRUCTION PROGRESSES UPSTREAM. STABILIZE SWALE IMMEDIATELY.

CONSTRUCTION SEQUENCE (INDIVIDUAL LOT SEQUENCE)

- ANY REVISIONS TO THE PLANS SHALL BE SUBMITTED TO THE MCCD FOR REVIEW AND APPROVAL PRIOR TO IMPLEMENTATION.
- SCHEDULE A PRE-CONSTRUCTION MEETING AT THE CONSTRUCTION SITE AMONG THE CONTRACTOR, MONROE COUNTY CONSERVATION DISTRICT, SMITHFIELD TOWNSHIP AND ITS REPRESENTATIVES, THE DEVELOPER, AND ANY OTHER PERTINENT SITE PERSONNEL. NOTIFY THE MONROE COUNTY CONSERVATION DISTRICT SEVEN (7) DAYS IN ADVANCE OF ANY LAND DISTURBANCE ACTIVITIES AT 570-629-3060.
- FIELD MARK LIMITS OF DISTURBANCE AND ENVIRONMENTALLY SENSITIVE AREAS. UTILIZE ORANGE CONSTRUCTION FENCING IN THE FIELD TO DELINEATE THE AREAS OF EARTH DISTURBANCE.
- DELINEATE THE INFILTRATION SYSTEMS, AND SEWAGE DISPOSAL AREAS AND AVOID HEAVY EQUIPMENT IN THOSE AREAS TO PREVENT COMPACTION. INSTALL ORANGE PROTECTIVE FENCING AROUND THE SEWAGE DISPOSAL AREAS IN ORDER TO PREVENT COMPACTION IN THESE AREAS. ORANGE PROTECTIVE FENCING SHALL ALSO BE INSTALLED AROUND THE INFILTRATION SYSTEMS AS SHOWN ON THE E&S PLANS.
- INSTALL ROCK CONSTRUCTION ENTRANCES AT THE DRIVEWAY ENTRANCES AS INDICATED ON THE PLANS FOR ENTRANCE INTO THE AREA OF CONSTRUCTION FOR EACH LOT. ALL CONSTRUCTION EQUIPMENT IS TO ENTER AND EXIT EACH LOT'S CONSTRUCTION AREA THROUGH THESE ENTRANCES.
- INSTALL THE SILT SOCK AS INDICATED BELOW THE PROPOSED EARTH DISTURBANCES.
- CLEAR THE VEGETATION FOR EACH LOT WITHIN THE DISTURBED LIMITS AREA.
- ROUGH GRADE SITE. MAINTAIN THE STOCKPILE AREA AS INDICATED ON THE PLANS ..
- INSTALL THE HOUSE FOUNDATION AND BACKFILL AND STABILIZE WITH MATTING AND/OR SEEDING. UTILIZE THE CONCRETE WASHOUT AREA ON EACH LOT.
- 10. FINAL GRADE ALL AREAS AROUND THE HOUSE AND DRIVEWAY. STABILIZE THE DRIVEWAY WITH A STONE SUBBASE. IMMEDIATELY STABILIZE ALL VEGETATIVE AREAS, INCLUDING VEGETATIVE SWALES.
- INSTALL THE SEWAGE DISPOSAL AREAS AND WELLS AND RUN UTILITIES TO HOUSE LOCATION. SEED SEWAGE 11 DISPOSAL AREAS WITH MEADOW SEED MIX.
- 12. CRITICAL STAGE: INSTALL ABOVE GROUND INFILTRATION/DETENTION SYSTEMS FOR LOTS 1-3. RUN THE ROOF DRAINS TO THE HOUSE. INSTALLATION OF THE INDIVIDUAL ON-LOT INFILTRATION/DETENTION SYSTEMS REQUIRE A LICENSED PROFESSIONAL OR DESIGNEE TO BE PRESENT AT THE SITE DURING CONSTRUCTION OF THE STORMWATER BMP. REFER TO THE SPECIFIC INFILTRATION/DETENTION BMP INSTALLATION SEQUENCE ON SHEET
- 13. STABILIZE ANY AREAS DISTURBED DURING CONSTRUCTION OF THE STORMWATER SYSTEMS.
- FINALIZE HOUSE CONSTRUCTION AND TIE UTILITIES AND ROOF DRAINS IN.
- 15. UPON FINAL STABILIZATION OF SITE REMOVE TEMPORARY CONTROLS, SUCH AS THE COMPOST FILTER SOCKS, ORANGE PROTECTIVE FENCE, AND ROCK CONSTRUCTION ENTRANCE. ALL DISTURBED AREAS SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS

TREE PROTECTION FENCE NOTES

- 1. A FORTY-EIGHT INCH HIGH PROTECTIVE FENCE, MOUNTED ON STEEL POSTS LOCATED EIGHT FEET ON
- CENTER, SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION AREA. 2. TREES BEING REMOVED SHALL NOT BE FELLED, PUSHED OR PULLED INTO A TREE PROTECTION AREA OR INTO
- TREES THAT ARE TO BE RETAINED. 3. GRADE CHANGES AND EXCAVATIONS SHALL NOT ENCROACH UPON THE TREE PROTECTION AREA.
- 4. NO TREE SHOWN TO REMAIN ON AN APPROVED SUBDIVISION OR LAND DEVELOPMENT PLAN SHALL BE REMOVED WITHOUT PRIOR TOWNSHIP APPROVAL UNLESS IT IS THE CAUSE OF IMMEDIATE DANGER TO LIFE OR PROPERTY
- 5. IN THE EVENT THAT A TREE OVER THREE INCHES CALIPER WHICH IS SHOWN ON AN APPROVED PLAN TO REMAIN AND WHICH MUST BE REMOVED DUE TO BEING THE CAUSE OF IMMEDIATE DANGER TO LIFE OR PROPERTY, SUCH TREE SHALL BE REPLACED WITH A TREE TWO AND ONE HALF TO THREE INCHES IN CALIPER OF THE SAME SPECIES OR AS APPROVED BY THE TOWNSHIP AT A RATE OF ONE NEW TREE FOR EVERY TREE REMOVED. THE REPLACEMENT TREE WILL BE SUBJECT TO REPLACEMENT IF IT DIES WITHIN ONE YEAR OF PLANTING.
- 6. ALL TREE PROTECTION FENCES AND BARRIERS SHALL BE REMOVED UPON COMPLETION OF THE PROJECT CONSTRUCTION.

Map Symbol and Soil Description	HSG	F
BaB - Bath channery silt loam 3-8% slopes		-
Soil Component: Bath	с	
BeB - Benson-Rock outcrop complex 0-8% slopes		┝
Soil Component: Benson	D	
BeC - Benson-Rock outcrop complex 8-25% slopes		
Soil Component: Benson	D	
MaB - Mardin channery silt loam 3-8% slopes		
Soil Component: Mardin	D	
		L

Soil Limitation		Soil Resolutions	
Cut Bank Cave	Consult with engineer	Over-excavate material and replace with suitable material	Construct appropriate rock slope protection or benching as directed by engineer
Corrosive to Concrete/Steel	Use corrosion resistant pipe materials	Apply corrosion resistant products to surface of constructed features	Over excavate and replace corrosive soils
Droughty Soils	Slope lining will be installed on all disturbed or proposed slopes 3H:1V or steeper	Soil amendments will be used to promote growth of vegetation	-
Easily Erodible	Install slope blankets on slopes 3:1 or steeper	Stabilize disturbed areas with seeding and soil supplements	Protect downstream areas from sediment laden sheet flow with compost filter sock or silt fence
High Water Table	Use pump water filter bag to dewater excavation, use trench boxes	Avoid seeps or wet spots	Ensure positive drainage away from excavations
Hydric Soils/Hydric Inclusions	Mark wetland areas with temporary protective fencing and avoid wetlands/wet areas	Ensure positive drainage away from potentially hydric areas	Return stormwater conveyance to sheetflow
Low Strength	Consult with engineer	Compact fill with a vibratory roller delivering 50,000 pounds total dynamic force	Over-excavate to firm material and backfill with suitable on-site excavated material
Slow Percolation	Avoid placing stormwater infiltration basins in these areas	Avoid placing on-lot septic systems in these areas	-
Piping	Install end sections or headwalls on all new pipes	Compact fill with a vibratory roller delivering 50,000 pounds total dynamic force	In lieu of extending existing feature, replace with new pipe and end section/end wall
Poor Source of Topsoil	Strip and stockpile material onsite. Remove stone and coarse fragment	Use for bulk fill and remove excess material from site.	Import suitable topsoil if existing material is inadequate.
Frost Action	Construction shall be limited when there is a risk of freezing to non-obstructive measures	Contractor shall consult project engineer for earthwork which is to occur during periods of	
Wetness	Ensure that the site has proper drainage	Avoid seeps or wet spots	Ensure positive drainage away from excavations

MEADOW SEED MIX

NATIVE UPLAND WILDLIFE FORAGE & COVER MEADOW MIX ERNMX-123 ON ALL SPECIFIED AREAS (MEADOW MIX DESIGNATED FOR SEWAGE DISPOSAL AREAS):

USE THE SPECIFIED MIX OR COMPARABLE)

- 1. APPLY PULVERIZED AGRICULTURAL LIMESTONE @ 2480 LBS. PER 1000 SQ. YD. (6.0 T./AC.) APPLY 10-20-20 ANALYSIS COMMERCIAL FERTILIZER @ 140 LBS. PER 1000 SQ. YD. (677.6 LB./AC.)
- APPLY SEED @ 201BS PER ACRE APPLY HAY OR STRAW MULCH AT 3 TONS PER ACRE. 5. PERFORM SEEDING BETWEEN MARCH 15 TO JUNE 1 AND AUGUST 1 TO OCTOBER 15.

21% VIRGINIA WILD RYE, PA ECOTYPE (ELYMUS VIRGINICUS, PA ECOTYPE) 18% SWITCHGRASS, 'SHAWNEE' (PANICUM VIRGATUM, 'SHAWNEE') 5% PARTRIDGE PEA, PA ECOTYPE (CHAMAECRISTA FASCICULATA (CASSIA F.), PA ECOTYPE) 3% INDIANGRASS, PA ECOTYPE (SORGHASTRUM NUTANS, PA ECOTYPE) 2% OXEYE SUNFLOWER, PA ECOTYPE (HELIOPSIS HELIANTHOIDES, PA ECOTYPE) 1.5% SHOWY TICKTREFOIL, PA ECOTYPE (DESMODIUM CANADENSE, PA ECOTYPE) 1% PLAINS COREOPSIS (COREOPSIS TINCTORIA) 0.4% PANICLEDLEAF TICKTREFOIL, PA ECOTYPE (DESMODIUM PANICULATUM, PA ECOTYPE) 0.1% COMMON MILKWEED, PA ECOTYPE (ASCLEPIAS SYRIACA, PA ECOTYPE)

TRENCH EXCAVATION NOTES

- INSTALLED AND BACKFILLED IN ONE WORKING DAY.
- THE END OF THE WORKDAY.
- DISPOSAL LOCATION.
- IN PAVEMENT AREAS, AND WITH SEED AND MULCH IN VEGETATED AREAS.
- MUST DISCHARGE TO AN INLET, OR TO A WELL VEGETATED AREA AT A GRADE OF LESS THAN 5%.

					SOIL LI	ΜΙΤΑΤΙΟ	INS											
	Depth To			Soil Limitations														
Hydric Soil/ Inclusions	HWT (in)	Bedrock (in)	Cut Banks Cave	Corrosive to Steel/ Concrete	Droughty	Easily Erodible	Flooding	High Water Table	Hydric Soils	Low Strength	Slow Percolation	Piping	Poor Source of Topsoil	Frost Action	Shrink/ Swell	Potential Sinkhole	Ponding	Wetness
No	24-36	26-38	x	C/S		-	-	x	x	-	x		x	x	-	-	-	-
No	>80	12-20	x	С	x	-	-	-	4	x	x	x	x	x	-		-	-
No	>80	12-20	x	С	x	÷			4	x	x	x	x	x		+	-	-
No	13-24	14-26	x	S	x	x	+	x	x	x	x	x	-	x	-	-		x

FOR FINAL SEEDING MEASURES:

PRIOR TO PERMANENTLY SEEDING VEGETATED AREAS PLACE A MINIMUM OF FOUR INCHES OF TOPSOIL TO MEET THE PROPOSED FINISH GRADE ELEVATIONS.

- SEED FORMULA (SLOPES 3:1 OR FLATTER): PENNDOT FORMULA B 20% PERENNIAL RYEGRASS 30% CREEPING RED FESCUE OR CHEWINGS FESCUE
- 50% KENTUCKY BLUEGRASS MIXTURE
- 1. APPLY PULVERIZED AGRICULTURAL LIMESTONE @ 2480 LBS. PER 1000 SQ. YD. (6.0 T./AC.) 2. APPLY 10-10-20 ANALYSIS COMMERCIAL FERTILIZER @ 210 LBS. PER 1000 SQ. YD.
- (1000 LB./AC.) 3. APPLY FORMULA B SEED @ 42 LBS. PER 1000 SQ. YD.
- . APPLY HAY OR STRAW MULCH AT 3 TONS PER ACRE. 5. ANCHOR HAY OR STRAW MULCH USING A SPRAYED NON-ASPHALTIC
- EMULSION AT MANUFACTURERS RECOMMENDED RATE
- 6. PERFORM SEEDING BETWEEN MARCH 15 TO JUNE 1 AND AUGUST 1 TO OCTOBER 15.
- SEED FORMULA (SLOPES 3:1 OR GREATER): PENNDOT FORMULA D 60% TALL FESCUE 30% CREEPING RED FESCUE OR CHEWINGS FESCUE
- 10% ANNUAL RYEGRASS (LOLIUM MULTIFLORUM)
- 1. APPLY PULVERIZED AGRICULTURAL LIMESTONE @ 2480 LBS. PER 1000 SQ. YD. (6.0 T./AC.)
- 2. APPLY 10-10-20 ANALYSIS FERTILIZER @ 210 LBS. PER 1000 SQ. YD. (1000
- LB./AC.) 3. APPLY FORMULA D SEED @ 50 LBS. PER 1000 SQ. YD.
- 4. APPLY HAY OR STRAW MULCH AT 3 TONS PER ACRE. 5. ANCHOR HAY OR STRAW MULCH USING A SPRAYED NON-ASPHALTIC EMULSION AT
- MANUFACTURERS RECOMMENDED RATE 6. PERFORM SEEDING BETWEEN MARCH 15 TO JUNE 1 AND AUGUST 1 TO OCTOBER 15.

NOTE: WHEN STABILIZING SITE OUTSIDE OF SPECIFIED SEEDING GERMINATION PERIODS (WINTER MONTHS), STABILIZE DISTURBED AREAS WITH EROSION CONTROL BLANKETS (ERONET S75, STAPLE PATTERN C) AND WINTER RYEGRASS.

NOT TO SCALE

SEEDING

NOTE: IF CONSTRUCTION OCCURS OUTSIDE OF THE GROWING SEASON AS SPECIFIED. TEMPORARILY STABILIZE AREA WITH MULCH AT 3 TONS/ACRE AND THEN PERMANENTLY STABILIZE AREA IN SPRING PER FINAL SEEDING SPECIFICATIONS BELOW.

FOR TEMPORARY CONTROL MEASURES:

SEED FORMULA: PENNDOT FORMULA E

100% ANNUAL RYEGRASS

- 1. APPLY FORMULA E SEED @ 48.4 LB./AC. 2. PERFORM SEEDING BETWEEN MARCH 15 AND OCTOBER 15 (RECOMMENDED). APPLY HAY OR
- STRAW MULCH @ 3.0 TONS PER ACRE. 3. PROVIDE ADEQUATE TOPSOIL (MIN. 4") PRIOR TO COMMENCING SEEDING ACTIVITIES.

(NOTE: LIMESTONE AND FERTILIZER MUST BE APPLIED PRIOR TO FINAL SEEDING MEASURES.)

- 35% BIG BLUESTEM, 'PRAIRIE VIEW'-IN ECOTYPE (ANDROPOGON GERARDII, 'PRAIRIE VIEW'-IN ECOTYPE)
- 10% COASTAL PANIC GRASS, 'ATLANTIC'-VA ECOTYPE (PANICUM AMARUM, 'ATLANTIC'-VA ECOTYPE)
- 3% BLACKEYED SUSAN, COASTAL PLAIN NC ECOTYPE (RUDBECKIA HIRTA, COASTAL PLAIN NC ECOTYPE)

1. LIMIT THE LENGTH OF EXCAVATED TRENCH OPEN AT ANY ONE TIME TO THE AMOUNT OF PIPE THAT CAN BE 2. NO MORE THAN 50 LINEAL FEET OF OPEN TRENCH SHOULD EXIST WHEN UTILITY INSTALLATION CEASES AT

3. EXCAVATED MATERIAL SHOULD BE INCORPORATED AS FILL, OR REMOVED FROM SITE TO AN APPROVED

4. BACKFILL AND STABILIZE TRENCHES AT THE END OF EACH WORK DAY. STABILIZE WITH SUB-BASE MATERIAL 5. MAINTAIN PUMPED WATER FILTER BAG ON-SITE TO DEWATER TRENCHES AS NECESSARY. FILTER BAGS

PCSM BMP OWNERSHIP, OPERATION AND MAINTENANCE PROCEDURES:

GENERAL OWNERSHIP, OPERATION, AND MAINTENANCE NOTES:

- 1. D E & S PROPERTIES LLC SHALL OWN, OPERATE AND MAINTAIN ALL STORMWATER FACILITIES ON THEIR PROPERTY. ONCE INDIVIDUAL LOTS ARE SOLD THE CURRENT OWNER OF THE PARCEL WILL COME ON THE NPDES PERMIT AS A CO-PERMITTEE AND IS RESPONSIBLE FOR THE MAINTENANCE OF ALL STORMWATER FACILITIES ON THE PROPERTY.
- 2. THE PROPOSED STORMWATER MANAGEMENT FACILITIES ARE INTENDED TO MINIMIZE THE ADVERSE EFFECTS OF DEVELOPMENT BOTH ON AND OFF THE SITE. IN ORDER FOR THE FACILITIES TO CONTINUE TO OPERATE AS INTENDED, THEY SHOULD BE INSPECTED QUARTERLY AND IMMEDIATELY AFTER MAJOR STORMS. THE PROPERTY OWNER IS RESPONSIBLE FOR OPERATION AND MAINTENANCE OF ALL STORMWATER FACILITIES LOCATED ON THE PROPERTY.
- 3. THE COUNTY CONSERVATION DISTRICT SHALL BE INFORMED PRIOR TO ANY CHANGES TO A PCSM BMP.
- 4. ALL BMPS WILL BE INSPECTED ON A QUARTERLY BASIS OR AFTER ANY SIGNIFICANT RAIN EVENT GREATER THAN THE 2-YEAR FREQUENCY (3 INCHES OF RAIN IN A 24-HOUR PERIOD) STORM EVENT UNLESS OTHERWISE NOTED IN THIS SCHEDULE.
- THE PCSM BMPS WILL BE KEPT IN THE FREE FLOW CONDITION; FREE OF DEBRIS, SEDIMENT AND OBSTRUCTIONS. IF THE PCSM BMP IS OBSTRUCTED OR IMPACTED BY DEBRIS OR SEDIMENT, MATERIAL WILL BE REMOVED. THE BMP MUST BE MAINTAINED ACCORDING TO DESIGN PROTOCOLS.
- 6. MAINTENANCE SHALL BE IMMEDIATELY PERFORMED ON ANY MALFUNCTIONING PCSM BMP. BMPS SHALL BE REPLACED IF MAINTENANCE DOES NOT RETURN ALL DESIGN FUNCTIONS OF THE PCSM BMP.
- 7. ANY PROPOSED PROPRIETARY BMPS SHALL BE MAINTAINED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
- 8. DEBRIS AND LITTER REMOVAL IS IMPORTANT TO REDUCE THE CHANCE OF CLOGGING IN THE INLETS AND STORM PIPE SYSTEMS. IT ALSO HELPS TO PREVENT DAMAGE TO ADJACENT VEGETATED AREAS AND REDUCES POTENTIAL MOSQUITO BREEDING HABITATS. ALL INLETS AND OUTLETS MUST BE INSPECTED FOR DEBRIS ON A MONTHLY BASIS AND AFTER ANY 2-YEAR 24-HOUR FREQUENCY STORM EVENT OR GREATER. DEBRIS SHALL BE REMOVED WHEN ACCUMULATED TO A DEPTH ABOVE THE INLET BOX INVERT OF TWO INCHES OR GREATER. ALL REMOVED DEBRIS MUST BE DISPOSED OF PROPERLY.
- 9. PERMANENTLY SEEDED AREAS SHOULD BE INSPECTED FOR FAILURE. IF LESS THAN 70 PERCENT OF AN AREA IS COVERED BY ESTABLISHED VEGETATION, REEVALUATE THE CHOICE OF PLANT MATERIALS AND THE QUANTITIES OF LIME AND FERTILIZER USED. REESTABLISH THE STAND AFTER THE SEEDBED IS PREPARED. IF THE SEASON PREVENTS RESOWING, MULCH OR EROSION NETTING IS AN EFFECTIVE TEMPORARY COVER.

10.THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE CONTROL FACILITIES DURING CONSTRUCTION.

11.A LOG BOOK OF ALL MAINTENANCE ACTIVITIES SHALL BE KEPT ON SITE FOR ALL BMPS AT ALL TIMES TO ENSURE COMPLIANCE WITH THE PCSM PLANS THAT INCLUDES AT A MINIMUM: INSPECTION DATES, OBSERVATIONS, AND MAINTENANCE ACTIVITIES

BMP SPECIFIC INSPECTION AND MAINTENANCE NOTES

- 1. INLETS AND PIPES MUST BE INSPECTED MONTHLY AND AFTER ANY 2-YEAR STORM FREQUENCY OR GREATER (3 INCHES OF
- RAIN IN A 24-HOUR PERIOD).
 A. INSPECT INLET BOXES FOR ACCUMULATED DEBRIS AND SEDIMENT. DEBRIS MUST BE REMOVED WHEN ACCUMULATED TO A DEPTH ABOVE THE INLET BOX INVERT OF TWO INCHES OR GREATER. ALL DEBRIS MUST BE DISPOSED OF PROPERLY.
 B. INSPECT INLET GRATES FOR PRESENCE OF DEBRIS THAT COULD IMPEDE INLET CAPTURE. REMOVE DEBRIS AND DISPOSE OF PROPERLY.
- 2. MAINTENANCE ON VEGETATIVE SWALES:
- A. INSPECT AND CORRECT EROSION PROBLEMS, DAMAGE TO VEGETATION, AND SEDIMENT AND DEBRIS ACCUMULATION.
 B. INSPECT VEGETATION ON SIDE SLOPES FOR EROSION AND FORMATION OF RILLS OR GULLIES, CORRECT AS NEEDED.
 INSPECT SWALE INLETS AND OUTLET FOR SIGNS OF EROSION OR BLOCKAGE, CORRECT AS NEEDED.
- C. INSPECT FOR POOLS OF STANDING WATER, DEWATER AND DISCHARGE TO AN APPROVED LOCATION AND RESTORE TO DESIGN GRADE.D. MONITOR SWALE FOR INVASIVE SPECIES. REMOVE OR DISPOSE OF INVASIVE SPECIES, IF REQUIRED.
- E. INSPECT FOR LITTER AND DISPOSE OF PROPERLY.
- 3. MAINTENANCE OF LANDSCAPE RESTORATION/SOIL AMENDMENT AREAS:
- A. MONITOR SITE LANDSCAPING FOR GROWTH AND POTENTIAL PROBLEMS.B. WATER, WEED, AND PROVIDE PROTECTION FROM ANIMALS AND INSECTS. AS REQUIRED.
- 5. MAINTENANCE OF ABOVE GROUND INFILTRATION/DETENTION SYSTEMS:
- A. CATCH BASINS AND INLETS (UPGRADIENT OF INFILTRATION BASIN) SHOULD BE INSPECTED AND CLEANED AT LEAST TWO
- TIMES PER YEAR AND AFTER RUNOFF EVENTS. B. THE VEGETATION ALONG THE SURFACE OF THE INFILTRATION BASIN SHOULD BE MAINTAINED IN GOOD CONDITION, AND
- ANY BARE SPOTS REVEGETATED AS SOON AS POSSIBLE.
- C. VEHICLES SHOULD NOT BE PARKED OR DRIVEN ON AN INFILTRATION BASIN, AND CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS.
 D. INSPECT THE BASIN AFTER RUNOFF EVENTS AND MAKE SURE THAT RUNOFF DRAINS DOWN WITHIN 72 HOURS.
- MOSQUITOS SHOULD NOT BE A PROBLEM IF THE WATER DRAINS IN 72 HOURS. MOSQUITOES REQUIRE A CONSIDERABLY LONG BREEDING PERIOD WITH RELATIVELY STATIC WATER LEVELS. E. ALSO INSPECT FOR ACCUMULATION OF SEDIMENT, DAMAGE TO OUTLET CONTROL STRUCTURES, EROSION CONTROL
- MEASURES, SIGNS OF WATER CONTAMINATION/SPILLS, AND SLOPE STABILITY IN THE BERMS.
- F. MOW ONLY AS APPROPRIATE FOR VEGETATIVE COVER SPECIES.
 G. REMOVE ACCUMULATED SEDIMENT FROM BASIN AS REQUIRED. RESTORE ORIGINAL CROSS SECTION AND INFILTRATION RATE. PROPERLY DISPOSE OF SEDIMENT.
- 6. MINIMIZE DISTURBED AREAS:
- A. DISTURBED LIMITS SHALL BE STAKED OUT IN THE FIELD FOR EACH LOT PRIOR TO ANY EARTH DISTURBANCE (I.E. MARK WITH ORANGE CONSTRUCTION FENCING AND/OR E&S PERIMETER CONTROLS). NO EARTH DISTURBANCE SHALL BE
- ALLOWED OUTSIDE OF THE LIMITS AS INDICATED ON THE PLANS. B. REMOVE TREES AND VEGETATION IN AREAS ALLOCATED FOR EARTH DISTURBANCE ONLY.
- C. ORANGE CONSTRUCTION FENCING TO BE PLACED AROUND AREAS OF PROPOSED INFILTRATION SO AS NOT TO COMPACT AREAS DURING CONSTRUCTION.

CONSTRUCTION FOR INDIVIDUAL ABOVE GROUND INFILTRATION/DETENTION SYSTEMS:

1. PROTECT AREA FROM COMPACTION PRIOR TO AND DURING CONSTRUCTION ACTIVITIES.

- INSTALL AND MAINTAIN PROPER EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION.
 CONSTRUCT INFILTRATION BERM FOR SYSTEMS 1-3 ACCORDING TO DETAILS.
- 4. SEED AND STABILIZE TOPSOIL.

7. REMOVE SILT SOCKS WHEN ALL AREAS HAVE REACHED THE REQUIRED 70% VEGETATIVE COVER REQUIREMENT.

LONG TERM OPERATION & MAINTENANCE OF PCSM BMP'S & CO-PERMITTEE

- THE FOLLOWING ITEMS WILL NEED TO BE COMPLETED AFTER PERMIT ISSUANCE AND AS PART OF PROPERTY TRANSFER, AND INDIVIDUAL LOT CONSTRUCTION:
 APPROVED PCSM PLAN SHALL BE RECORDED IN THE MONROE COUNTY RECORDER OF DEEDS OFFICE WITHIN 45 DAYS OF PERMIT
- ISSUANCE AND PRIOR TO THE SALE OF INDIVIDUAL LOTS.
 1.2. AN "INSTRUMENT FOR THE DECLARATION OF RESTRICTION AND COVENANTS", BETWEEN THE PERMITTEE AND THE HOMEOWNERS, OUTLINING THE MAINTENANCE RESPONSIBILITIES FOR STORMWATER FACILITIES TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS, SHALL BE RECORDED IN THE MONROE COUNTY RECORDER OF DEEDS OFFICE WITHIN 45 DAYS OF PERMIT ISSUANCE AND PRIOR TO THE SALE OF THE INDIVIDUAL LOTS.

THE FOLLOWING ITEMS WILL NEED TO BE COMPLETED AT THE TIME OF INDIVIDUAL LOT SALE AND CONSTRUCTION:
 THE NEW LOT OWNER AND THE INDIVIDUAL LOT SITE CONTRACTOR SHALL BECOME CO-PERMITTEES BY EXECUTING THE

- CO-PERMITTEE AGREEMENT. 2.2. THE DESIGN PROFESSIONAL SHALL PERFORM THE CRITICAL STAGE INSPECTION FOR THE INDIVIDUAL LOT PCSM BMPS TO CERTIFY THE
- BMPS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS.
 2.3. IN THE EVENT THAT THE AMOUNT OF IMPERVIOUS SURFACE, DISTURBED AREA, OR LAND COVER CHANGE ON THE INDIVIDUAL LOTS IS GREATER THAN WHAT WAS ASSUMED IN THE STORMWATER CALCULATIONS, A PERMIT MODIFICATION ADDRESSING PCSM AND E&S
- CHANGES WILL BE SUBMITTED AND APPROVED BY MCCD PRIOR TO INITIATING CONSTRUCTION ON THE INDIVIDUAL LOT. 2.4. UPON COMPLETION OF WORK AND PERMANENT STABILIZATION FOR EACH INDIVIDUAL LOT, A "RELEASE OF LIABILITY" FORM WILL BE
- EXECUTED AND ACKNOWLEDGED BY MCCD TO REMOVE THE HOMEOWNER AND INDIVIDUAL LOT CONTRACTOR FROM THE NPDES PERMIT.
 2.5. UPON COMPLETION OF THE ENTIRE PROJECT (ALL INDIVIDUAL LOTS CONSTRUCTED), A NOTICE OF TERMINATION SHALL BE SUBMITTED

TO MCCD, INCLUDING THE RECORDING OF AS-BUILT DRAWINGS AND DESIGN PROFESSIONAL CERTIFICATIONS.

CRITICAL STAGES OF IMPLEMENTATION OF PCSM PLAN REQUIRING OVERSIGHT DURING INSTALLATION: A LICENSED PROFESSIONAL OR THEIR DESIGNEE MUST BE PRESENT AT THE SITE DURING INSTALLATION OF CRITICAL STAGES OF THE PCSM PLAN MEASURES. THE INSTALLATION OF THE STORMWATER MANAGEMENT FACILITIES WILL REQUIRE A LICENSED PROFESSIONAL OR THEIR DESIGNEE TO BE PRESENT AT THE SITE DURING INSTALLATION OF THESE PCSM PLAN MEASURES. REFER TO THE SEQUENCE OF CONSTRUCTION AS OUTLINED IN THE EROSION AND SEDIMENTATION CONTROL PLAN SHEETS FOR COORDINATION OF INSPECTION OF THESE MEASURES.

CRITICAL STAGES INCLUDE THE INSTALLATION OF THE ON-LOT INFILTRATION/DETENTION SYSTEMS FOR LOTS 1, 2, AND 3. REFER TO THE SEQUENCE OF CONSTRUCTION ON THE APPROVED E&S PLANS.

6" FROM ENDS OF SPREADER AND CAP (TYP.)

STOP 6" PERFORATED PIPE

EX FINE GRADE THE DISCHARGE LIP OF THE LEVEL

SPREADER IN ORDER TO CREATE A LEVEL LIP. TOPSOIL, SEED, MULCH, AND INSTALL EROSION CONTROL BLANKET OVER THE GRADED AREA. 6" PERFORATED PIPE CENTERED IN SPREADER SIDE TO SIDE, SAME ELEV. AS BASIN OUTLET PIPE

INSIDE PIPE DIA. (IN.)	WEIGHT (LB.)	L (IN.)	H (IN.)
12-15	3375	60	30
18-21	3750	60	36
24-27	5775	84	42
30-33	7200	108	48
36	7900	108	57
42	9380	128	66

1 .PRECAST CONCRETE STRUCTURE TO BE WET CAST AS MANUFACTURED BY ATLANTIC CONCRETE PRODUCTS, OR APPROVED EQUAL. 2. CONCRETE TO OBTAIN A STRENGTH OF 4,000 PSI IN 28 DAYS. 3. REINFORCING STEEL TO HAVE A YIELD STRENGTH OF 60,000 PSI.

EXISTING 12" PIPE PROFILE – POI 1 HORIZONTAL SCALE: 1"=50' VERTICAL SCALE: 1"=5'

18" HDPE INV.=697.50' W/ FLARED END SECTION 18" HDPE INV.=696.80' W/ FLARED END

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	PCSM/SITE DETAILS FRANKLIN HILL MANOR	PRELIMINARY/FINAL LAND DEVELOPMENT OF LANDS OF D E & S PROPERTIES LLC 2621 ROUTE 940 POCONO SUMMIT, PA 18346	SMITHFIELD TOWNSHIP MONROE COUNTY, PENNSYLVANIA		
	REVISIONS BY DATE	TMM 2-14-2024			
REGISTERED PROFESSIONAL TIGHE M. MECKES ENGINEER NO. PEOPI525	DESIGNED BY: TMM DRAWN BY: TMM	CHECKED BY: ESS DATE: DEC 1, 2023 SCALE: AS NOTED	JOB NUMBER: CN-23-041 SHEET: 11 OF 11		