



November 1, 2023

Smithfield Township Board of Supervisors  
1155 Red Fox Road  
East Stroudsburg, PA 18301

**SUBJECT: SMITHFIELD GATEWAY PHASE 1A-2  
FINAL LAND DEVELOPMENT PLAN REVIEW NO. 3  
SMITHFIELD TOWNSHIP, MONROE COUNTY, PENNSYLVANIA  
PROJECT NO. 1432150R2**

Dear Supervisors:

Pursuant to the Township's request, we have completed our third review of the Final Land Development Plan for the above referenced project. The submitted information was prepared by Langan and consists of the following items.

- Response letter dated August 23, 2023.
- Emailed correspondence dated August 23, 2023, summarizing outstanding agency review statuses.
- Emailed correspondence dated October 25, 2023, confirming a revised submission to the Brodhead Creek Regional Authority.
- Emailed correspondence dated October 25, 2023, confirming a revised submission to the Township Sanitary Sewer Authority.
- Pennsylvania Department of Environmental Protection Individual NPDES Permit No. PAD450013 A-4, effective September 27, 2023.
- Final Land Development Plan (42 sheets) dated February 17, 2023, revised October 24, 2023.

### **BACKGROUND INFORMATION**

The Applicant has submitted a Final Land Development Plan in support of Phase 1A-2 of Smithfield Gateway. The existing property has an area of 91.96 acres, is within the ED, Economic Development Zoning District, and is located on the western side of Seven Bridges Road (S.R. 0209), approximately 1,000 feet (0.2 miles) north of the intersection with Independence Road (S.R. 447).

The following plans were previously approved for Smithfield Gateway:

- Preliminary Land Development Plan including development on all 91.96 acres.
- Major Subdivision Plan creating Lots 1.01, 2.01, 3.01, 4.01, 5.01, and 6.01.
- Final Land Development Plan for Phase 1A-1. Phase 1A-1 is located on Lot 6.01 and is under construction and nearing completion.

### **Corporate Office:**

559 Main Street, Suite 230  
Bethlehem PA 18018

### **Regional Offices:**

1456 Ferry Road, Building 500  
Doylestown, PA 18901

2756 Rimrock Drive  
Stroudsburg, PA 18360  
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P.O. Box 699  
Bartonsville, PA 18321

This Final Land Development Plan proposes construction on Lot 2.01, which is situated on the northwestern corner of S.R. 0209 and Music Center Drive and has an area of 4.26 acres. The development consists of a Wawa convenience store with fueling station and a drive-thru restaurant. Associated parking, storm sewer and stormwater management, public water and sewer services, and landscaping are proposed.

The Board of Supervisors approved the Final Land Development Plan with conditions at its meeting held on April 26, 2023.

Based on our review of the above information, we offer the following comments and/or recommendations for your consideration.

### **ZONING ORDINANCE COMMENTS**

1. In accordance with Section 305.D.3.(h), a “maintenance agreement lasting eighteen (18) months after planting of the buffer shall be established for the buffer plantings. This agreement with the Township shall require maintenance and replacement as needed of the plantings by the developer. If any required plantings die at any time after the conclusion of the maintenance agreement, those plantings shall be replaced by the current landowner within six (6) months.” *A landscape maintenance agreement will be required. (Comment 2 from Review No. 2) The response letter acknowledges the required landscape maintenance agreement.*

### **SUBDIVISION AND LAND DEVELOPMENT ORDINANCE COMMENTS**

2. In accordance with Sections 702.E and 703.D, the following submissions shall be made by the applicant/developer:
  - a. Water Authority

*Water capacity to serve the revised development on Lot 2.01 shall be confirmed with a letter provided to the Township. (Previous Comment 14.a from Review No. 1) The response indicates a submission was made to the Brodhead Creek Regional Authority. (From Comment 6.a from Review No. 2) A revised plan submission was made to the Brodhead Creek Regional Authority on October 25, 2023. Also refer to Comment 3.*
  - b. Sewer Authority/Pennsylvania Department of Environmental Protection

*Sewer service shall be confirmed for the revised development on Lot 2.01. The approved Sewage Facilities Planning Module shall be provided. (Previous Comment 14.b from Review No. 1) The response indicates a submission was made to the Smithfield Sewer Authority. (From Comment 6.b from Review No. 2) A revised plan submission was made to the Township Sewer Authority on October 25, 2023. Also refer to Comment 3.*
3. In accordance with Section 603.G.24, “the applicant/developer shall supply to the Township a statement from a registered engineer detailing the demands that the proposed development will have on the existing public sanitary sewer and public water systems within the Township. The applicant/developer shall supply an application for reservation of capacity or an executed capacity reservation agreement from the appropriate authorities having jurisdiction.” *Water capacity shall be confirmed with a letter provided to the Township. Sewer service shall also be confirmed, and the approved Sewage Facilities Planning Module shall be provided. (Previous Comment 25 from*

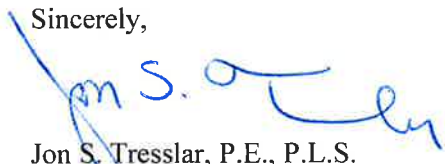
*Review No. 1) The response indicates submissions have been made to the Brodhead Creek Regional Authority and the Smithfield Sewer Authority. (Comment 10 from Review No. 2) Revised plan submissions to the Brodhead Creek Regional Authority and the Township Sewer Authority were made on October 25, 2023.*

4. In accordance with Sections 1502.1 and 1503, before the Board of Supervisors shall cause its approval to be endorsed on the final plans of any subdivision or land development and as a requirement for the approval thereof, the applicant/developer shall enter into a written agreement with the Township in the manner and form set forth by the Township Solicitor to guarantee the construction and installation of all improvements at the applicant/developer's expense required by this Chapter. When requested by the applicant/developer, in order to facilitate financing, the Board of Supervisors shall furnish the applicant/developer with a signed copy of a resolution indicating approval of the final plan contingent upon the applicant/developer obtaining satisfactory financial security. The final plan or record plan shall not be signed nor recorded until the financial improvement agreement is executed. The resolution or letter of contingent approval shall expire and be deemed to be revoked if the financial security agreement is not executed within ninety (90) days unless a written extension is granted by the Board of Supervisors. *A developer's agreement and escrow are required prior to plan recordation. A construction cost estimate shall be submitted for review. (Previous Comment 50) The response letter acknowledges the required developer's agreement and escrow. A construction cost estimate shall be submitted for review. (Comment 15 from Review No. 2) The response letter indicates a construction cost estimate will be submitted under separate cover.*

All previous engineering related comments. The above remaining comments are related to outside agency approvals, agreements, and escrow, and shall be addressed prior to plan recordation.

If you should have any questions, please contact me.

Sincerely,



Jon S. Tresslar, P.E., P.L.S.  
Township Engineer

JST/meh/tms

cc: Julia Heilakka, Manager – Smithfield Township  
Ronold J. Karasek, Esquire – Smithfield Township Solicitor  
Ken Wolf, Smithfield Township – Zoning Officer  
James DePetris, DEPG Mosier Associates, L.P. – Property Owner/Applicant  
Doug Olmstead, P.E., DEPG Mosier Associates, L.P. – Property Owner/Applicant  
John C. Cote, P.E., Langan – Applicant's Engineer  
Marc R. Wolfe, Esquire, Newman Williams, P.C. – Applicant's Attorney  
Michael J. Wilk, P.E. – Monroe County Conservation District  
Melissa E. Hutchison, P.E. – LVL Engineering Group