



July 13, 2023

Smithfield Township Board of Supervisors
1155 Red Fox Road
East Stroudsburg, PA 18301

**SUBJECT: SMITHFIELD GATEWAY PHASE 1A-2
FINAL LAND DEVELOPMENT PLAN REVIEW NO. 2
SMITHFIELD TOWNSHIP, MONROE COUNTY, PENNSYLVANIA
PROJECT NO. 1432150R2**

Dear Supervisors:

Pursuant to the Township's request, we have completed our second review of the Final Land Development Plan for the above referenced project. The submitted information was prepared by Langan and consists of the following items.

- Response letter dated June 7, 2023.
- Post Construction Stormwater Management (PCSM) Report dated June 5, 2023.
- Existing Resources and Site Analysis Plan dated December 7, 2022.
- Final Land Development Plan (41 sheets) dated February 17, 2023, revised June 6, 2023.

BACKGROUND INFORMATION

The Applicant has submitted a Final Land Development Plan in support of Phase 1A-2 of Smithfield Gateway. The existing property has an area of 91.96 acres, is within the ED, Economic Development Zoning District, and is located on the western side of Seven Bridges Road (S.R. 0209), approximately 1,000 feet (0.2 miles) north of the intersection with Independence Road (S.R. 447).

The following plans were previously approved for Smithfield Gateway:

- Preliminary Land Development Plan including development on all 91.96 acres.
- Major Subdivision Plan creating Lots 1.01, 2.01, 3.01, 4.01, 5.01, and 6.01.
- Final Land Development Plan for Phase 1A-1. Phase 1A-1 is located on Lot 6.01 and is under construction and nearing completion.

This Final Land Development Plan proposes construction on Lot 2.01, which is situated on the northwestern corner of S.R. 0209 and Music Center Drive and has an area of 4.26 acres. The development consists of a Wawa convenience store with fueling station and a drive-thru restaurant. Associated parking, storm sewer and stormwater management, public water and sewer services, and landscaping are proposed.

The Board of Supervisors approved the Final Land Development Plan with conditions at its meeting held on April 26, 2023.

Corporate Office:

559 Main Street, Suite 230
Bethlehem PA 18018

Regional Offices:

1456 Ferry Road, Building 500
Doylestown, PA 18901

2756 Rimrock Drive
Stroudsburg, PA 18360
Mailing
P.O. Box 699
Bartonsville, PA 18321

Based on our review of the above information, we offer the following comments and/or recommendations for your consideration.

ZONING ORDINANCE COMMENTS

1. In accordance with Section 305.D.3.(a), “the number and types of plants within this required buffer shall meet the standards listed in Section 502.7.C.(7) of this Chapter, except as modified by this Section. A minimum of fifty (50%) percent of the required buffer plantings shall be evergreen plants. The number of deciduous shade trees within this required buffer shall be increased to an average of one (1) tree per forty (40) feet of buffer yard length.” Sections 305.D.3.(a) and 502.7.C.(7) requires 35 evergreen trees, 18 deciduous trees, 12 flowering trees, and 175 shrubs within the required 50-foot buffer yard along Music Center Drive.

Such screen planting may be located within the required front yard setback and shall be in accordance with the following requirements:

- a. In accordance with Section 502.7.C.(2), “the screen planting shall be maintained permanently, and any plant material which does not live shall be replaced within six (6) months. A performance bond shall be posted with the Township in an amount equal to the estimated cost of trees and plantings, to be released only after the passage of the third growing season following planting. A plan for the perpetual care of the buffer area shall be provided to the Township.” *A note to this effect must be placed on the plan, and a plan for perpetual care of the proposed buffer must be provided to the Township. (Previous Comment 2.b) Note 3 on the Overall Plant Schedule on Sheet LP502 (38 of 41) shall be revised to reference any screen planting.*
2. In accordance with Section 305.D.3.(h), a “maintenance agreement lasting eighteen (18) months after planting of the buffer shall be established for the buffer plantings. This agreement with the Township shall require maintenance and replacement as needed of the plantings by the developer. If any required plantings die at any time after the conclusion of the maintenance agreement, those plantings shall be replaced by the current landowner within six (6) months.” *A landscape maintenance agreement will be required. (Previous Comment 4) The response letter acknowledges the required landscape maintenance agreement.*
3. In accordance with Section 305.D.4.(c), “exterior accessibility of buildings by emergency equipment shall be reviewed by local fire officials. The then-current version of the Pennsylvania Uniform Construction Code (UCC) shall apply, including sprinkler standards. Appendix D of the then-current version of the International Fire Code (IFC) shall apply regarding accessibility for emergency equipment.” *The revised layout on Lot 2.01 shall be provided to the Fire Chief for review and comment. (Previous Comment 5) The response letter indicates a submission to the Fire Chief was made on April 12, 2023.*
4. In accordance with Section 305.F.2.(c), “the required number of parking spaces for other uses (such as a hotel or motel) shall be as provided in Section 402 of this Chapter and the accompanying Schedule II of this Chapter”.
 - a. Section 402 and Schedule II requires one (1) parking space per 150 square feet for a gasoline service station. *Forty-one (41) parking spaces are required, and 62 parking spaces are provided. The Wawa floor plan appears to show eat-in tables with 22 seats. A restaurant requires one (1) parking space for each 2.5 seats plus one (1) for each full-time employee. It appears 50 parking spaces would be required to account for the eat-in seating. While sufficient parking is provided, the Applicant shall address whether the seating was*

considered in the parking calculations. The Parking Table on Sheet CS100 shall be revised accordingly. (Previous Comment 8.b) The Parking Table on Sheet CS100 (4 of 41) shall be revised to include the number of dine-in tables and associated employees at Wawa.

5. In accordance with Section 502.7.C – “all nonresidential parking lots for off-street parking or for the storage or movement of motor vehicles located in front of the building shall be separated from the ultimate right-of-way line by a buffer yard not less than twenty-five (25) feet in width. The buffer yard shall include a dense screen planting of trees, shrubs or other plant barrier to visibility, airborne particles, glare, and noise. Such screen planting may be located within the required front yard setback and shall be in accordance with” Subsections (1) through (7).

Such screen planting may be located within the required front yard setback and shall be in accordance with the following requirements:

- a. In accordance with Section 502.7.C.(2), “the screen planting shall be maintained permanently, and any plant material which does not live shall be replaced within six (6) months. A performance bond shall be posted with the Township in an amount equal to the estimated cost of trees and plantings, to be released only after the passage of the third growing season following planting. A plan for the perpetual care of the buffer area shall be provided to the Township.” *A note to this effect must be placed on the plan, and a plan for perpetual care of the proposed buffer must be provided to the Township. (Previous Comment 12.b) Note 3 on the Overall Plant Schedule on Sheet LP502 (38 of 41) shall be revised to reference any screen planting.*
- b. In accordance with Section 502.7.C.(7), Buffer Planting Requirements, 10 evergreen trees, 4 shade trees, 4 flowering trees, and 50 shrubs are required between the proposed parking area/gasoline pumps and State Route 0209 (200-feet ±). *No evergreen trees, 4 shade trees, no flowering trees, and 75 shrubs are proposed, therefore 10 evergreen trees and 4 flowering trees are still required, and the plan must be revised. (Previous Comment 12.c) Four (4) flowering trees are still required along State Route 0209. In addition, the Overall Plant Schedule lists nine (9) AGAB and ten (10) CC flowering trees, however, the plan appears to provide seven (7) and eight (8), respectively.*

SUBDIVISION AND LAND DEVELOPMENT ORDINANCE COMMENTS

6. In accordance with Sections 702.E and 703.D, the following submissions shall be made by the applicant/developer:

- a. Water Authority

Water capacity to serve the revised development on Lot 2.01 shall be confirmed with a letter provided to the Township. Refer to Comment 25. (Previous Comment 14.a) The response indicates a submission was made to the Brodhead Creek Regional Authority. Also refer to Comment 10.

- b. Sewer Authority/Pennsylvania Department of Environmental Protection

Sewer service shall be confirmed for the revised development on Lot 2.01. The approved Sewage Facilities Planning Module shall be provided. Refer to Comment 25. (Previous Comment 14.b) The response indicates a submission was made to the Smithfield Sewer Authority. Also refer to Comment 10.

c. Fire Company

The Phase 1A-2 Land Development Plan must be submitted to the Fire Chief for review and comment. Refer to Comments 19 and 27. (Previous Comment 14.c) The response indicates a submission was made to the Fire Chief. Also refer to Comments 7 and 12.

d. Monroe County Conservation District/Pennsylvania Department of Environmental Protection

An amendment to NPDES Permit No. PAD450013 will be required from the Monroe County Conservation District. A submission has been made to the County Conservation District under cover letter dated April 10, 2023. (Previous Comment 14.e) The submission was deemed complete by the Monroe County Conservation District under its cover letter dated May 31, 2023.

In addition, and in accordance with Section 603.A.12, proof of submission to all agencies, authorities, commissions, persons, etc., required to be distributed by the applicant/developer under the submission guidelines of this Part. *Status of submission and reviews and/or approvals must be provided. A list of outside agency statuses of review and approval shall be provided on the plan to aid in this review and subsequent phased reviews. (Previous Comment 14) The required list shall still be provided on the plan.*

7. In accordance with Sections 603.G.13 and 603.H.2.a.(8), turning movement diagrams shall be provided to demonstrate that the largest truck or emergency vehicle servicing the development can safely and conveniently navigate the proposed roads, drives, parking and loading areas. In addition, and in accordance with Section 1026.2, collection stations shall be located so as to be separated adequately from habitable buildings to avoid being offensive or a fire hazard and shall be hidden from sight by a solid fence or wall and landscaped and be convenient for collectors and residents. *The Fire Truck Circulation Plan, Sheet CP102, must be provided to the Fire Chief for review and comment. (Previous Comment 19) The response letter indicates a submission was made to the Fire Chief.*
8. In accordance with Section 603.G.17.(b), “the plan shall include all grading and facilities proposed to control soil erosion and sedimentation during construction and proposed detention/retention facilities, in conformance with all applicable Pennsylvania Department of Environmental Protection and United States Soil Conservation Service regulations. A satisfactory letter shall be required from the Monroe County Conservation District on the soil erosion and sedimentation control plan.” *The proposed disturbance is greater than 1 acre, therefore an amendment to existing NPDES from the Monroe County Conservation District will be required. (Previous Comment 21) All correspondences with, submissions to, and approval from the Monroe County Conservation District shall be provided to the Township.*
9. In accordance with Section 603.G.21, “a statement or certificate by the applicant/developer indicating that, to the best of his or her knowledge, the plans are in conformity with engineering, zoning, building, sanitation and other applicable Township ordinances and regulations and, if they are not so conforming, detailing the areas of nonconformance and the reasons for requesting a modification to the Township standards” shall be placed on the plan. *The Certificate of Ownership and Acknowledgement of Plan provided on Sheet CS100 (4 of 39) shall be revised accordingly. (Previous Comment 23) The Certificates of Ownership and Acknowledgement of Plan shall be revised to include the language underlined above.*

10. In accordance with Section 603.G.24, “the applicant/developer shall supply to the Township a statement from a registered engineer detailing the demands that the proposed development will have on the existing public sanitary sewer and public water systems within the Township. The applicant/developer shall supply an application for reservation of capacity or an executed capacity reservation agreement from the appropriate authorities having jurisdiction.” *Water capacity shall be confirmed with a letter provided to the Township. Sewer service shall also be confirmed, and the approved Sewage Facilities Planning Module shall be provided. (Previous Comment 25) The response indicates submissions have been made to the Brodhead Creek Regional Authority and the Smithfield Sewer Authority*
11. In accordance with Section 603.H.3.(b) storm sewer and sanitary sewer profiles shall be provided. *The following comments are related to our review of the Drainage Profiles on Sheets CG201 (17 of 41) and CG202 (18 of 41) and the Sanitary Sewer Profiles on Sheet CU200 (32 of 41).*
 - a. *The proposed waterline between OCS4-3 and MH4-10 shall be shown in the OCS4-3 to MH4-10 Drainage Profile. (Previous Comment 26.m) The pipe shall be shown and labeled in the profile.*
 - b. *The storm sewer runs HW4-12 to HW4-11 and MH4-10 to MH4-7 shall be shown in the SAN-MH-14 to SAN-MH-13 profile. (Previous Comment 26.q) The concrete encasements shall be shown along the sanitary sewer at the 19” x 30” Elliptical Class V RCP and 18-inch HDPE storm sewer pipes in the San-MH-14A to San-MH-13 Profile. In addition, a concrete encasement is required at the sanitary sewer force main crossing between MH4-10 and MH4-7 in the Drainage Profile (OCS4-2 to CB4-6).*
12. In accordance with Section 1005, “wherever a central or public water supply system serves a development, provision shall be made for fire hydrants along streets or on the walls of nonresidential structures as approved by the Fire Company servicing the development in accordance with all prescribed State and county standards.” *A water service line to a frost-free hose bib is provided under the proposed trash enclosure at Wawa. In addition, the proposed building layout on Lot 2.01 has changed. The Phase 1A-2 Land Development Plan shall be submitted to the Fire Chief for review and comment. (Previous Comment 27) The response letter indicates a submission has been made to the Fire Chief.*
13. In accordance with Section 1012.7, “driveways and access points shall be so located, designed and constructed as to provide adequate sight distance at intersections with streets”. *The required and provided sight distances for the proposed driveway accessing Music Center Drive shall be provided on the plan. (Previous Comment 29) The sight triangle shall be shown on the plan as referenced in the response letter.*
14. In accordance with Sections 1101.1.A.(8) and 1101.2.A, street trees shall be a minimum of three (3) inches in caliper and shall be a species suggested in subsection (1)(C)(3)(a), street trees. All main branches shall be pruned to a clearance height of seven (7) feet above the ground. Street trees shall have a single, straight trunk and central leader and shall be free of disease and mechanical damage. A note shall be added to the landscape plans stating this information. *The required note shall be added to the plan. (Previous Comment 43) The required note, underlined above, shall still be placed on the plan.*
15. In accordance with Sections 1502.1 and 1503, before the Board of Supervisors shall cause its approval to be endorsed on the final plans of any subdivision or land development and as a requirement for the approval thereof, the applicant/developer shall enter into a written agreement with the Township in the manner and form set forth by the Township Solicitor to guarantee the

construction and installation of all improvements at the applicant/developer's expense required by this Chapter. When requested by the applicant/developer, in order to facilitate financing, the Board of Supervisors shall furnish the applicant/developer with a signed copy of a resolution indicating approval of the final plan contingent upon the applicant/developer obtaining satisfactory financial security. The final plan or record plan shall not be signed nor recorded until the financial improvement agreement is executed. The resolution or letter of contingent approval shall expire and be deemed to be revoked if the financial security agreement is not executed within ninety (90) days unless a written extension is granted by the Board of Supervisors. *A developer's agreement and escrow are required prior to plan recordation. A construction cost estimate shall be submitted for review. (Previous Comment 50) The response letter acknowledges the required developer's agreement and escrow. A construction cost estimate shall be submitted for review.*

STORMWATER MANAGEMENT ORDINANCE COMMENTS

16. In accordance with Section 228.1, "any earth disturbance must be conducted in conformance with Chapter 102". *Refer to Comment 21. (Previous Comment 54) Refer to Comment 8.*

STORMWATER MANAGEMENT AND STORM SEWER DESIGN COMMENTS

The rim elevations at OCS4-3 shown in plan view on Sheet CG102 (14 of 39) are inconsistent with those listed in the Underground Infiltration Basin Outlet Control Structures detail on Sheet CG501 (19 of 36). In addition, Rims A and B have elevation differences between 2.5-feet and 4-feet ± in plan view and the detail. The rims are within 1-foot of each other and should have similar rim elevations. The plan view, profile, and detail shall be revised. *(Previous Comment 62) Rim El. A in the profile shall be revised for consistency with the detail and plan view.*

17. On Sheet CG501 (19 of 39), the invert elevation of the OCS4-1 outlet pipe listed in the Outlet Control Structure Detail for Infiltration Basins is inconsistent with that in plan view and profile. The details shall be revised. *(Previous Comment 65) This shall still be addressed. It is noted that the Pond Report utilizes an invert elevation of 456.00.*

MISCELLANEOUS COMMENTS

18. On Sheet GI001 (1 of 39), the Plans to be Recorded Note shall include the Post Construction Stormwater Management Plan, details, and notes. *(Previous Comment 71) The Plans to be Recorded Note on sheet CS100 (4 of 41) shall be revised for consistency with the note on Sheet GI001 (1 of 41).*
19. The list of waivers provided on Sheet GI001 (1 of 39) shall be revised to reflect those requested in the Waiver Requests letter. *(Previous Comment 72) Section "1015." under the Applicant/Developer Statement on Sheet GI001 (1 of 41) shall be revised to reference Section "1015.5".*
20. The nomenclature for the handicap sign listed in the Sign Legend on Sheet CS101 (5 of 39) and in the Accessible Parking Sign detail on Sheet CS501 (6 of 39) shall be revised for consistency with Pennsylvania Department of Transportation Publication 236, Handbook of Approved Signs. *(Previous Comment 75) The nomenclature of the handicap sign in the Traffic Signs detail on Sheet CS501 (6 of 41) and of the penalties sign in the Reserved Parking Space & Penalties Signs Detail on Sheet CS504 (9 of 41) shall still be revised for consistency with the Pennsylvania Department of Transportation Publication 236, Handbook of Approved Signs.*

21. On Sheet CG101 (12 of 39), the existing contours along Music Center Drive shall be labeled with elevations. *(Previous Comment 77) The existing contours shall still be labeled with elevations.*
22. The invert out elevation at SAN-MH-13 shall be provided in plan view on Sheet CU101 (30 of 39). *(Previous Comment 79) This shall still be addressed. In addition, the San-MH-14A to San-MH-13 Profile shall be extended to include MH-13.*

PLAN REVISIONS COMMENTS

23. The Lighting Plan (Sheet LL101, 40 of 41) shows three (3) “G” lights and six (6) “H” lights in plan view. The Site Lighting Schedule lists two (2) “G” lights and seven (7) “H” lights. The plan view or schedule shall be revised for consistency. *(New Comment)*
24. Note #20 on the Master Site Plan (Sheet 4 of 41) shall be revised to read “The Township reserves the right to require Wawa to install at its sole expense, a raised concrete island to require right hand turns only exiting their site, should the Township determine in its sole discretion, that traffic conflicts are occurring at the driveway intersections”. *(New Comment)*

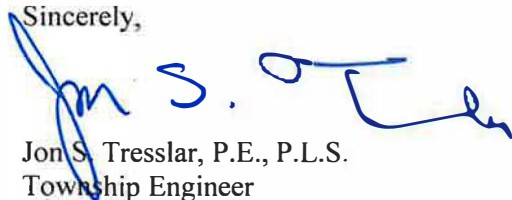
The above comments represent a thorough and comprehensive review of the information submitted with the intent of giving the Township the best direction possible. However, due to the nature of the comments in this review, the receipt of new information may generate new comments.

The above comments shall be addressed prior to plan recordation.

In order to facilitate an efficient re-review of revised plans, the Design Engineer shall provide a letter, addressing item by item, their action in response to each of our comments.

If you should have any questions, please contact me.

Sincerely,



Jon S. Tresslar, P.E., P.L.S.
Township Engineer

JST/meh/tms

cc: Julia Heilakka, Manager – Smithfield Township
Ronold J. Karasek, Esquire – Smithfield Township Solicitor
Ken Wolf, Smithfield Township – Zoning Officer
James DePetris, DEPG Mosier Associates, L.P. – Property Owner/Applicant
Doug Olmstead, P.E., DEPG Mosier Associates, L.P. – Property Owner/Applicant
John C. Cote, P.E., Langan – Applicant’s Engineer
Marc R. Wolfe, Esquire, Newman Williams, P.C. – Applicant’s Attorney
Michael J. Wilk, P.E. – Monroe County Conservation District
Melissa E. Hutchison, P.E. – LVL Engineering Group