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## ***MONROE COUNTY PLANNING COMMISSION***

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April 4, 2023

Jacob Pride, Chairman  
Smithfield Township Board of Supervisors  
1155 Red Fox Road  
East Stroudsburg, PA 18301

Re: Smithfield Gateway Phase 1A-2  
Land Development Plan  
Smithfield Township  
MCPC Review #46-23

Dear Mr. Pride:

The above cited plan was reviewed by Eric Koopman, Lead Senior Planner and Nathan Oiler, P.E., of RKR Hess, a division of UTRS, Inc., on behalf of the Monroe County Planning Commission. You will find their comments enclosed.

All comments are preliminary and will be acted upon by the Planning Commission at its regular meeting on April 11, 2023 at 5:00 p.m. at the Monroe County Administrative Center. This action is in keeping with the Planning Commission's review policy and allows the municipalities and other interested parties to respond to the review comments before the Planning Commission's public meeting.

If these comments are not amended and are found to be acceptable by the Board at the next meeting, they should be considered to be approved as enclosed.

If you have any questions, or if we can be of further service to you, please feel free to contact me.

Sincerely yours,

A handwritten signature in blue ink that reads "Christine Meinhart-Fritz".

Christine Meinhart-Fritz  
Director

CMF/ek  
Cc: Julia Heilakka, Township Manager  
John Cote, P.E.


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## **MONROE COUNTY PLANNING COMMISSION**

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TO: Christine Meinhart-Fritz, Director  
FROM: Eric Koopman, Lead Senior Planner   
DATE: April 4, 2023  
SUBJECT: Smithfield Gateway Phase 1A-2  
Land Development Plan  
Smithfield Township  
MCPC Review #46-23

This 4.11 acre site is located near the intersection of Independence Road (SR 447) and Seven Bridge Road (SR 209). The plan proposes the development of a 6,049 Wawa convenience store with gas pumps, 2,890 s.f. restaurant, parking areas, internal drives, landscaping, stormwater management facilities, and other associated site improvements as part of a multi-phase Mixed Use Development. The site is to be accessed by two signalized drives from SR 209 and SR 447, as well as three other access points from SR 209, Mosiers Dairy Lane, and Music Center Drive. The site will utilize central water and sewage systems provided by the Brodhead Creek Regional Authority and the Smithfield Sewer Authority, respectively. Approvals for the project were made for a Medical Clinic (constructed) and retail building (in development). The site is located in an Economic Development (ED) Zoning District.

The above mentioned land development plan has been reviewed on the basis of generally accepted planning principles and environmental concerns. The following comments are offered:

1. It should be noted that our office has previously reviewed an earlier phase of the proposed land development (MCPC Review #4B-21) plan on February 5, 2021. All comments that remain relevant for the project are included in this review.
2. The applicant is requesting numerous waivers, including for relief from a minimum distance of 200 feet between driveways. It is unknown if such relief was granted, or if alternate site designs were considered to remove the need for such relief. Justification for the requested waivers was not provided. Any approvals should be based on required alteration to ordinance standards to be de minimus.
3. It should be noted that a Tax Incremental Finance (TIF) District was approved for this site. It is recommended that the Township confirm the proposed development activity allows the site to fulfill the agreements set forth in the establishment of the TIF District.
4. The phasing of the project and areas over the overall site to be affected by the respective phases are not clearly indicated on the plan. It appears Phase 1A-2 only concerns the development of the Wawa convenience store and restaurant to be located directly to the north. Specifics concerning the phases of the project should be confirmed.

5. Architectural/design details were not included within the submitted materials. Therefore, consistency with applicable overlay requirements cannot be assessed. It is recommended that the Township attain architectural details for the proposed development in order to confirm that all applicable zoning requirements are satisfied.
6. That plan references a PennDOT Highway Occupancy Permit application (Permit # 218889). The Township should confirm the status of such a permit. Also, the status of any required Township driveway permits is unknown at this time.
7. According to the Trip Generation Report published by the Institute of Transportation Engineers, 11<sup>th</sup> Edition (2020), the proposed project is expected to generate approximately:

High Turnover (Sit-Down) Restaurant (ITE #932, Page #673)  
- 310 trips per weekday                      - 2,890 square feet

Convenience Store/Gas Station (GFA 5.5-10K)\* (ITE #945, Page #880)  
- 5,532 trips per weekday                      - 16 vehicle fueling positions

*\*Limited Sample Size*

In total, the proposed project is expected to generate approximately 5,842 trip ends per weekday. This data should be carefully considered and if warranted, appropriate measures to mitigate traffic impacts should be incorporated into the project.

8. It is unclear if the proposed Wawa convenience store will feature EV charging stations, as seen in previously proposed plans within the county. Such features are to be encouraged to provide accommodation for emerging vehicle technology.
9. Various truck turning plans were included with the submitted materials. The Township should confirm the adequacy of these plans for the safe traffic circulation of such vehicles.
10. There appears to be a lot area discrepancy between that indicated on the plan, and that indicated in County Assessment data. The plan states the site to be 4.26 acres, while county data states the area to be 4.11 acres. This should be clarified.
11. A landscaping plan was included with the submitted materials. The Township should ensure that all landscaping requirements are met by the proposed plan or if additional planting would be required. Landscape areas aid in groundwater recharge and enhance the visual quality of parking areas.
12. Although the plan indicates a lighting plan was prepared for the project, this was not included in the submitted materials (Missing Sheets #38 and 39). The Township should confirm that all proposed lighting meets ordinance standards, and that any potential spillover to residential properties to the east are properly mitigated.

13. It should be noted that a bus stop is to be incorporated into the next phase of the plan. The developer is encouraged to coordinate with the Monroe County Transit Authority regarding specific placement and other details to best facilitate public transit accommodation.
14. The plan includes the construction of several retaining walls adjacent to the proposed parking areas. It is recommended that these retaining walls be constructed with visually/aesthetically pleasing materials that match the character of the development and the surrounding neighborhood.
15. No signage details were included within the submitted materials. It is recommended that the Township confirm that all free-standing and structurally mounted signs adhere to the Townships Ordinances and objectives, as well as create a fine visual impression consistent with the theme proposed and developed throughout the site.
16. It is recommended that the placement and efficiency of all fire hydrants be reviewed and confirmed as acceptable by the Township and the fire department.
17. It is recommended that the applicant/developer prepare a snow removal plan in order to maintain efficient, orderly, and safe traffic flow within the parking lot area during the winter season.
18. This site is to be served by centralized water and sewage disposal provided by the Brodhead Creek Regional Authority and the Smithfield Sewer Authority, respectively. The ability to accommodate the additional demand/usage resulting from this development should be confirmed by the Authorities.
19. A Pennsylvania Natural Diversity Inventory (PNDI) report was not included within the submitted materials, however a PNDI included with the previous phase submission indicated that that further review by the PA Fish and Boat Commission and the US Fish & Wildlife Service is necessary. It is recommended that the Township attain a copy of the responses from the aforementioned agencies.
20. The proposed project is generally consistent with the Monroe County Comprehensive Plan, December 2014, with respect to expanding the commercial tax base.
21. The proposed project does not affect any areas of importance identified in the Monroe County Natural Areas Inventory, 1991 and the Updated Inventory, 1999.
22. The proposed project does not affect any of the historic areas identified in the Monroe County Historic Preservation Plan, 1980.
23. The recommendation made by Nathan Oiler of RKR Hess, A Division of UTRS, Inc. in his review dated March 30, 2023 is concurred with.

It is recommended that approval of this plan be conditioned upon the above listed comments being satisfactorily addressed, the plan achieving compliance with applicable Township ordinances, and the Township Engineer's review.

This review is subject to the approval of the Monroe County Planning Commission at its next regularly scheduled meeting.





A DIVISION OF UTRS

March 30, 2023  
Project No. 10230.214

Monroe County Planning Commission  
Monroe County Administrative Center  
701 Main Street, Suite 405  
Stroudsburg, PA 18360

**ATTENTION: MS. CHRISTINE MEINHART-FRITZ, DIRECTOR**

**SUBJECT: PRELIMINARY LAND DEVELOPMENT PLANS –SMITHFIELD GATEWAY, PHASE 1A-2  
PROPERTY OWNER – DEPG MOSIER ASSOCIATES, L.P.  
SMITHFIELD TOWNSHIP**

Dear Ms. Meinhart-Fritz:

The project is a phase of ninety-two acre project site is located on Pennsylvania State Route 209 to the north of intersection of Route 209 and Route 447 in Smithfield Township, PA. This phase of the project is located between Mosier Farm Drive, Route 209 and Music Center Drive. The site currently has approval for two buildings, one is a 20,696+ SF Medical office building and the other is a 9,000 SF retail building. This phase of the project proposes a Wawa approximately 6,049 SF and a restaurant, approximately 2,890 SF. Site improvements include an access road, parking, site utilities, site amenities and stormwater management facilities.

We have reviewed a thirty-seven (37) page set of Final Land Development Plans prepared by Langan Engineering and Environmental Services, Inc. located in Parsippany, NJ.

This submittal was reviewed in accordance with generally accepted engineering and planning practices and the guidelines established by the Monroe County Planning Commission. We offer the following comments based on the information submitted:

**ZONING AND COMPATIBILITY WITH SURROUNDING USES**

1. The deed reference and tax reference for the property included in this phase must be indicated on the plan.
2. The project is in the ED, Economic Development District. A gas station and a restaurant are permitted uses in the zoning district.
3. The adjacent property to the north across Music Center Drive is zoned R-1 and is developed with existing residences. The property adjacent to the east contains Shirley Katz Insurance in the ED zoning district. The property to the west contains Strunk Albert Engineering in the ED zoning District. The property across State Route 209 contains Odd Lots retail store also in the ED zoning district. The lot to the east is labeled as B-1 zoning district, it is shown as ED zoning district on the Smithfield zoning map. This should be labeled the correct zoning district on the plans.

4. An analysis of compliance with zoning requirements such as setbacks, parking has been provided in the application.

#### **LOT ACCESS, LAYOUT AND PARKING**

5. The vehicular access to the project is proposed to be a full access driveways on Smithfield Lane, Mosier Farm Drive and Music Center Drive. Music Center Drive is a Township Road. A Township Driveway permit will be required. Tractor Trailers, Garbage Trucks and Fire trucks will enter and exit from Moiser Farm Drive. Moiser Farm Drive has a traffic light for access to State Route 209. Music Center Drive only has right turn access and right turn exit.
6. The plans indicate a total of one hundred and three (103) parking spaces including five (5) ADA parking spaces for both Wawa and the Restaurant, for parking for cars meeting the requirements of the Township Ordinance.
7. Two dumpster areas are indicated on the site plan with proposed enclosures.
8. A lighting plan was shown on the list in the cover sheet, however a lighting plan was not included in the submission. A lighting plan must be provided for the Township to confirm that the proposed lighting meets the requirements of the Township Ordinance.

#### **WATER SUPPLY AND WASTEWATER DISPOSAL**

9. The Applicant has indicated that water service is proposed by a public water service. A will serve letter will be required from Brodhead Creek Regional Authority.
10. The Applicant indicated that the sewer service is proposed by a public sewer system. A will serve letter will be required from Smithfield Sewer Authority.
11. The local fire company should review truck access to the site and fire protection provisions.

#### **STORMWATER MANAGEMENT**

12. The proposed earth disturbance is over one acre. A NDPES permit will be required for the project.
13. Stormwater is proposed to be conveyed through two above-ground infiltration basins and one subsurface infiltration system for water quality management. The above ground infiltration basins are located on the east side of the property. The underground infiltration basin is located to the south of the proposed restaurant location under the proposed parking lot. There is an emergency spillway shown at the southeast corner of the property.
14. A stormwater management report has been provided. Test pit locations are shown on the plans. Infiltration testing reports have been provided. Stormwater will be conveyed to existing storm sewer main existing east along State Route 209.

15. A detailed review of the Stormwater Control Plan was not conducted because that is the responsibility of the Township and its consultants as part of the plan submission.

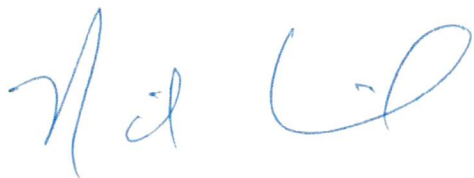
**ENVIRONMENTAL CONCERNS AND OTHER COMMENTS**

16. The site is not within the FEMA 1% chance floodplain limits as depicted on the latest (FIRM) Flood Insurance Rate Map.
17. The MCPC checklist indicates that there are no wetlands on the project site.
18. The MCPC checklist indicates that there are no steep slopes on the project site.
19. A landscape plan was provided in the submission. Trees and vegetation are proposed on the east property line. Some of the bigger trees, like Maple Trees are proposed in the drainage basins. Bigger trees should not be placed in the drainage basin. Compliance with minimum Township standards must be confirmed.
20. All certifications must be executed on the plans prior to final approval.
21. A Pennsylvania Natural Diversity Index (PNDI) search has not been provided. According to the MCPC Checklist a PNDI was provided during Phase 1A-1.
22. The applicant has provided a list of waiver requests, these waivers include waivers for stormwater, landscape, and construction improvements. These should be reviewed by the Township to make sure that these waivers meet the intent of the ordinance.
23. Compliance with Township Building Codes and ADA requirements should be confirmed.

We recommend the application be recommended for approval when the above comments have been reviewed and acted upon by the Township.

Respectfully submitted,

**R.K.R. Hess, A Division of UTRS, INC.**



Nathan S. Oiler, P.E.  
Director of Land Development Engineering Services