

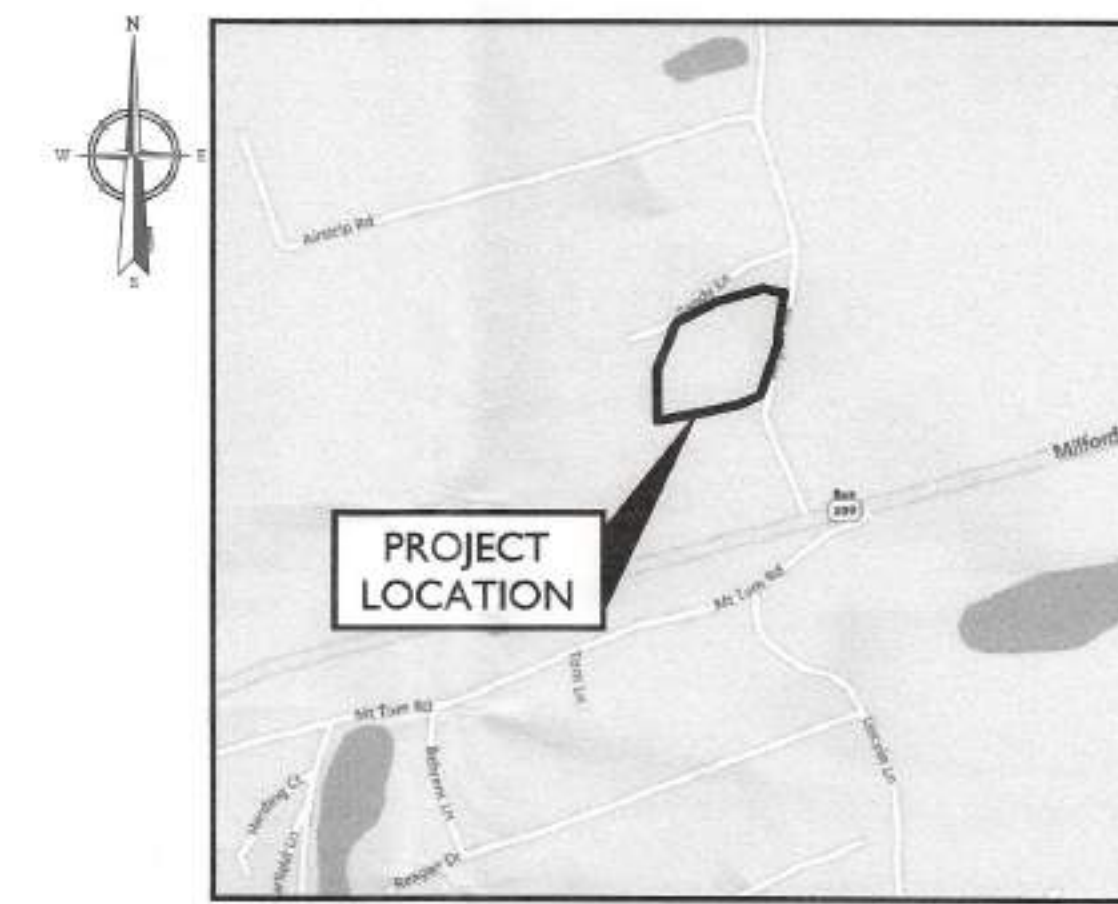
PROJECT NOTES

- 1. SITE INFORMATION OBTAINED FROM THE FOLLOWING:
A. BOUNDARY AND TOPOGRAPHY FROM FIELD-RUN SURVEY PERFORMED BY RETTEW ASSOCIATES, INC. IN AUGUST 2015 AND FEBRUARY 2020.
B. LIMITED FIELD OBSERVATION BY COLLIERS ENGINEERING & DESIGN ON AUGUST 25, 2022.
C. FINAL LAND DEVELOPMENT PLAN BY RETTEW DATED SEPTEMBER 3, 2020.
D. ADDITIONAL TOPGRAPHY GATHERED BY COLLIERS ENGINEERING & DESIGN DATED NOVEMBER 9, 2022.
2. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, LAWS AND REGULATIONS OF ALL MUNICIPALITIES, UTILITY COMPANIES OR OTHER PUBLIC/GOVERNING AUTHORITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS THAT MAY BE REQUIRED BY ANY FEDERAL, STATE, COUNTY OR MUNICIPAL AUTHORITIES.
4. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER, IN WRITING, OF ANY CONFLICTS, ERRORS OR OMISSIONS PRIOR TO THE SUBMISSION OF BIDS OR PERFORMANCE OF WORK.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SITE IMPROVEMENTS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE AS A RESULT OF CONSTRUCTION OF THIS FACILITY AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
6. THE SCOPE OF WORK FOR THIS PROJECT SHALL INCLUDE PROVIDING ALL MATERIALS, EQUIPMENT AND LABOR REQUIRED TO COMPLETE THIS PROJECT. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
7. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING THE BID TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND CONSTRUCTION DRAWINGS.
8. THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THESE DRAWINGS MUST BE VERIFIED. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.
9. NO NOISE, SMOKE, DUST OR ODOR WILL RESULT FROM THIS FACILITY AS TO CAUSE A NUISANCE.
10. THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION (NO HANDICAP ACCESS IS REQUIRED).
11. THE FACILITY DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
12. CONTRACTOR SHALL VERIFY ANTENNA ELEVATION AND AZIMUTHS WITH RF ENGINEERING PRIOR TO INSTALLATION.
13. ALL STRUCTURAL ELEMENTS SHALL BE HOT DIPPED GALVANIZED STEEL.
14. CONTRACTOR MUST FIELD LOCATE ALL EXISTING UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION.
15. CONSTRUCTION SHALL NOT COMMENCE UNTIL COMPLETION OF A PASSING STRUCTURAL ANALYSIS CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER. THE STRUCTURAL ANALYSIS IS TO BE PERFORMED BY OTHERS.
16. CONTRACTOR SHALL CONTACT STATE SPECIFIC ONE CALL SYSTEM THREE WORKING DAYS PRIOR TO ANY EARTH MOVING ACTIVITIES.
17. PROPOSED WATER SUPPLY: N/A
18. PROPOSED SANITARY SEWER SERVICE: N/A



FINAL LAND DEVELOPMENT PLAN

SITE NAME: NEP MAGICK CAULDRON
119 AIRPORT ROAD
EAST STROUDSBURG, PA 18301
MONROE COUNTY



VICINITY MAP
SCALE: 1" = 800'

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NORTHEAST PENNSYLVANIA
SMSA LIMITED PARTNERSHIP
d/b/a VERIZON WIRELESS

512 TOWNSHIP LINE ROAD
BUILDING 2, FLOOR 3
BLUE BELL, PA 19422

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Table with columns: DATE, DESCRIPTION, FAC, MEG, CHECKED BY. Includes entries for 'ISSUE FOR REVIEW' on 02/07/23 and 01/20/23.

Peter Michael Abano
PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER
LICENSE NUMBER: PE092542
COLLIERS ENGINEERING & DESIGN, INC.

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF THE RESPONSIBLE LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

SITE NAME:
NEP MAGICK CAULDRON
119 AIRPORT ROAD
EAST STROUDSBURG, PA 18301
MONROE COUNTY

Colliers Engineering & Design
941 Marcon Blvd #801
Allentown, PA 18109
Phone: 610.368.4201
COLLIERS ENGINEERING & DESIGN, INC.
DOING BUSINESS AS MASER CONSULTING

TITLE SHEET
T-1

CONDITIONAL USE
1. DENIED AT THE SMITHFIELD TOWNSHIP BOARD OF SUPERVISORS HEARING HELD ON JUNE 21, 2017. THE DECISION WAS OVERTURNED ON JANUARY 15, 2020 BY THE UNITED STATES DISTRICT COURT FOR MIDDLE DISTRICT OF PENNSYLVANIA.
2. ON NOVEMBER 10, 2020, THE SMITHFIELD TOWNSHIP BOARD OF SUPERVISORS APPROVED THE CONDITIONAL USE APPLICATION FOR THE DISTURBANCE OF STEEP SLOPES.

WAIVERS/MODIFICATIONS
1. SALDO, SECTION 401.1 - WAIVER OF PRELIMINARY PLAN SUBMISSION
ACTION: GRANTED AT THE BOARD OF SUPERVISORS MEETING ON OCTOBER 14, 2020.
2. SALDO, SECTION 603.A.(15) - WAIVER OF PROVIDING A COMMUNITY IMPACT ANALYSIS.
ACTION: GRANTED AT THE BOARD OF SUPERVISORS MEETING ON OCTOBER 14, 2020
3. SALDO, SECTION 603.B.(3) - WAIVER OF MINIMUM SHEET SIZE OF 24"x36" TO ALLOW PLAN SIZE OF 22"x34".
ACTION: GRANTED AT THE BOARD OF SUPERVISORS MEETING ON OCTOBER 14, 2020.
4. SALDO, SECTION 1024.11 - WAIVER OF PAVING THE ONE PARKING SPACE.
ACTION: GRANTED AT THE BOARD OF SUPERVISORS MEETING ON OCTOBER 14, 2020.
5. SALDO, SECTION 1101.I.C (AND ALL APPLICABLE SUBSECTIONS) - WAIVER OF PLANTING STREET TREES.
ACTION: GRANTED AT THE BOARD OF SUPERVISORS MEETING ON OCTOBER 14, 2020.
6. SALDO, SECTION 1020 - WAIVER OF SUBMITTING A LIGHTING PLAN AND PROPOSED LIGHTING STRUCTURES.
ACTION: GRANTED AT THE BOARD OF SUPERVISORS MEETING ON OCTOBER 14, 2020.

CODE COMPLIANCE
ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING CODES.
1. PENNSYLVANIA UNIFORM CONSTRUCTION CODE, INCORPORATING THE 2018 INTERNATIONAL BUILDING CODE
2. 2017 NATIONAL ELECTRICAL CODE - NFPA 70
3. 2018 INTERNATIONAL FIRE CODE
4. AMERICAN INSTITUTE OF STEEL CONSTRUCTION 360-16
5. AMERICAN CONCRETE INSTITUTE
6. TIA-222-H
7. TIA 607 FOR GROUNDING
8. INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS 81 IEEE C2 LATEST EDITION
9. TELCORDIA GR-1275
10. ANSI T1.311
11. PROPOSED USE: UNMANNED TELECOM FACILITY
HANDICAP REQUIREMENTS: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS NOT REQUIRED.
12.
13. CONSTRUCTION TYPE: IIB
14. USE GROUP: U

PROJECT INFORMATION

SITE INFORMATION
LATITUDE: N 41° 01' 53.23" (NAD 83)
LONGITUDE: W 75° 09' 19.07" (NAD 83)
GROUND ELEVATION: 524± AMSL (NAVD 88)
JURISDICTION: SMITHFIELD TOWNSHIP
COUNTY: MONROE COUNTY
APN: 16.7.1.35
LOT AREA: GROSS 5.209 ACRES (226,905 SF) NET 5.188 ACRES (226,011 SF)
EXISTING USE: INDUSTRIAL
PROPOSED USED: WIRELESS COMMUNICATION TOWER, EQUIPMENT & ANTENNAS (WITHIN PROPOSED LEASE AREA)
APPLICANT/DEVELOPER
COMPANY: NORTHEAST PENNSYLVANIA SMSA LIMITED PARTNERSHIP d/b/a VERIZON WIRELESS
ADDRESS: 4643 JONESTOWN ROAD, SUITE 200
CITY, STATE, ZIP: HARRISBURG, PA 17109
PHONE #: 717-540-6447

LAND OWNER
OWNER: RR2 AIRPORT ROAD, LLC
ADDRESS: 127 AIRPORT ROAD
CITY, STATE, ZIP: E STROUDSBURG, PA 18301
SOURCE OF TITLE
PARCEL ID: 16/71135
DEED REFERENCE: BOOK 2044 PG.2303
OWNER: STEPHEN SOMERS
ADDRESS: 127 AIRPORT ROAD
CITY, STATE, ZIP: E STROUDSBURG, PA 18301
DEED REFERENCE: BOOK 2073 PG.4691

SITE ACQUISITION
COMPANY: WIRELESS ACCESS TECHNOLOGIES, INC
CONTACT: SUE MANCHEL
PHONE: (267) 253-2762

CONSTRUCTION MANAGER
COMPANY: NORTHEAST PENNSYLVANIA SMSA LIMITED PARTNERSHIP d/b/a VERIZON WIRELESS
ADDRESS: 512 TOWNSHIP LINE ROAD, BUILDING 2, FLOOR 3 BLUE BELL, PA 19422
CITY, STATE, ZIP: BLUE BELL, PA 19422
CONTACT: ERIC FISHER
PHONE: (267) 431-9887

ENGINEERING COMPANY
COMPANY: COLLIERS ENGINEERING & DESIGN, INC
ADDRESS: 2000 MIDLANTIC DRIVE, SUITE 100
CITY, STATE, ZIP: MT. LAUREL, NJ 08054
CONTACT: MATT GRAUBART, P.E.
PHONE: (856) 797-0412
E-MAIL: MATTHEW.GRAUBART@COLLIERSENG.COM

LOCATION INFORMATION

POWER PROVIDER
NAME: PPL ELECTRIC
PHONE: 1-800-342-5775

TELEPHONE PROVIDER
NAME: VERIZON
PHONE: 1-800-837-4966

POLICE
COMPANY: STROUD AREA REGIONAL POLICE
ADDRESS: 100 DAY STREET
CITY, STATE, ZIP: EAST STROUDSBURG, PA 18301
PHONE: (570) 421-6800

FIRE
COMPANY: STROUDSBURG BOROUGH FIRE HOUSE
ADDRESS: 700 SARAH ST #1
CITY, STATE, ZIP: STROUDSBURG, PA 18360
PHONE: (570) 421-6960

IN CASE OF EMERGENCY, CALL 9-1-1

SHEET INDEX

Table with columns: SHEET, DESCRIPTION. Lists sheets T-1 (TITLE SHEET), GN-1 (GENERAL NOTES AND CERTIFICATIONS), Z-1 (ZONING INFORMATION), Z-2 (EXISTING CONDITIONS PLAN), Z-3 (SITE PLAN AND SITE NOTES), Z-4 (GRADING AND STORM WATER PLAN), Z-5 (COMPOUND PLAN AND ELEVATION VIEW), Z-6 (AERIAL SITE CONTEXT MAP), Z-7 (LEASE AND EASEMENT DESCRIPTIONS), A-1 through A-8 (CONSTRUCTION DETAILS), ES-1 through ES-4 (E&S CONTROL AND STORM WATER MANAGEMENT PLAN).

Vertical text on the left margin: 10/20/2023 10:41:11 AM C:\Users\jgall@colliers.com\Desktop\1023\10230223\10230223.dwg - 2023/02/23 10:41:11 AM

GENERAL NOTES

- HORIZONTAL DATUM AND BEARINGS BASE: PENNSYLVANIA STATE PLANE COORDINATE SYSTEM; NORTH ZONE, NAD83 PER NGS OPUS SOLUTION OF GPS OBSERVATIONS.
- VERTICAL DATUM: NAVD88 PER NGS OPUS SOLUTION OF GPS OBSERVATIONS. CONTOUR INTERVAL = 1 FOOT.
- BENCHMARK: NAIL (FND) LOCATED ON THE WEST SIDE OF AIRPORT ROAD, ELEVATION = 535.47'. SEE SHEET Z-2 FOR LOCATION.
- SOILS INFORMATION TAKEN FROM WEB SOIL SURVEY.
- UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND WERE DETERMINED FROM VISIBLE LOCATION. PA ONE CALL UTILITY RESPONSES AND/OR BEST AVAILABLE PLAN INFORMATION. (COLLIERS ENGINEERING & DESIGN CANNOT GUARANTEE THE EXACT LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES. AN EXACT LOCATION CAN ONLY BE OBTAINED BY SUBSURFACE EXPLORATION, WHICH IS NOT A PART OF THIS CONTRACT PERFORMANCE).
- NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN AN AREA OF AN EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT OR CONFLICT WITH THE EASEMENT AGREEMENT.
- NOTHING EXCEPT EROSION CONTROL AND/OR STORM WATER MANAGEMENT FACILITIES SHALL BE PLACED, PLANTED, OR PUT WITHIN THE AREA OF A STORM WATER MANAGEMENT EASEMENT.
- THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITIES AT LEAST 72 HOURS PRIOR TO THE START OF ANY CONSTRUCTION. ALL UTILITIES HAVE BEEN IDENTIFIED BASED ON THE BEST AVAILABLE INFORMATION AND LISTED ON THESE PLANS IN ACCORDANCE WITH ACT 187 REQUIREMENTS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF EXISTING UTILITIES AND ALL EFFORTS SHALL BE UNDERTAKEN TO PROTECT EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. RESTORATION OF ALL EXISTING SURFACE IMPROVEMENTS DAMAGED OR ALTERED DURING CONSTRUCTION, INCLUDING LANDSCAPING, SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR. (COLLIERS ENGINEERING & DESIGN CANNOT GUARANTEE THE EXACT LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES. AN EXACT LOCATION CAN ONLY BE OBTAINED BY SUBSURFACE EXPLORATION, WHICH IS NOT A PART OF THIS CONTRACT PERFORMANCE).
- THE CONTRACTOR SHALL MAKE PROVISIONS FOR MAINTAINING THE SAFE FLOW OF TRAFFIC DURING CONSTRUCTION WITHIN THE SITE AND EXISTING ROAD RIGHT-OF-WAY WHILE ENTERING AND LEAVING THE SITE.
- ALL STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND TO THE STANDARDS OF THE MUNICIPAL ORDINANCES.
- STORMWATER FACILITIES, INCLUDING SWALES, STORM PIPING, AND APPURTENANCES SHALL BE MAINTAINED IN GOOD WORKING CONDITION BY THE DEVELOPER OR THE SUCCESSIVE LAND OWNER. SMITHFIELD TOWNSHIP SHALL HAVE THE RIGHT TO INSPECT THE FACILITIES AT ANY TIME; REQUIRE THE OWNER TO TAKE CORRECTIVE MEASURES AND ASSIGN THE OWNER REASONABLE TIME PERIODS FOR ANY NECESSARY ACTION; AUTHORIZE MAINTENANCE TO BE DONE; AND LIEN ALL COST OF THE WORK AGAINST THE PROPERTIES OF THE OWNER RESPONSIBLE FOR THE MAINTENANCE.
- SMITHFIELD TOWNSHIP SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OR MAINTENANCE OF ANY AREA NOT DEDICATED FOR THE PUBLIC USE. AS SUCH, NO AREAS ARE OFFERED FOR DEDICATION ON THIS PLAN.

CERTIFICATIONS

CERTIFICATION OF SURVEY ACCURACY

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE SMITHFIELD TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

DATE: _____

CERTIFICATION OF PLAN ACCURACY

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE PLANS ARE IN CONFORMITY WITH ENGINEERING, ZONING BUILDING, SANITATION AND OTHER APPLICABLE TOWNSHIP ORDINANCES AND REGULATIONS.

DATE: _____

STORM DRAINAGE PLAN CERTIFICATION

I HEREBY CERTIFY THAT THE DRAINAGE PLAN MEETS ALL STANDARDS AND CRITERIA OF THE BRODHEAD/MCMICHAELS WATERSHED ACT 167 PLAN AND THE SMITHFIELD TOWNSHIP STORM WATER MANAGEMENT ORDINANCE.

DATE: _____

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGEMENT OF PLAN, AND DEDICATION OWNER - RR2 AIRPORT ROAD, LLC

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF MONROE

ON THIS, THE ____ DAY OF _____, 20__ BEFORE ME, THE UNDERSIGNED OFFICER,

PERSONALLY APPEARED _____
BEING ON OF THE FIRM OF _____

_____, WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THE CORPORATION IS THE

OF THE PROPERTY SHOWN ON THIS PLAN, THAT HE/SHE IS AUTHORIZED TO EXECUTE SAID PLAN ON BEHALF OF THE CORPORATION, THAT THE PLAN IS THE ACT AND DEED OF THE CORPORATION, THAT THE CORPORATION DESIRES THE SAME TO BE RECORDED, AND ON BEHALF OF THE CORPORATION FURTHER ACKNOWLEDGES THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY DEDICATED TO THE PUBLIC USE.

(TITLE) _____

(SIGNATURE) _____

(NOTARY PUBLIC) _____

RECORDING INFORMATION

RECORDED IN THE MONROE COUNTY COURTHOUSE THIS _____

DAY OF _____, 20__ . INSTRUMENT NO. _____

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGEMENT OF PLAN, AND OF DEDICATION EQUITABLE OWNER/LESSOR - VERIZON WIRELESS

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF MONROE

ON THIS, THE ____ DAY OF _____, 20__ BEFORE ME, THE UNDERSIGNED OFFICER,

PERSONALLY APPEARED _____
BEING ON OF THE FIRM OF _____

_____, WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THE CORPORATION IS THE

OF PROPERTY SHOWN ON THIS PLAN, THAT HE/SHE IS AUTHORIZED TO EXECUTE SAID PLAN ON BEHALF OF THE CORPORATION, THAT THE PLAN IS THE ACT AND DEED OF THE CORPORATION, THAT THE CORPORATION DESIRES THE SAME TO BE RECORDED ACCORDING TO LAW.

(TITLE) _____

(SIGNATURE) _____

(NOTARY PUBLIC) _____

SMITHFIELD TOWNSHIP PLANNING COMMISSION REVIEW CERTIFICATION

AT A MEETING ON _____, 20__, THE SMITHFIELD TOWNSHIP PLANNING COMMISSION REVIEWED THIS PLAN.

*
*SIGNATURE OF THE DIRECTOR OF PLANNING _____

SMITHFIELD TOWNSHIP'S BOARD OF SUPERVISORS FINAL PLAN APPROVAL CERTIFICATE

AT A MEETING ON _____, THE SMITHFIELD TOWNSHIP BOARD OF SUPERVISORS APPROVED THIS PROJECT, INCLUDING THE COMPLETE SET OF PLANS AND INFORMATION WHICH ARE FILED WITH THE SUPERVISORS IN FILE NO. _____, BASED UPON ITS CONFORMITY WITH THE STANDARDS OF THE SMITHFIELD TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

MONROE COUNTY PLANNING COMMISSION

THIS PLAN REVIEWED BY THE MONROE COUNTY PLANNING COMMISSION.

COUNTY REVIEWER _____ DATE _____

SMITHFIELD TOWNSHIP ENGINEER _____
THIS PLAN REVIEWED BY THE SMITHFIELD TOWNSHIP ENGINEER.

TOWNSHIP ENGINEER _____ DATE _____

OWNER ACKNOWLEDGEMENT

I ACKNOWLEDGE THAT, THE STORMWATER MANAGEMENT SYSTEM AND ANY PERMANENT STORMWATER BMP REQUIRED BY AN APPROVED BMP OPERATIONS AND MAINTENANCE PLAN TO BE A PERMANENT FIXTURE THAT CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL OF A REVISED PLAN BY SMITHFIELD TOWNSHIP AND THAT ANY REVISION TO THE APPROVED DRAINAGE PLAN MUST BE APPROVED BY THE TOWNSHIP AND THAT A REVISED EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO THE CONSERVATION DISTRICT FOR A DETERMINATION OF ADEQUACY.

(DATE) _____ (OWNER SIGNATURE) _____

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NORTHEAST PENNSYLVANIA
SMSA LIMITED PARTNERSHIP
d/b/a VERIZON WIRELESS

512 TOWNSHIP LINE ROAD
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REV	DATE	DESCRIPTION	DRAWN BY	CHECKED BY
D	02/07/23	ISSUE FOR REVIEW	FAC	MEG
A	01/20/23	ISSUE FOR REVIEW	FAC	MEG


Peter Michael Albano
PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER
LICENSE NUMBER: PE092542
COLLIERS ENGINEERING & DESIGN, INC.

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SITE NAME:

NEP MAGICK CAULDRON
119 AIRPORT ROAD
EAST STROUDSBURG, PA 18301
MONROE COUNTY

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ALLENTOWN
941 Marcon Blvd #801
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Phone: 610.368.4201
COLLIERS ENGINEERING & DESIGN, INC.
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SHEET TITLE: GENERAL NOTES AND CERTIFICATIONS

SHEET NUMBER: GN-1

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



**NORTHEAST PENNSYLVANIA
SMSA LIMITED PARTNERSHIP
d/b/a VERIZON WIRELESS**

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D	02/07/23	ISSUE FOR REVIEW	FAC	MEG
A	01/20/23	ISSUE FOR REVIEW	FAC	MEG

Peter Michael Albano
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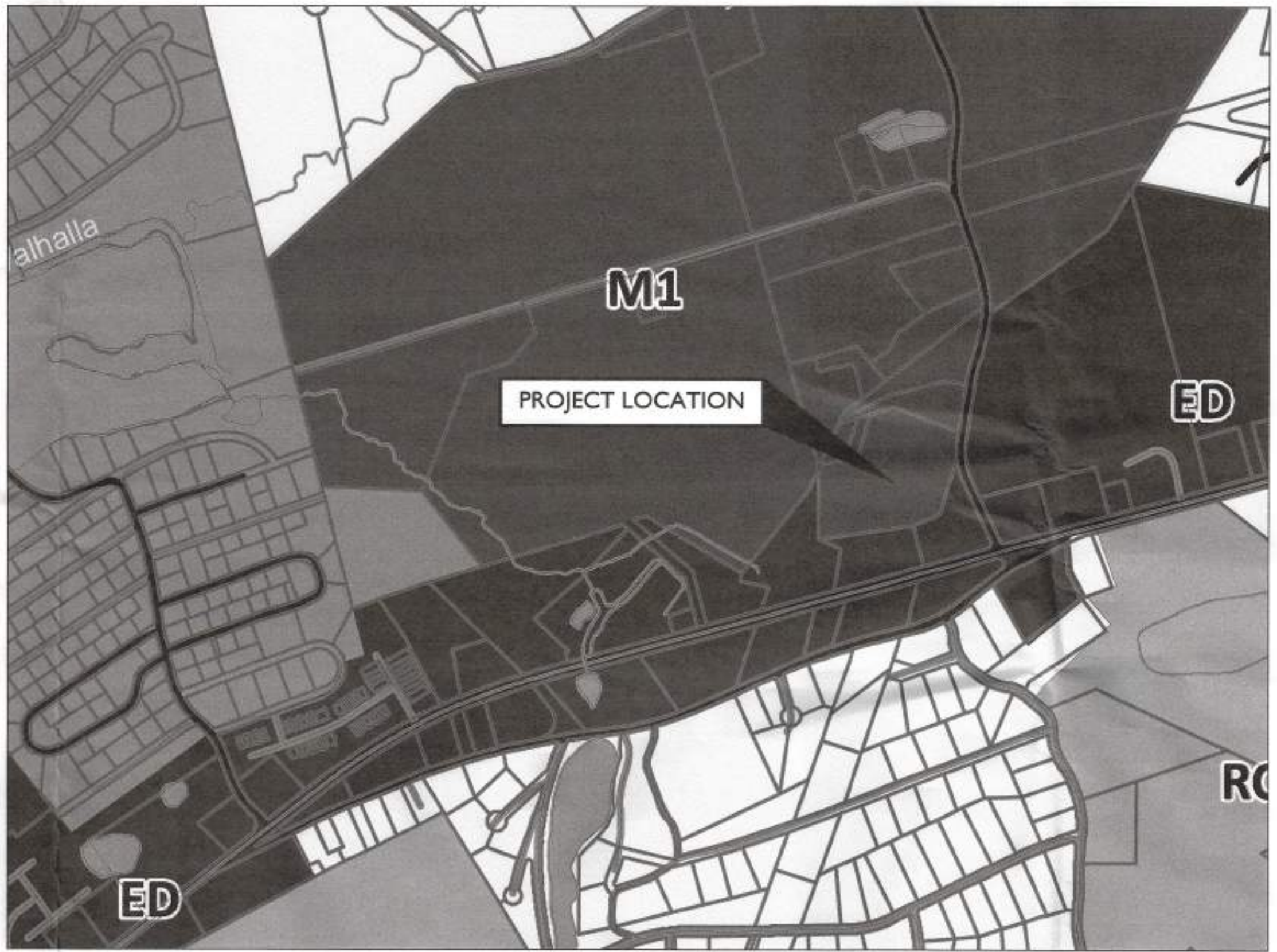
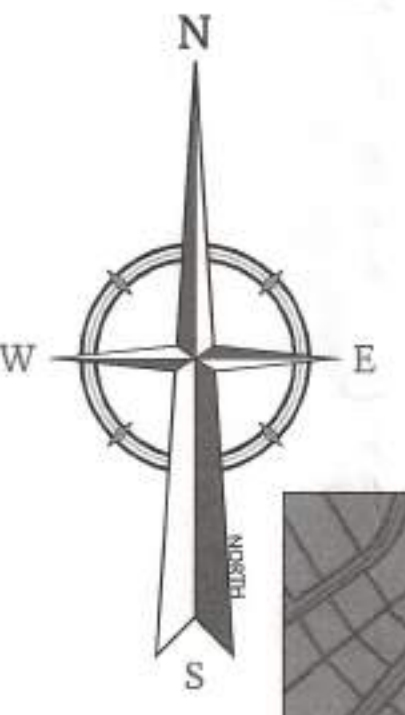
Colliers
Engineering & Design
ALLENTOWN
941 Marzon Blvd #801
Allentown, PA 18109
Phone: 610.868.4201
COLLIERS ENGINEERING & DESIGN, INC.
DOING BUSINESS AS MASER CONSULTING

SHEET TITLE:
ZONING INFORMATION

SHEET NUMBER:
Z-1



TAX MAP
SCALE: 1" = 300' FOR 22"X34"
(SCALE: 1" = 600' FOR 11"X17")



Zoning Districts

- ED - Economic Development
- M1 - Industrial
- R1 - Low-Density Residential
- R2 - Medium Density Residential
- RC - Residential Conservation
- RE - Resort

ZONING MAP
SCALE: 1" = 500' FOR 22"X34"
(SCALE: 1" = 1000' FOR 11"X17")

SITE NOTES

WOODLANDS

AREA OF EXISTING WOODLANDS: 3.38 ACRES
 DISTURBANCE OF EXISTING WOODLANDS: 0.32 ACRES

SOILS CLASSIFICATION

BeC: BENSON-ROCK OUTCROP COMPLEX, 8-25% SLOPES HYDROLOGIC SOIL GROUP: D

Ms: MUCKY PEAT, SHALLOW HYDROLOGIC SOIL GROUP: B/D

ACT 187

AS REFERENCED WITHIN THE DRAWINGS PREPARED BY RETTEW ASSOCIATES, INC. LATEST DATED 11/16/2020.

RETTEW ASSOCIATES, INC. HEREBY STATES THAT, PURSUANT TO THE PROVISIONS OF ACT NO. 287 OF 1974, AS AMENDED BY ACT 187 OF 1996, OF THE PENNSYLVANIA LEGISLATURE, IT HAS PERFORMED THE FOLLOWING IN PREPARING THESE DRAWINGS REQUIRING EXCAVATION OR DEMOLITION WORK AT SITES WITHIN THE POLITICAL SUBDIVISION(S) SHOWN ON THE DRAWINGS:

- PURSUANT TO SECTION 4, CLAUSE (2) OF SAID ACT, RETTEW ASSOCIATES, INC. REQUESTED FROM EACH USER'S OFFICE DESIGNATED ON SUCH LIST PROVIDED BY THE ONE CALL SYSTEM NOTIFICATION, THE INFORMATION PRESCRIBED BY SECTION 2, CLAUSE (4) OF SAID ACT, NOT LESS THAN (10) NOR MORE THAN (90) WORKING DAYS BEFORE FINAL DESIGN IS TO BE COMPLETED.
- PURSUANT TO SECTION 4, CLAUSE (5) OF SAID ACT, RETTEW ASSOCIATES, INC. HAS MET THEIR OBLIGATIONS OF CLAUSE (2) BY CALLING THE ONE CALL SYSTEM SERVING THE LOCATION WHERE EXCAVATION IS TO BE PERFORMED.
- PURSUANT TO SECTION 4, CLAUSE (3) OF SAID ACT, RETTEW ASSOCIATES, INC. HAS SHOWN UPON THESE DRAWINGS THE POSITION AND TYPE OF EACH LINE, AS DERIVED PURSUANT TO THE REQUEST MADE AS REQUIRED BY CLAUSE (2), THE SERIAL NUMBER PROVIDED BY THE ONE CALL SYSTEM, THE TOLL-FREE ONE CALL SYSTEM PHONE NUMBER, AND THE NAME OF THE USER, THE USER'S DESIGNATED OFFICE ADDRESS AND PHONE NUMBER AS SHOWN ON THE LIST REFERRED TO IN SECTION 4, CLAUSE (5) OF SAID ACT.

AND RETTEW ASSOCIATES, INC. DOES NOT MAKE ANY REPRESENTATION WARRANTY, ASSURANCE OR GUARANTEE THAT THE INFORMATION RECEIVED PURSUANT TO SAID REQUEST AND AS REFLECTED ON THESE DRAWINGS IS CORRECT OR ACCURATE, BUT RETTEW ASSOCIATES, INC. IS REFLECTING SAID INFORMATION ON THESE DRAWINGS ONLY DUE TO THE REQUIREMENTS OF THE SAID ACT NO. 187 OF DECEMBER 19, 1996.

ONE CALL SYSTEM SERIAL NO. NOTIFICATION BY RETTEW ASSOCIATES, INC.

DATE: APRIL 1, 2020

ONE CALL SYSTEM SERIAL NUMBER: 20200921767

WATER & SEWER NOTE

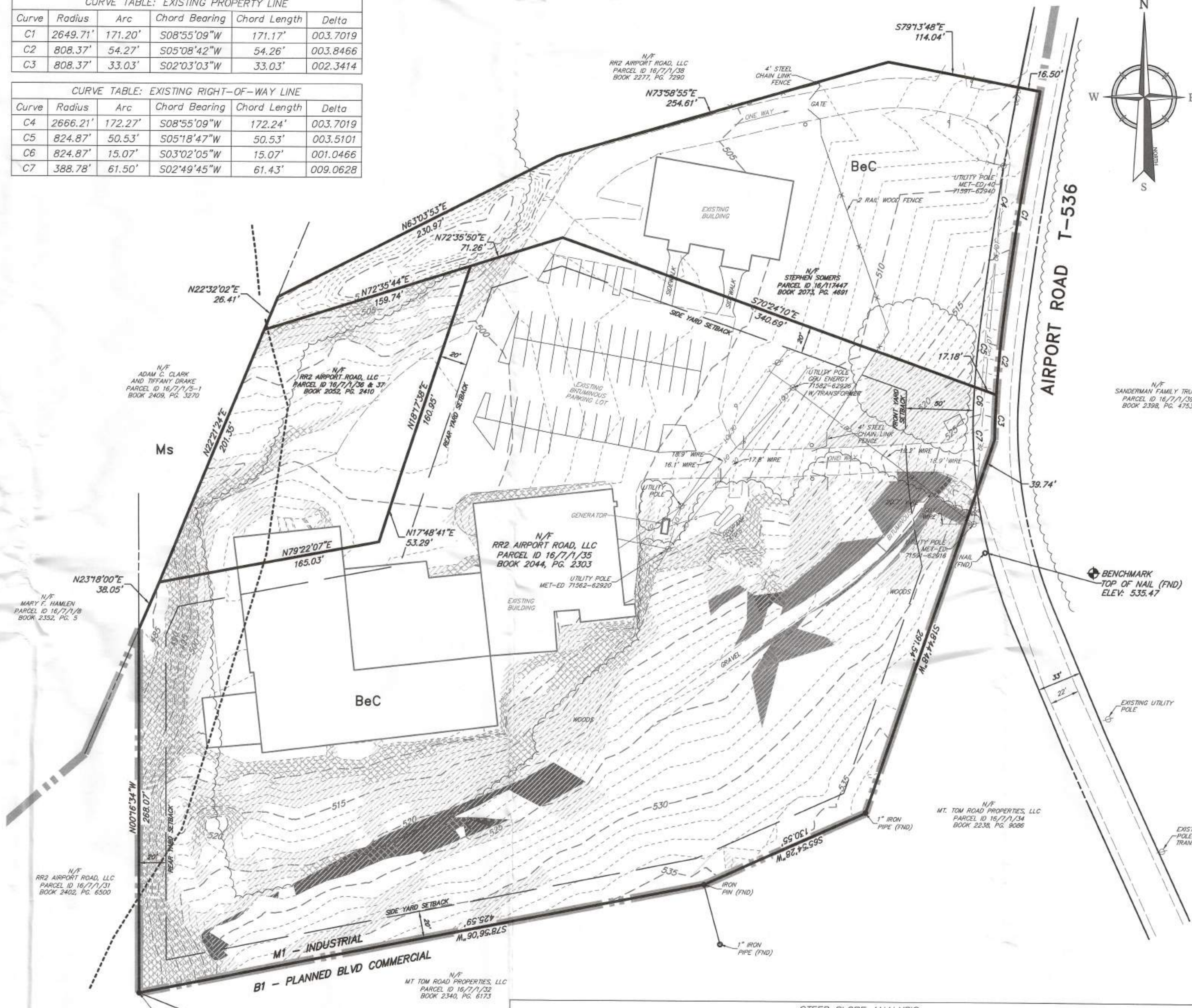
NO EXISTING WATER OR SEWER SERVICES WHERE FOUND IN THE VICINITY OF THE PROPOSED ACCESS DRIVE OR COMPOUND DURING THE FIELD SURVEY. PRIOR TO THE START OF CONSTRUCTION, THE CONSTRUCTION TEAM SHALL PLACE A DIG PA ONE-CALL TO HAVE ALL UTILITIES LOCATED TO ENSURE THAT NO INTERRUPTION OF ANY SERVICE WILL OCCUR DUE TO CONSTRUCTION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.

LEGEND

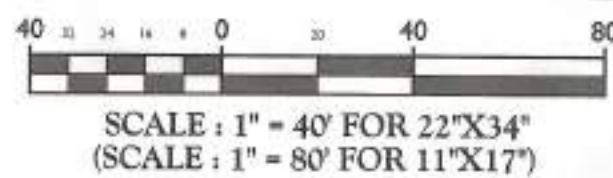
- Existing Subject Property Line
- Existing Right of Way
- Existing Edge of Gravel Road
- Existing Structure
- Existing Tree Line
- Existing Overhead Wire Line
- Existing Fence Line
- Existing Features
- Zoning Boundary
- Setback Line
- LINE OF DISTURBANCE

CURVE TABLE: EXISTING PROPERTY LINE					
Curve	Radius	Arc	Chord Bearing	Chord Length	Delta
C1	2649.71'	171.20'	S08°55'09"W	171.17'	003.7019
C2	808.37'	54.27'	S05°08'42"W	54.26'	003.8466
C3	808.37'	33.03'	S02°03'03"W	33.03'	002.3414

CURVE TABLE: EXISTING RIGHT-OF-WAY LINE					
Curve	Radius	Arc	Chord Bearing	Chord Length	Delta
C4	2666.21'	172.27'	S08°55'09"W	172.24'	003.7019
C5	824.87'	50.53'	S05°18'47"W	50.53'	003.5101
C6	824.87'	15.07'	S03°02'05"W	15.07'	001.0466
C7	388.78'	61.50'	S02°49'45"W	61.43'	009.0628



EXISTING CONDITIONS PLAN



STEEP SLOPE ANALYSIS						
HATCH LEGEND	STEEP SLOPE CATEGORY	SLOPE PERCENT	ALLOWABLE MAXIMUM AREA OF DISTURBANCE	TOTAL SLOPE AREA ON PROPERTY	PROPOSED DISTURBANCE IMPACT (AREA)	DISTURBANCE IMPACT (PERCENT)
	MODERATELY STEEP SLOPE	15%-25%	60%	40,311 S.F.	8,104 S.F.	20.10%
	VERY STEEP SLOPE	25% OR GREATER	10%	18,457 S.F.	1,321.8 S.F.	7.15%
	DISTURBANCE IMPACT					

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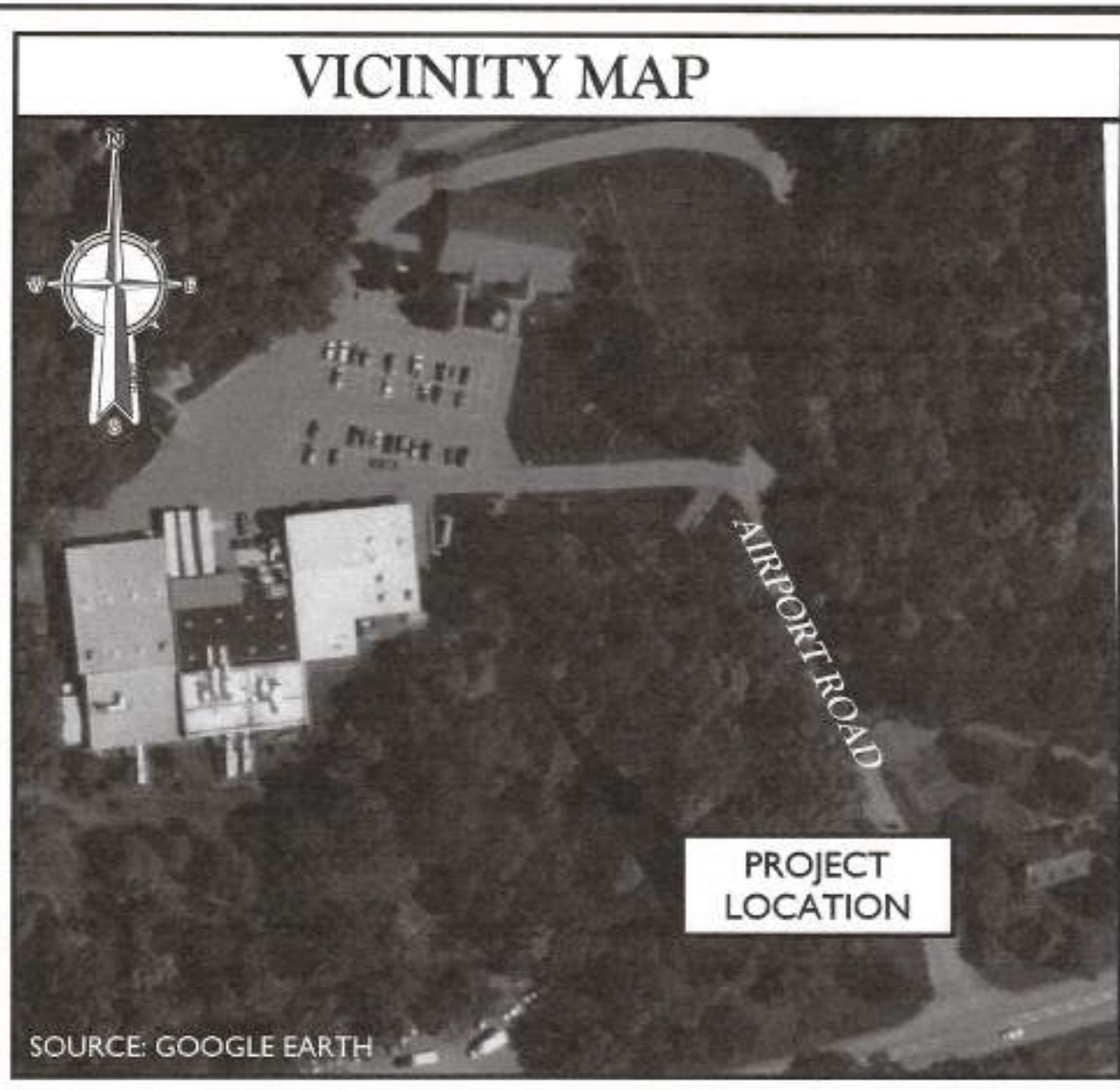
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SHEET TITLE:
EXISTING CONDITIONS PLAN

SHEET NUMBER:
Z-2



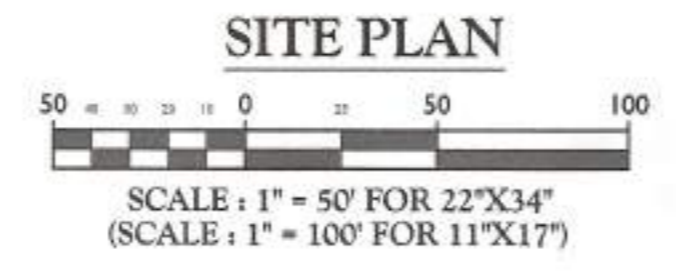
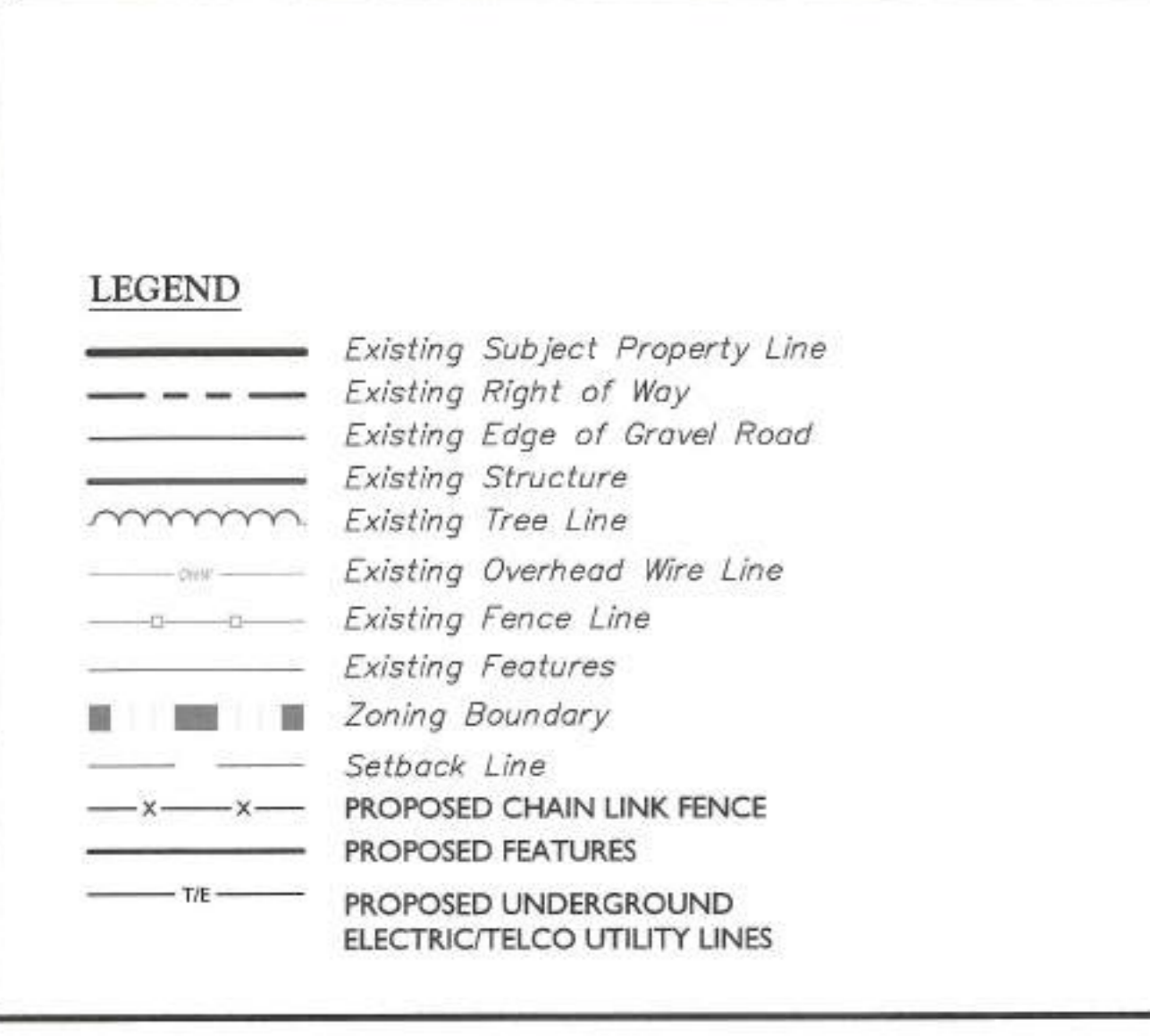
CURVE TABLE: EXISTING PROPERTY LINE

Curve	Radius	Arc	Chord Bearing	Chord Length	Delta
C1	2649.71'	171.20'	S08°55'09"W	171.17'	003.7019
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C3	808.37'	33.03'	S02°03'03"W	33.03'	002.3414

CURVE TABLE: EXISTING RIGHT-OF-WAY LINE

Curve	Radius	Arc	Chord Bearing	Chord Length	Delta
C4	2666.21'	172.27'	S08°55'09"W	172.24'	003.7019
C5	824.87'	50.53'	S05°18'47"W	50.53'	003.5101
C6	824.87'	15.07'	S03°02'05"W	15.07'	001.0466
C7	388.78'	61.50'	S02°49'45"W	61.43'	009.0628

- ### SITE NOTES
- THIS PROPOSAL IS FOR AN UNMANNED TELECOMMUNICATIONS FACILITY CONSISTING OF THE PLACEMENT OF PANEL ANTENNAS ON A PROPOSED MONOPOLE AND EQUIPMENT CABINETS ON A PROPOSED CONCRETE PAD, AN OUTDOOR STANDBY GENERATOR AND ASSOCIATED APPURTENANCES WITHIN A PROPOSED FENCED COMPOUND.
 - EXTERIOR SIGNS ARE NOT PROPOSED EXCEPT AS REQUIRED BY THE FCC.
 - DISTURBANCE UNDER THIS PROPOSAL:
TOTAL AREA OF DISTURBANCE - 22,844 ± S.F.
 - RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
 - CONTRACTOR SHALL CONTACT STATE SPECIFIC ONE CALL SYSTEM THREE WORKING DAYS PRIOR TO ANY EARTH MOVING ACTIVITIES.
 - POWER TO THE FACILITY WILL BE MONITORED BY A SEPARATE METER.
 - SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS & INSPECTIONS REQUIRED FOR CONSTRUCTION.
 - SUBCONTRACTOR SHALL DETERMINE EXACT ROUTE OF ANY UNDERGROUND CONDUIT, IF REQUIRED.
 - THIS PROJECT WILL NOT REQUIRE STREETS OR PROPERTY TO BE DEDICATED FOR PUBLIC USE.
 - THIS PROJECT WILL NOT REQUIRE PERMANENT MONUMENTS.
 - ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAPS OF MONROE COUNTY, PA (ALL JURISDICTIONS), MAP NUMBER 42089C0292E DATED 05/02/2013, ALL PROPOSED IMPROVEMENTS ARE LOCATED WITHIN ZONE X - AREA OF MINIMAL FLOOD HAZARD.
 - THE PROPOSED INSTALLATION WILL GENERATE ONE (1) VEHICLE TRIP FOR ROUTINE MAINTENANCE EVERY FOUR (4) TO SIX (6) WEEKS.



BULK STANDARDS FOR M1-INDUSTRIAL

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	40,000 S.F.	226,011 S.F.	NO CHANGE
MAXIMUM BUILDING COVERAGE	35%	15.56% (35,163 S.F.)	15.56% (35,163 S.F.)
MAXIMUM IMPERVIOUS COVERAGE	70%	36% (82,060 S.F.)	46% (104,904 S.F.)
MINIMUM LOT WIDTH	150 FEET	76.56 FEET (AT R.O.W.)	NO CHANGE
MINIMUM LOT DEPTH	200 FEET	628 FEET (FROM R.O.W.)	NO CHANGE
			EQUIPMENT MONOPOLE
MINIMUM FRONT YARD SETBACK	50 FEET	292 FEET	242± FEET 264± FEET
MINIMUM SIDE YARD SETBACK	20 FEET	0 FEET	100± FEET 130± FEET
MINIMUM REAR YARD SETBACK	20 FEET	47 FEET	257± FEET 267± FEET
MAXIMUM BUILDING HEIGHT	35 FEET	<35FT	10± FEET

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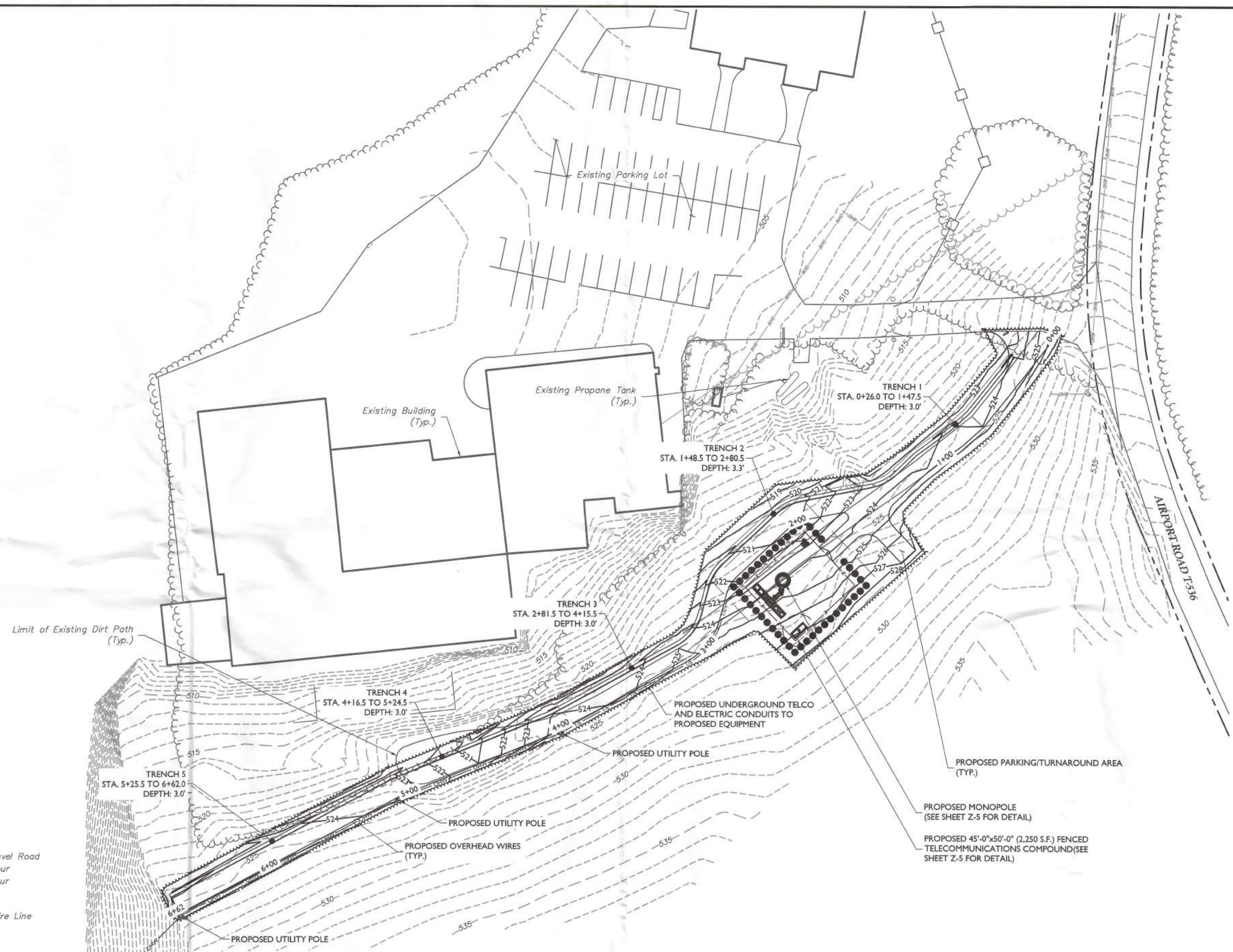
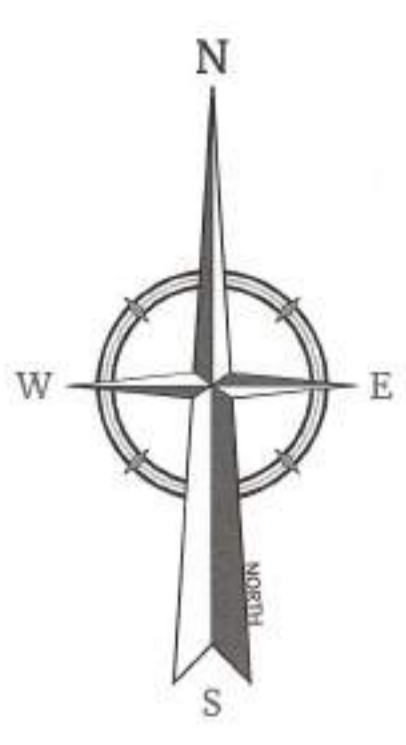
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SHEET TITLE:
SITE PLAN AND SITE NOTES

SHEET NUMBER:
Z-3

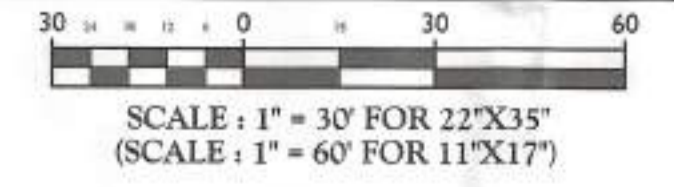
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LEGEND

---	Existing Edge of Gravel Road
---	Existing Major Contour
---	Existing Minor Contour
---	Existing Features
---	Existing Tree Line
---	Existing Overhead Wire Line
---	Existing Fence Line
---	Zoning Boundary
---	Setback Line
-x-x-	PROPOSED CHAIN LINK FENCE
---	PROPOSED FEATURES
---	PROPOSED UNDERGROUND ELECTRIC/TELCO UTILITY LINES
---	LINE OF DISTURBANCE
---	PROPOSED MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR

GRADING AND STORM WATER PLAN



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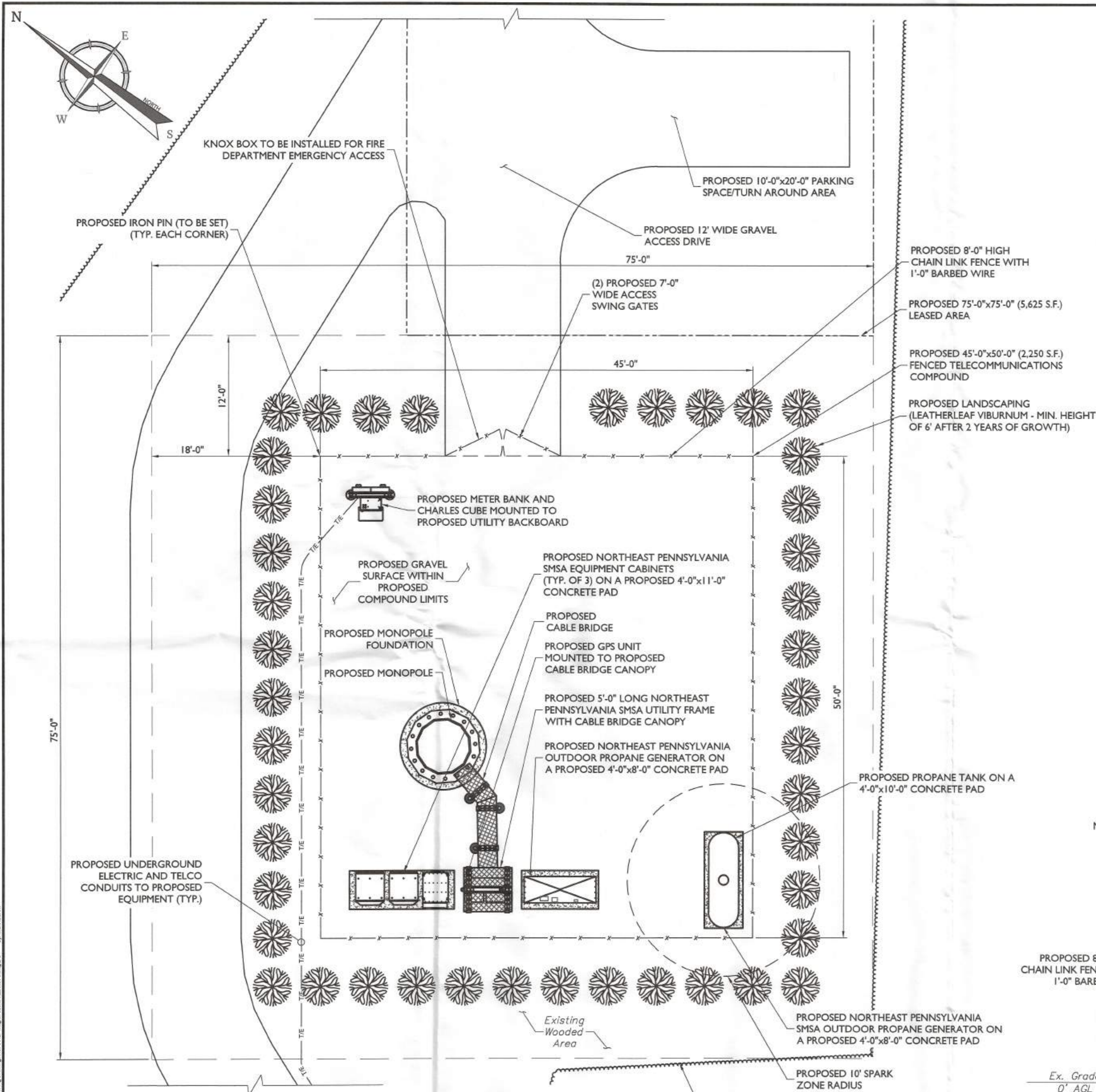
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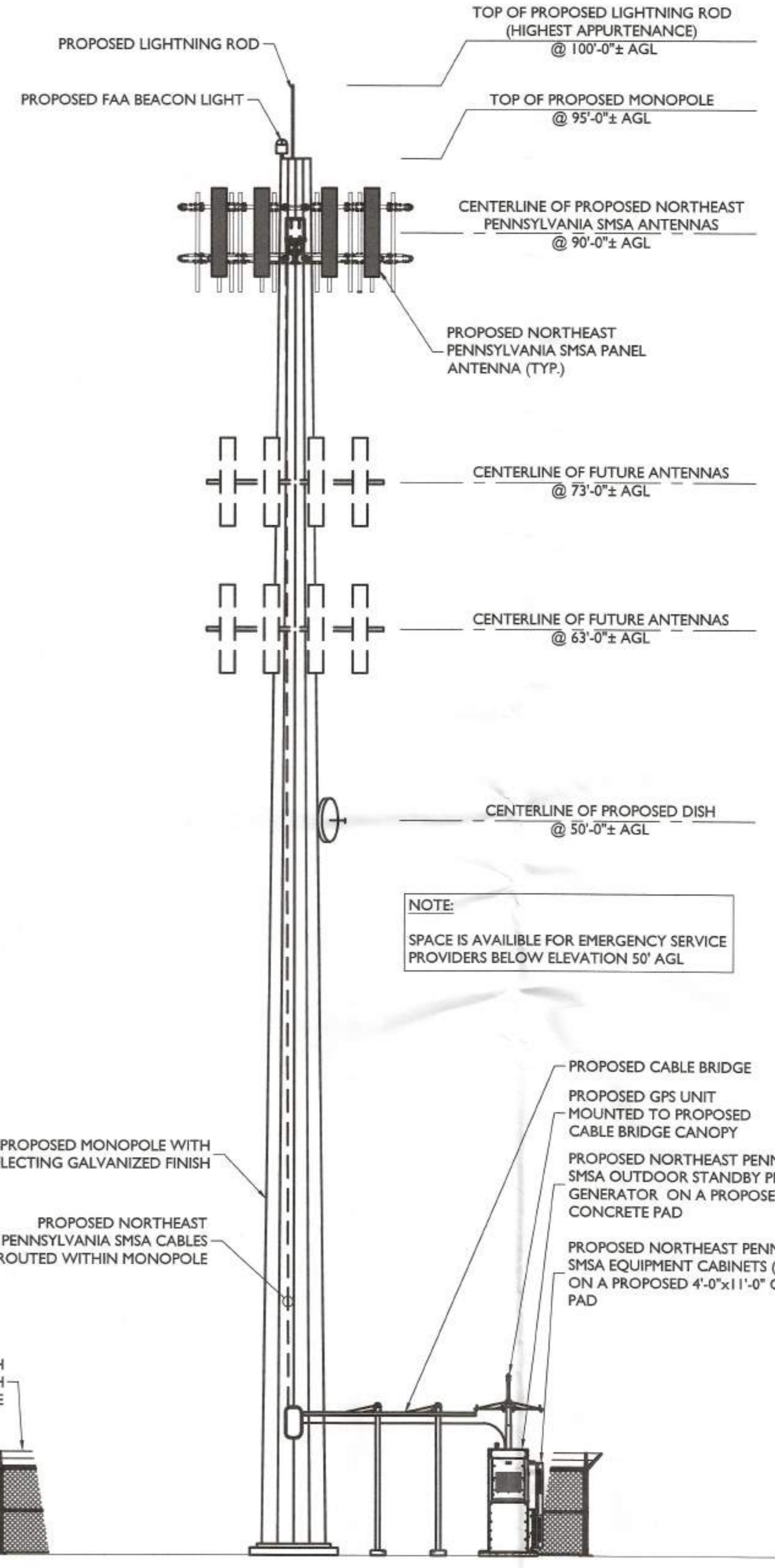
SHEET TITLE:
GRADING AND STORM WATER PLAN

SHEET NUMBER:
Z-4

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



COMPOUND PLAN
 SCALE: 1" = 6' FOR 22"X34"
 (SCALE: 1" = 12' FOR 11"X17")



ELEVATION PLAN VIEW
 SCALE: 1" = 6' FOR 22"X34"
 (SCALE: 1" = 12' FOR 11"X17")

NOTE:
 SPACE IS AVAILABLE FOR EMERGENCY SERVICE PROVIDERS BELOW ELEVATION 50' AGL



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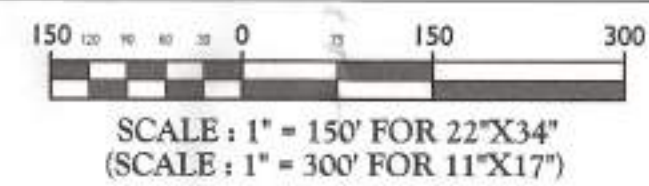
COMPOUND PLAN AND ELEVATION VIEW

Z-5



- LEGEND**
- Existing Subject Property Line
 - - - Existing Right of Way
 - Existing Edge of Gravel Road
 - Existing Structure
 - Existing Tree Line
 - Existing Overhead Wire Line
 - Existing Fence Line
 - Existing Features
 - - - Zoning Boundary
 - Setback Line
 - x-x- PROPOSED CHAIN LINK FENCE
 - PROPOSED FEATURES
 - TIE- PROPOSED UNDERGROUND ELECTRIC/TELCO UTILITY LINES

AERIAL SITE CONTEXT MAP



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SHEET TITLE:
AERIAL SITE CONTEXT MAP

SHEET NUMBER:
Z-6

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

CURVE TABLE: EXISTING PROPERTY LINE					
Curve	Radius	Arc	Chord Bearing	Chord Length	Delta
C1	2649.71'	171.20'	S08°55'09"W	171.17'	003.7019
C2	808.37'	54.27'	S05°08'42"W	54.26'	003.8466
C3	808.37'	33.03'	S02°03'03"W	33.03'	002.3414

CURVE TABLE: EXISTING RIGHT-OF-WAY LINE					
Curve	Radius	Arc	Chord Bearing	Chord Length	Delta
C4	2666.21'	172.27'	S08°55'09"W	172.24'	003.7019
C5	824.87'	50.53'	S05°18'47"W	50.53'	003.5101
C6	824.87'	15.07'	S03°02'05"W	15.07'	001.0466
C7	388.78'	61.50'	S02°49'45"W	61.43'	009.0628

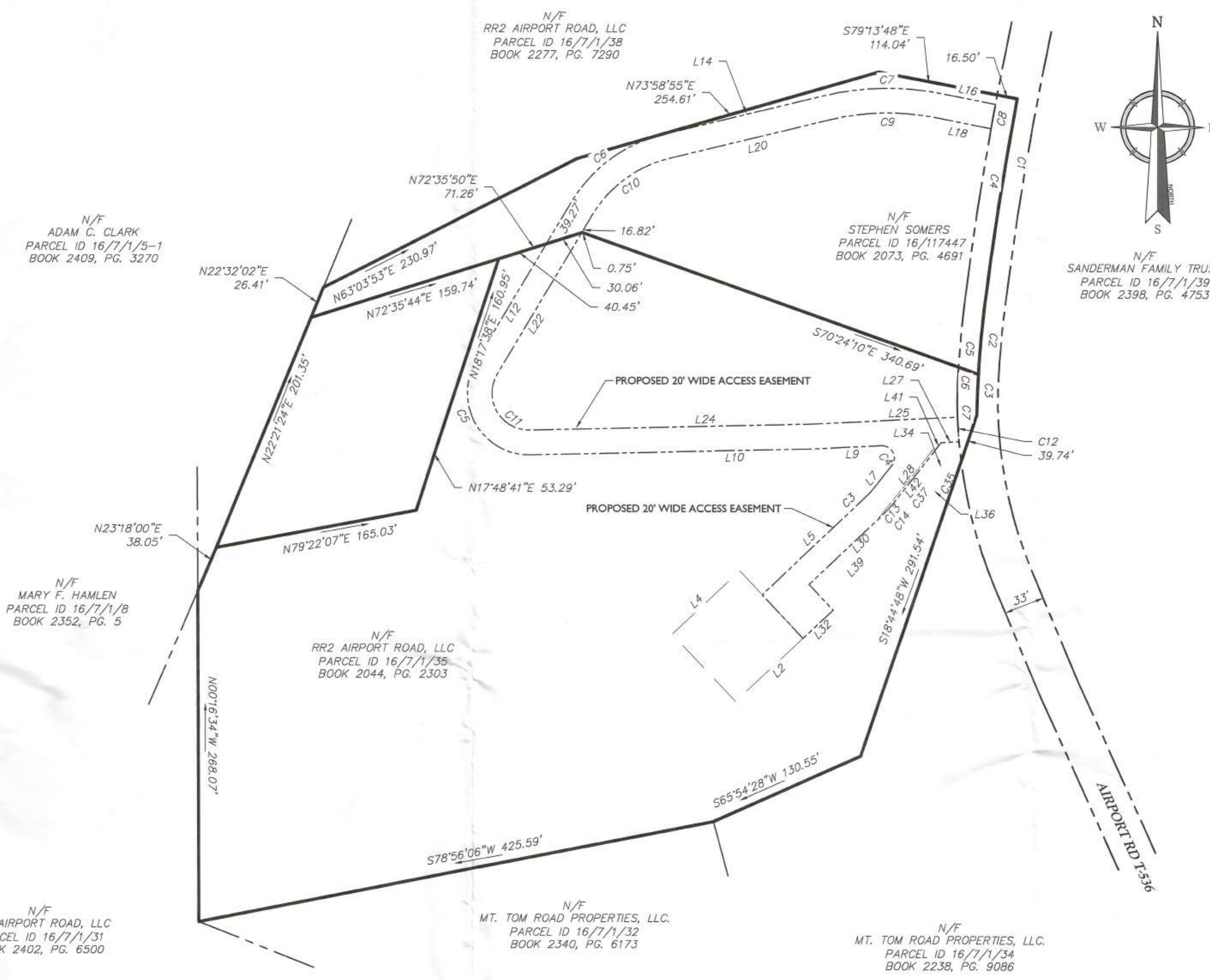
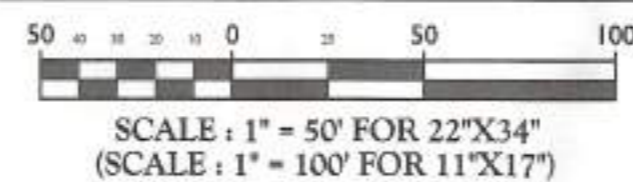
CURVE TABLE: EXISTING RIGHT-OF-WAY LINE					
Curve	Radius	Delta	Arc	Bearing	Chord
C3	96.00'	8°36'12"	14.42'	N42°27'16"E	14.40'
C4	10.00'	131°01'05"	22.87'	N27°21'23"W	18.20'
C5	50.00'	122°10'31"	106.62'	N30°11'28"W	87.54'
C6	120.00'	45°30'57"	95.33'	N53°39'16"E	92.84'
C7	220.0'	24°35'25"	94.42'	N88°42'27"E	93.70'
C8	220.00'	0°25'47"	20.00'	S10°23'22"W	20.00'
C9	2666.21'	24°35'25"	85.84'	S88°42'27"W	85.18'
C10	200.00'	45°30'57"	79.44'	S53°39'16"W	77.37'
C11	30.00'	122°10'31"	63.97'	S30°11'28"E	52.52'
C12	388.77'	2°56'53"	20.00'	S3°30'44"E	20.00'
C13	116.00'	8°36'13"	17.42'	S42°27'16"W	17.40'
C14	126.00'	8°36'13"	18.92'	S42°27'16"W	18.90'
C15	1991.46'	0°13'19"	7.72'	S10°41'48"	7.72'
C16	388.78'	3°44'25"	25.38'	S0°10'05"E	25.37'
C17	824.87'	1°02'48"	15.07'	S3°02'05"W	15.07'

LINE TABLE: LEASE AREA		
Line #	Direction	Length
L1	S43°14'37.63"W	75.00'
L2	S46°14'22.37"W	75.00'
L3	S43°14'37.63"W	75.00'
L4	S46°45'22.37"W	75.00'

LINE TABLE: EASEMENTS		
Line #	Direction	Length
L5	N46°45'22.37"E	112.45'
L7	N38°09'09.75"E	21.18'
L9	S87°08'05.01"W	57.01'
L10	S88°43'16.97"W	227.82'
L12	N30°53'47.47"E	150.09'
L14	N76°24'44.92"E	134.17'
L16	S78°59'50.00"E	45.94'
L18	S78°59'50.01"W	46.15'
L20	S76°24'44.92"W	134.17'
L22	S30°53'47.47"W	150.09'
L24	N88°43'16.97"E	227.54'
L25	N87°08'5.01"E	119.44'
L27	S87°08'5.01"W	14.47'
L28	S38°09'9.75"W	60.53'
L30	S46°45'22.37"W	78.95'
L31	S43°14'37.63"W	28.50'
L32	S46°45'22.37"W	33.50'
L33	S43°14'37.63"W	48.50'
L34	S64°42'12.20"W	26.43'
L35	N18°44'48.30"E	20.13'
L36	S64°42'12.30"W	23.03'
L37	S38°09'9.75"W	24.21'
L39	S49°45'22.37"W	78.95'
L40	N43°14'37.63"W	10.00'
L41	N38°09'9.75"E	18.09'
L42	N38°09'9.75"E	42.45'

- LEGEND**
- Existing Subject Property Line
 - - - Existing Right of Way
 - Existing Edge of Gravel Road
 - Existing Features
 - · - · - Zoning Boundary
 - Setback Line

LEASE AND EASEMENT DESCRIPTIONS



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LICENSE NUMBER: PE092542
COLLIERS ENGINEERING & DESIGN, INC.

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SITE NAME:
NEP MAGICK CAULDRON
119 AIRPORT ROAD
EAST STROUDSBURG, PA 18301
MONROE COUNTY

Colliers Engineering & Design
ALLENTOWN
941 Marcon Blvd #801
Allentown, PA 18109
Phone: 610.868.4201
COLLIERS ENGINEERING & DESIGN, INC.
DOING BUSINESS AS MASER CONSULTING

SHEET TITLE:
LEASE AND EASEMENT DESCRIPTIONS

SHEET NUMBER:
Z-7

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

REV	DATE	DESCRIPTION	DRAWN BY	CHECKED BY
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A	01/20/23	ISSUE FOR REVIEW	FAC	MEG

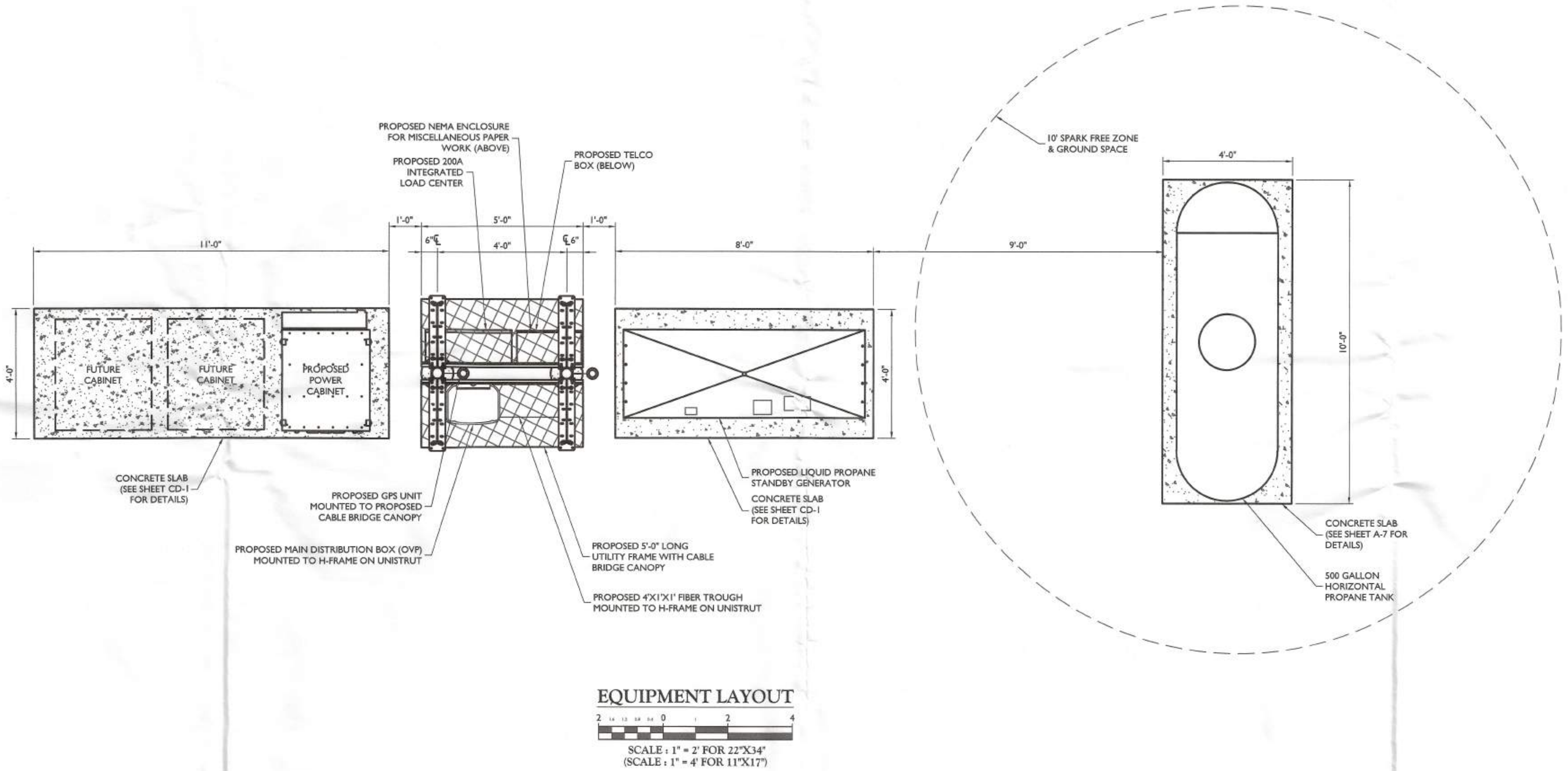
SITE NAME:

NEP MAGICK CAULDRON
119 AIRPORT ROAD
EAST STROUDSBURG, PA 18301
MONROE COUNTY

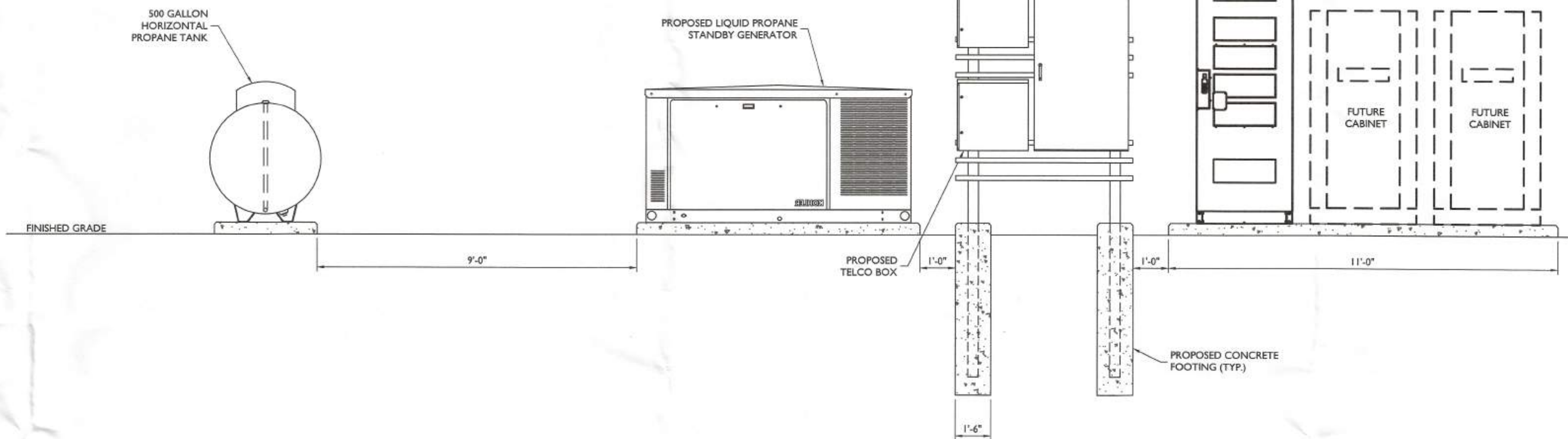
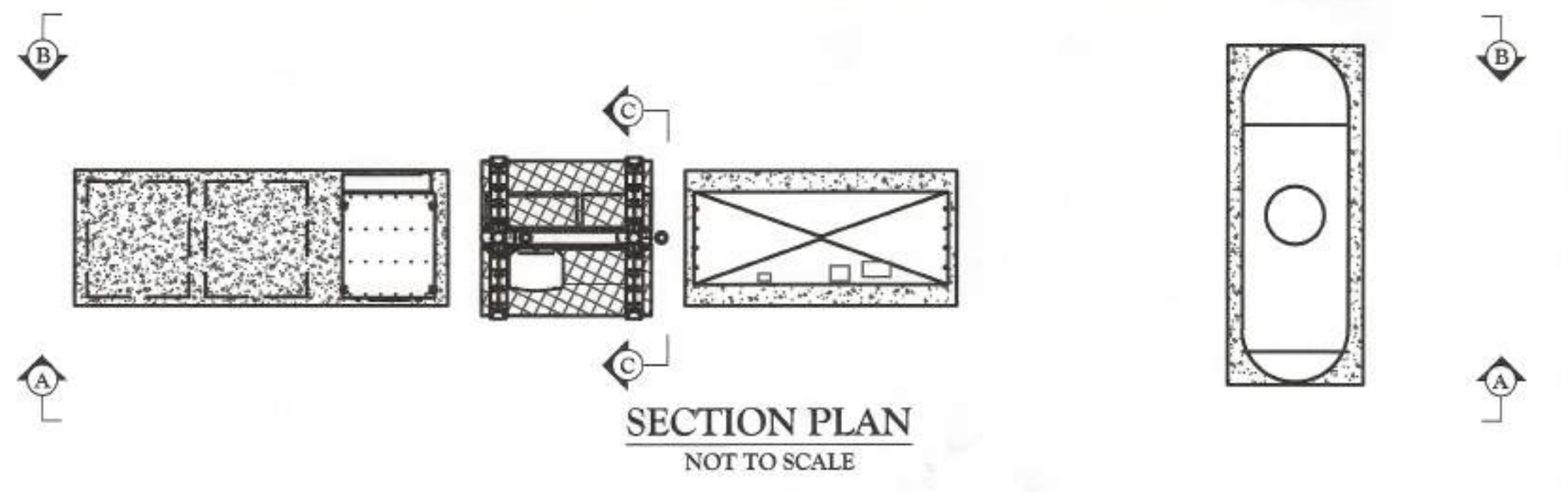
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CONSTRUCTION DETAILS

SHEET NUMBER:
A-1

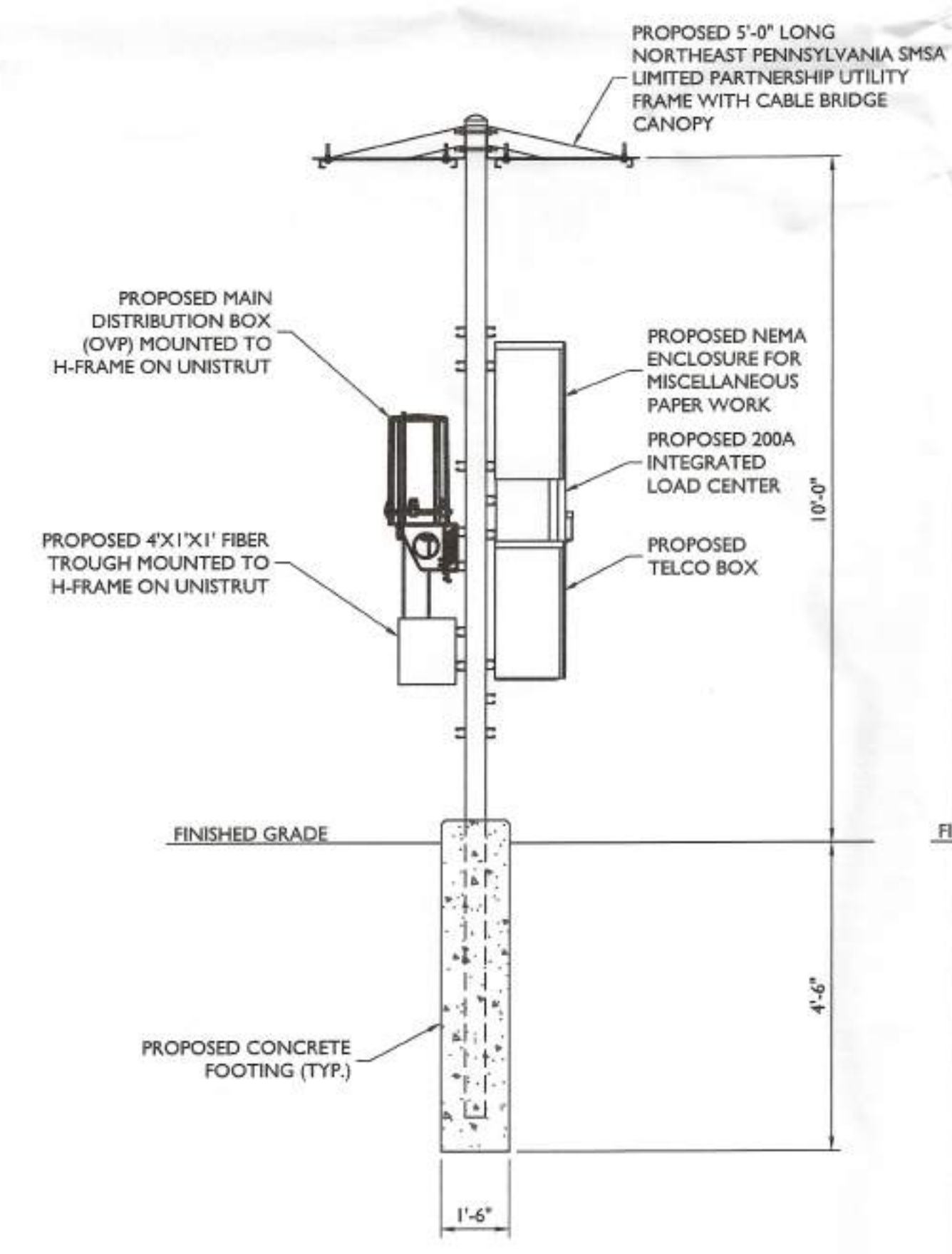
NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



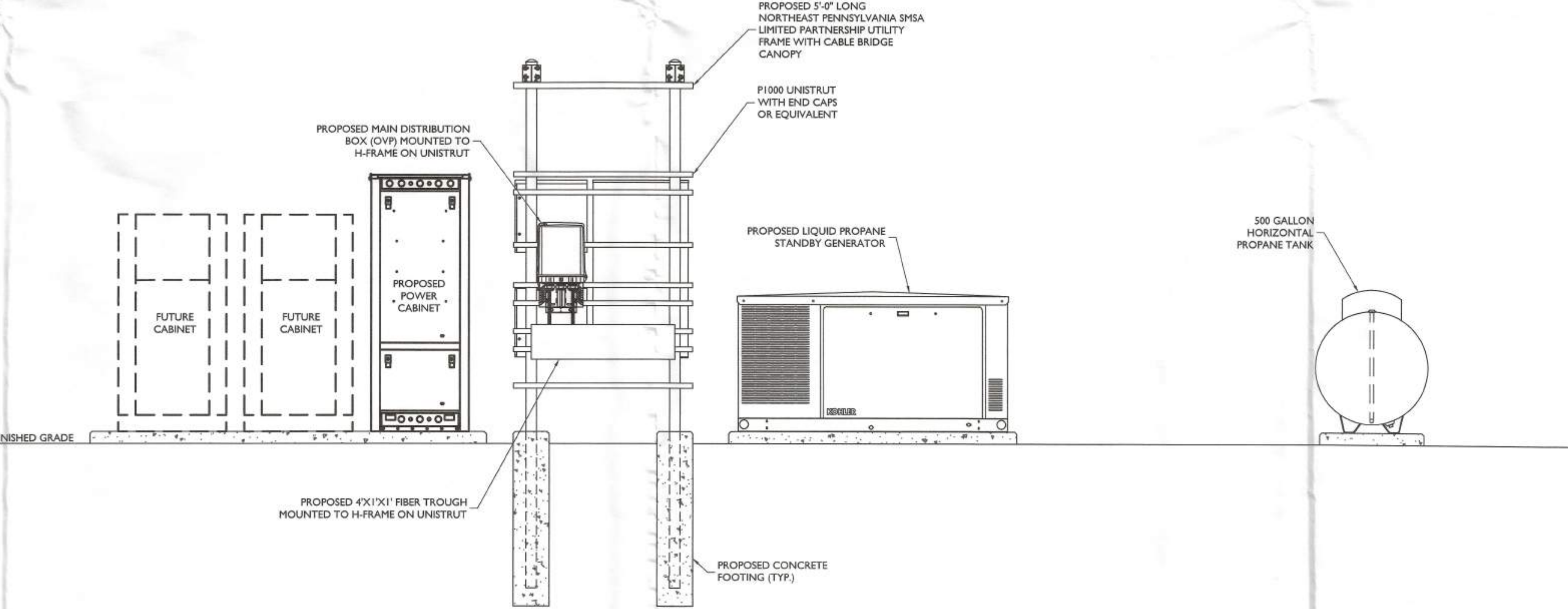
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SECTION B-B

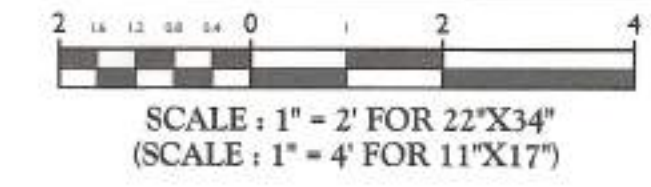


SECTION CC



SECTION A-A

EQUIPMENT SECTION VIEW



NORTHEAST PENNSYLVANIA SMSA LIMITED PARTNERSHIP
d/b/a VERIZON WIRELESS

512 TOWNSHIP LINE ROAD
BUILDING 2, FLOOR 3
BLUE BELL, PA 19422

811 PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE.
Know what's below. Call before you dig.
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

SCALE:	AS SHOWN	JOB NUMBER:	22960030A
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A	01/20/23	ISSUE FOR REVIEW	FAC	MEG

Peter Michael Albano
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119 AIRPORT ROAD
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MONROE COUNTY

Colliers Engineering & Design
ALLENTOWN
941 Marcon Blvd #601
Allentown, PA 18109
PHONE: 610.358.4201
COLLIERS ENGINEERING & DESIGN, INC.
DOING BUSINESS AS MASER CONSULTING

CONSTRUCTION DETAILS

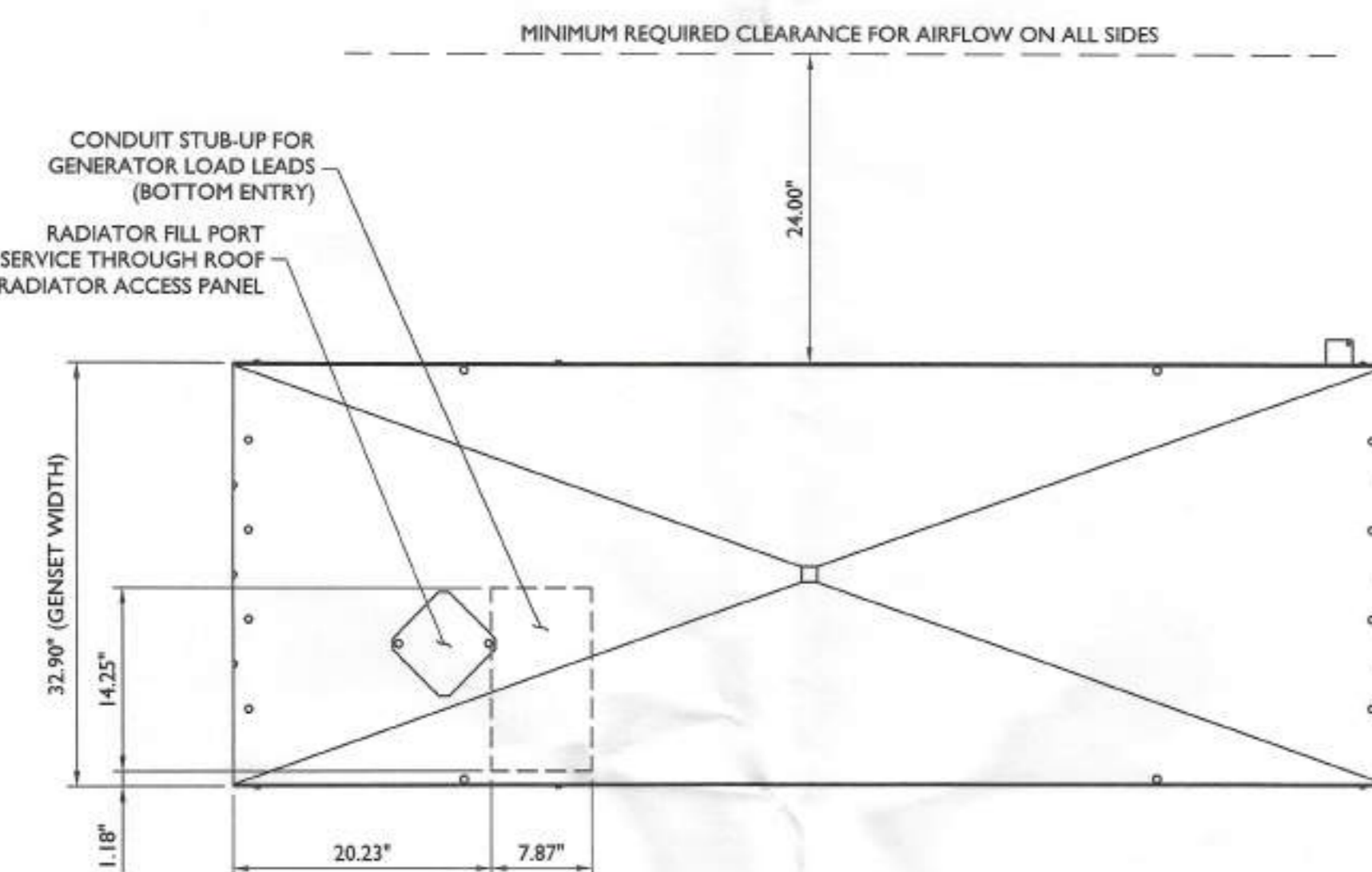
A-2



**NORTHEAST PENNSYLVANIA
SMA LIMITED PARTNERSHIP
d/b/a VERIZON WIRELESS**

512 TOWNSHIP LINE ROAD
BUILDING 2, FLOOR 3
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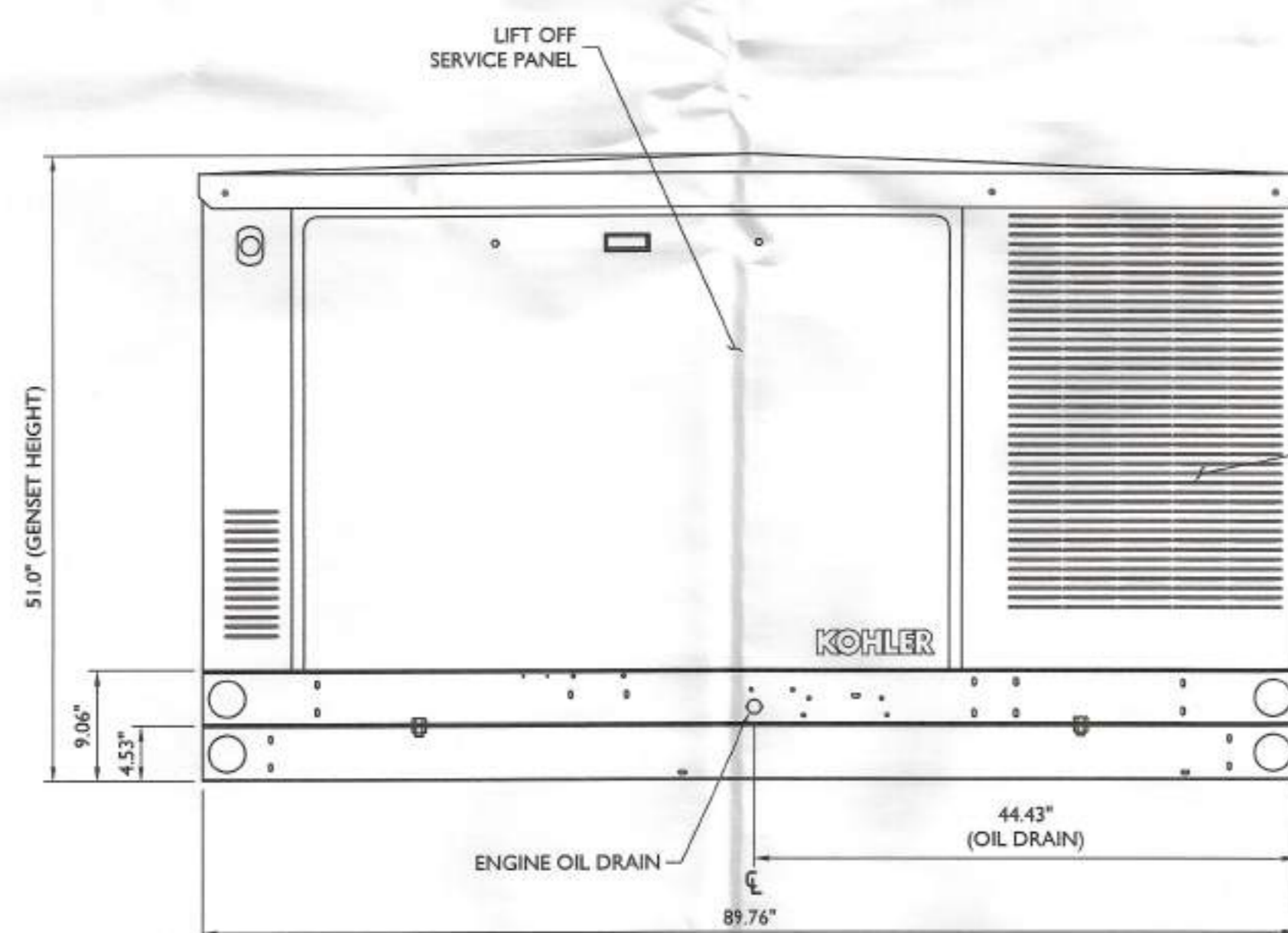


PLAN VIEW

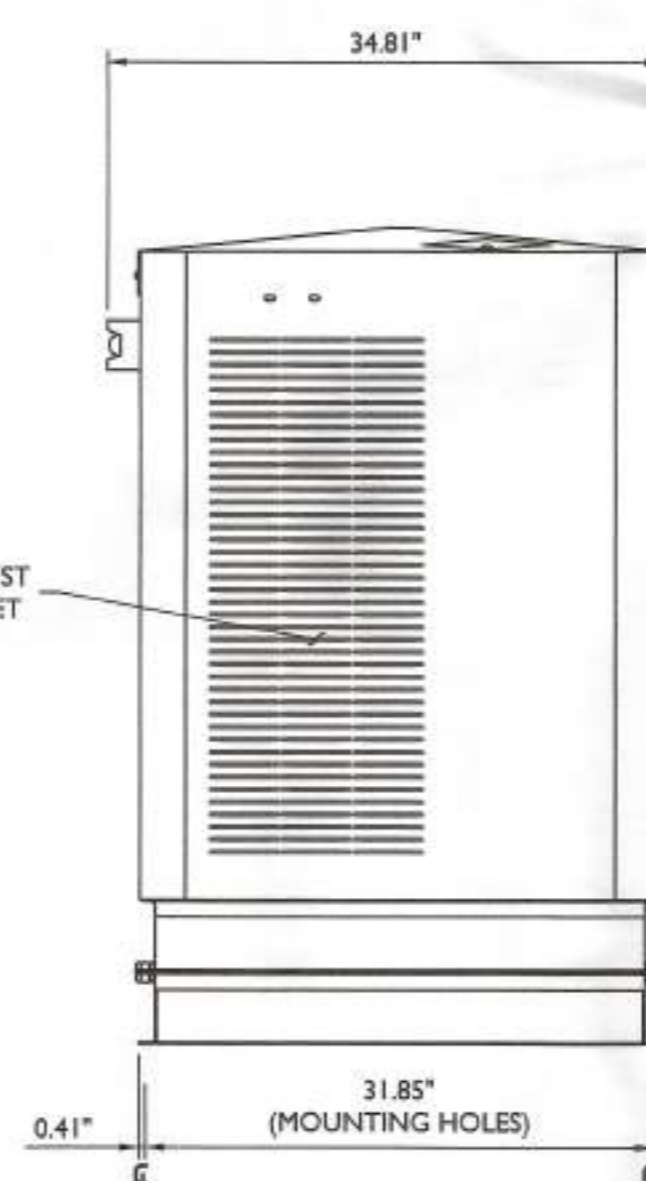
MODEL	ALTERNATOR	GENSET MAXIMUM WEIGHT
25/30CCL	4D/E	1,600 LBS
25/30CCL	4P/Q	1,630 LBS

NOTES:

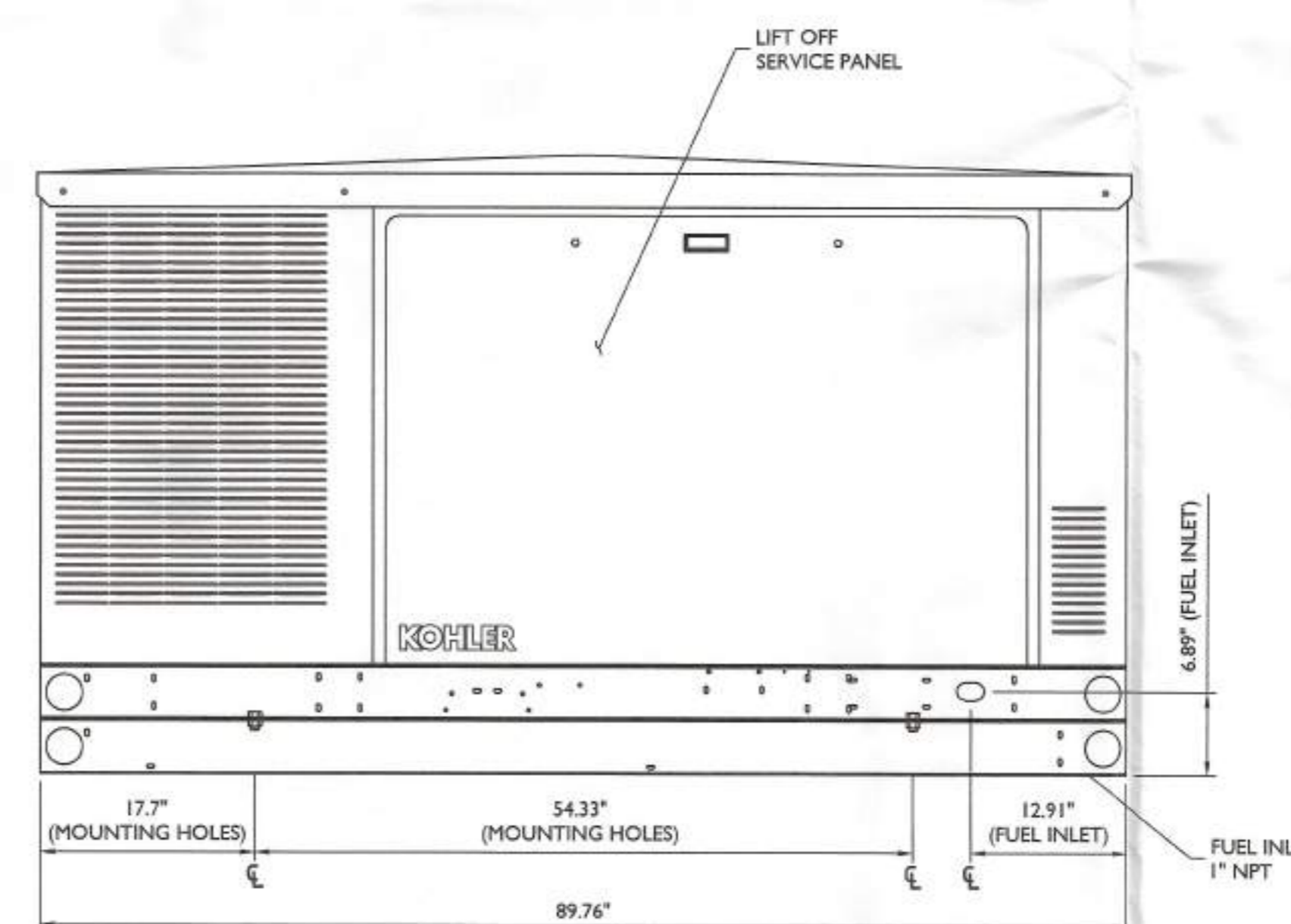
- BOTH SIDES OF THE GENERATOR IS SERVICE ACCESSIBLE WITH EASY ACCESS SERVICE PANELS.
- 10 AMP BATTERY CHARGER.
- 120VAC ENGINE BLOCK HEATER.
- GENERATOR MUST BE GROUNDED.
- SOUND ATTENUATED ENCLOSURE STANDARD WITH GENERATOR.
- MUST ALLOW FREE FLOW OF DISCHARGE AIR AND EXHAUST.
- MUST ALLOW FREE FLOW OF AIR INTAKE.
- IT IS THE RESPONSIBILITY OF THE INSTALLATION TECHNICIAN TO ENSURE THAT THE GENERATOR INSTALLATION COMPLIES WITH ALL APPLICABLE CODES, STANDARDS AND REGULATIONS.
- SPRING ISOLATORS TO BE UTILIZED WITH MODEL MS-2E.
- GENERATOR TO BE ANCHORED WITH 1 1/16"Ø A325 BOLTS. INSTALLED AND SIZE PER KOHLER RECOMMENDATIONS.
- GENERATOR SOUND LEVEL IS 67.7 dBA @ 23 FT (7 METERS) WITH SOUND ENCLOSURE.



LEFT SIDE VIEW



FRONT VIEW



RIGHT SIDE VIEW

**KOHLER PROPANE GAS
GENERATOR DETAIL
NOT TO SCALE**

SCALE	JOB NUMBER			
AS SHOWN	22960030A			
REV	DATE	DESCRIPTION	DRAWN BY	CHECKED BY
D	02/07/23	ISSUE FOR REVIEW	FAC	MEG
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Peter Michael Albano
Peter Michael Albano
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LICENSE NUMBER: PD092542
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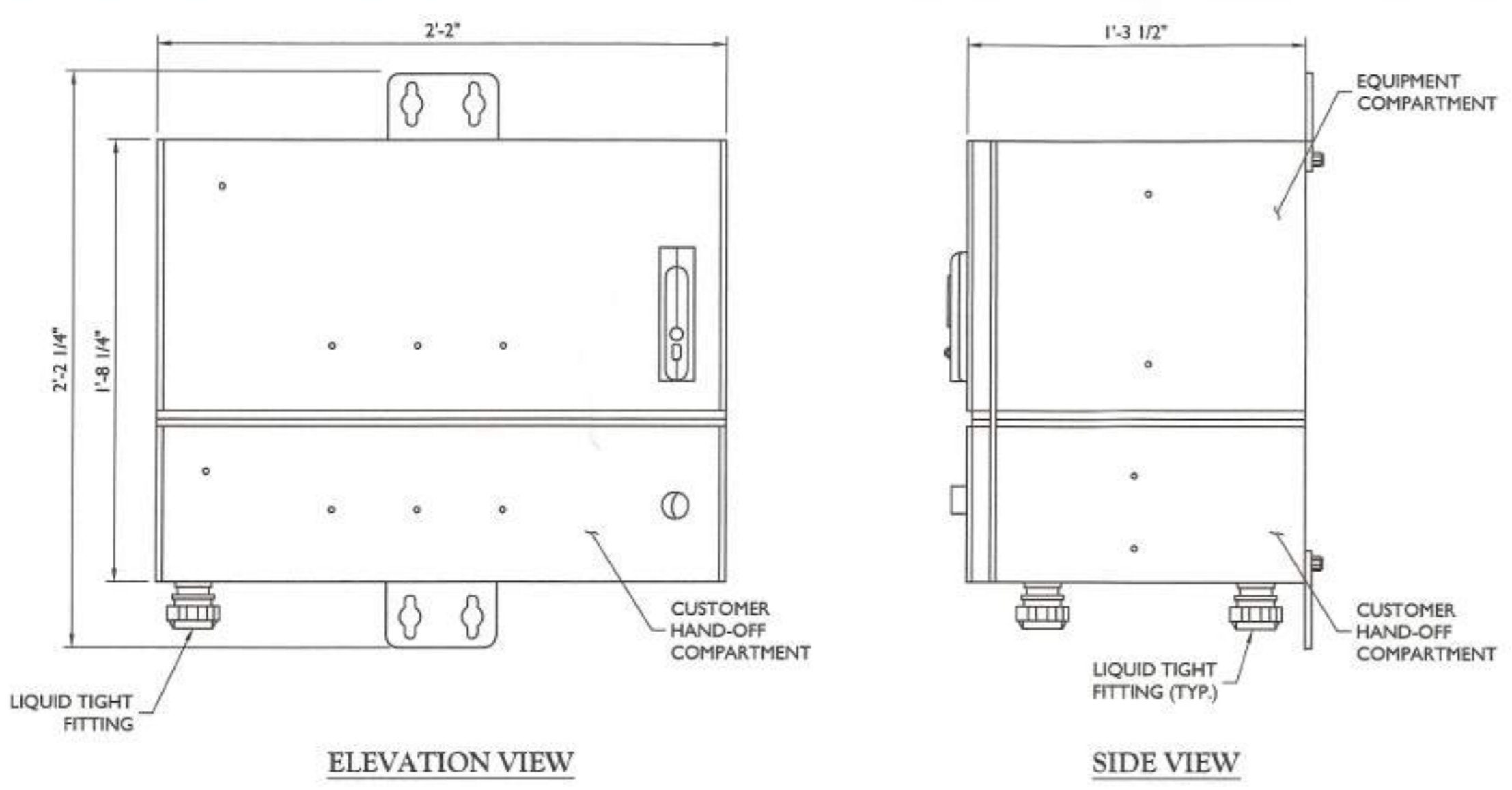
SITE NAME:

NEP MAGICK CAULDRON
119 AIRPORT ROAD
EAST STROUDSBURG, PA 18301
MONROE COUNTY

Colliers Engineering & Design
ALLENTOWN
941 Marcon Blvd #801
Allentown, PA 18109
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COLLIERS ENGINEERING & DESIGN, INC.
DOING BUSINESS AS MASER CONSULTING

SHEET TITLE:
CONSTRUCTION DETAILS

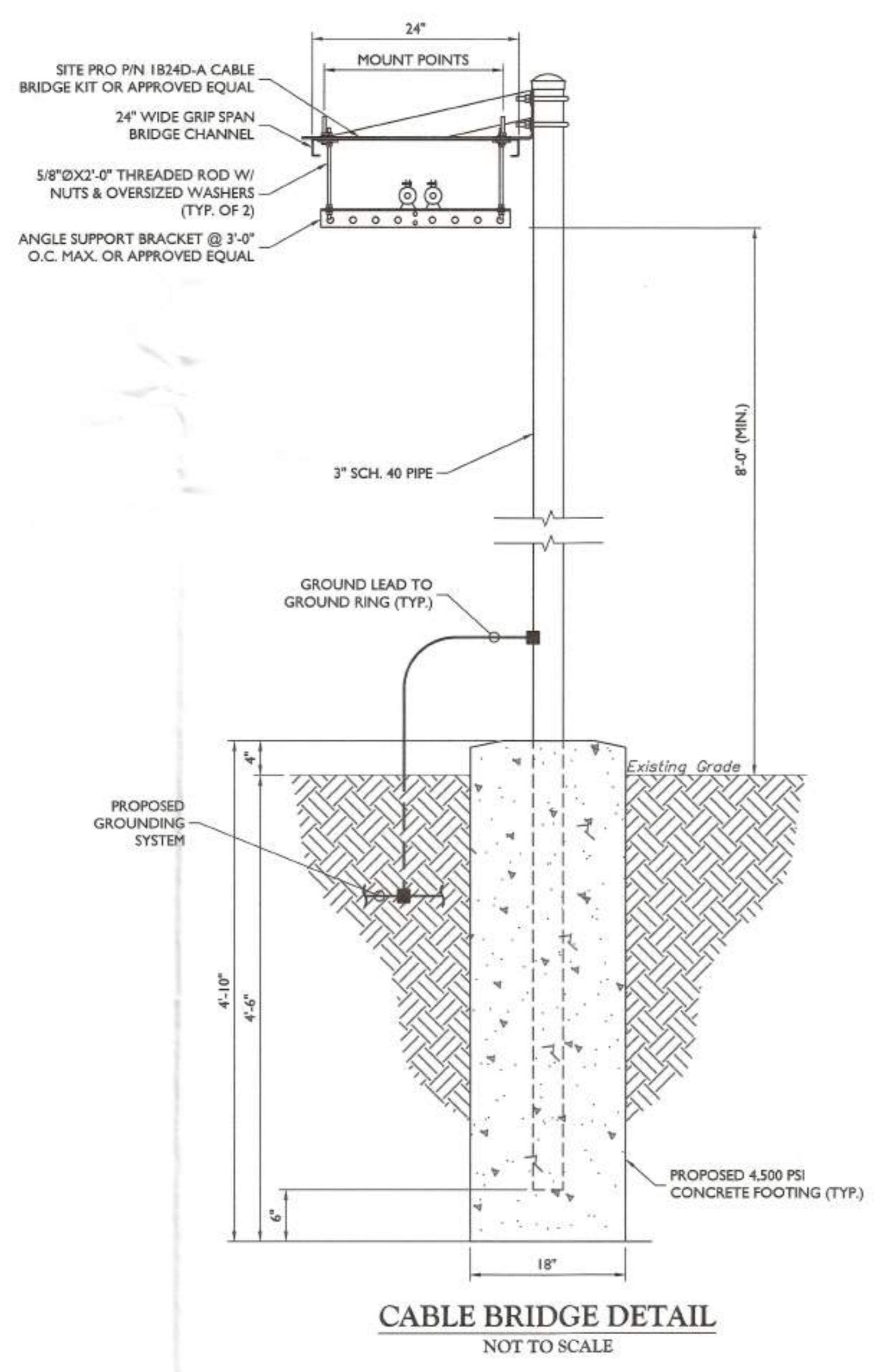
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A-3



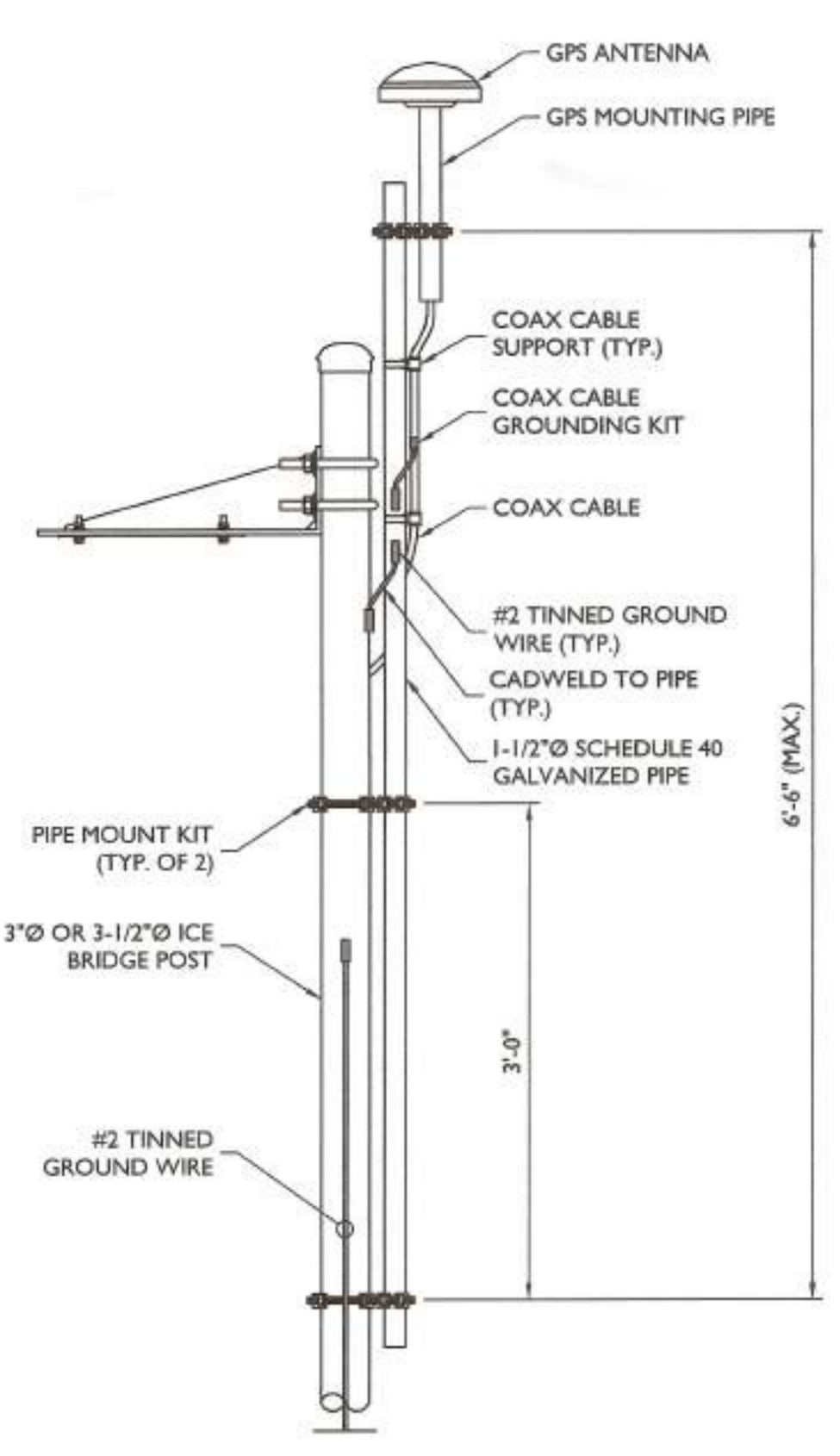
ELEVATION VIEW

SIDE VIEW

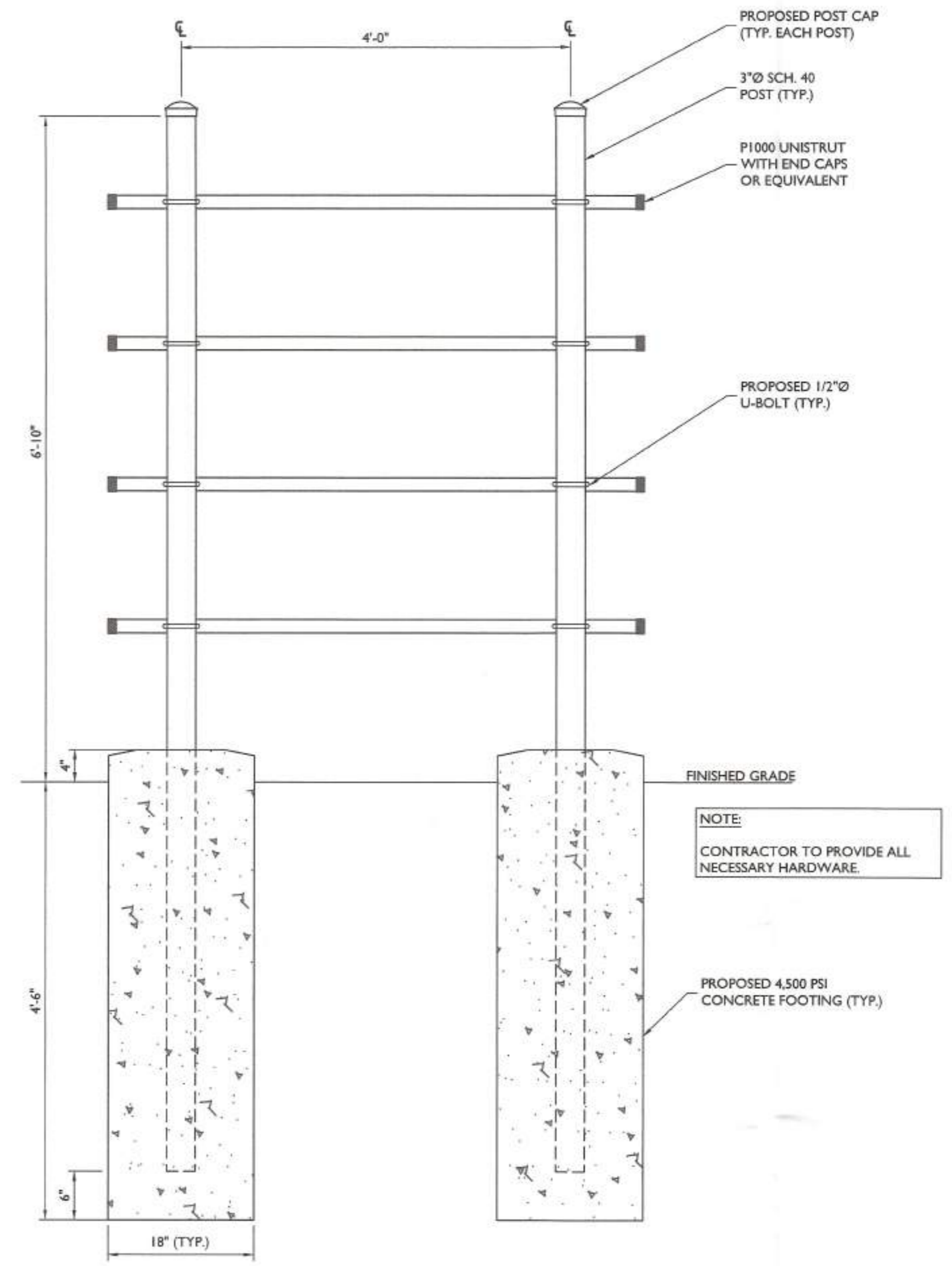
CHARLES INDUSTRIES RL2000A CUBE
NOT TO SCALE



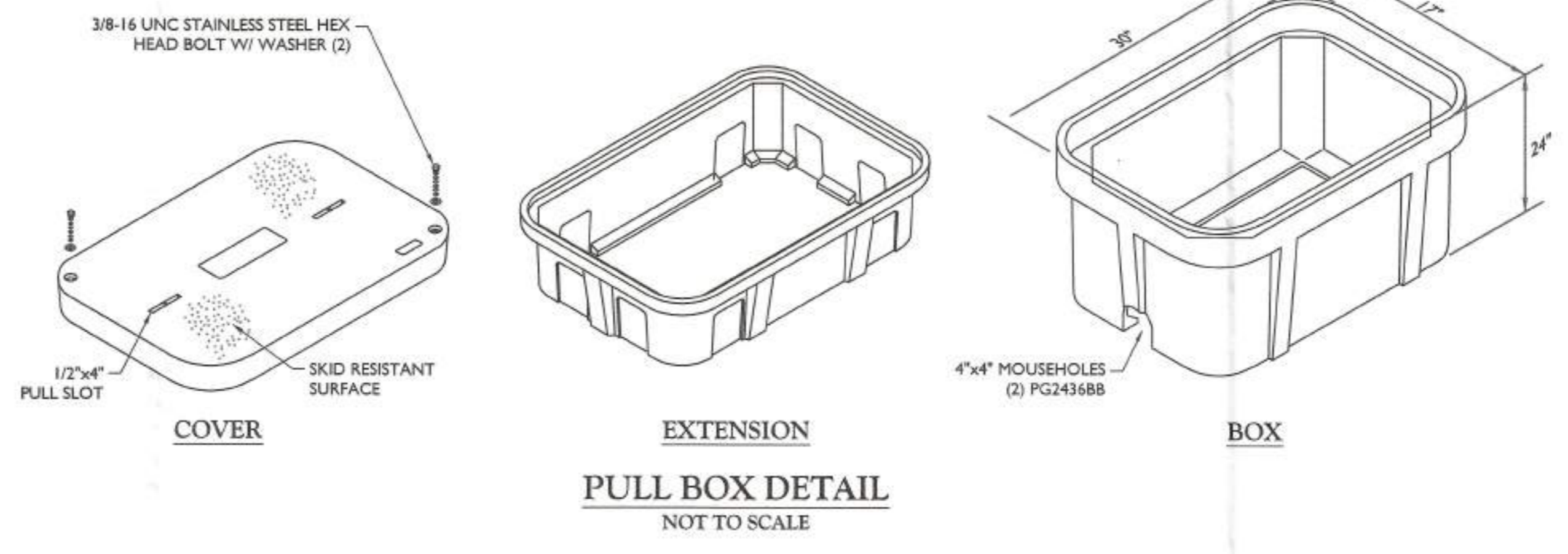
CABLE BRIDGE DETAIL
NOT TO SCALE



GPS MOUNTING DETAIL
NOT TO SCALE



BACKBOARD DETAIL
NOT TO SCALE



COVER

EXTENSION

BOX

PULL BOX DETAIL
NOT TO SCALE

SCALE	JOB NUMBER			
AS SHOWN	22960030A			
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REV	DATE	DESCRIPTION	DRAWN BY	CHECKED BY

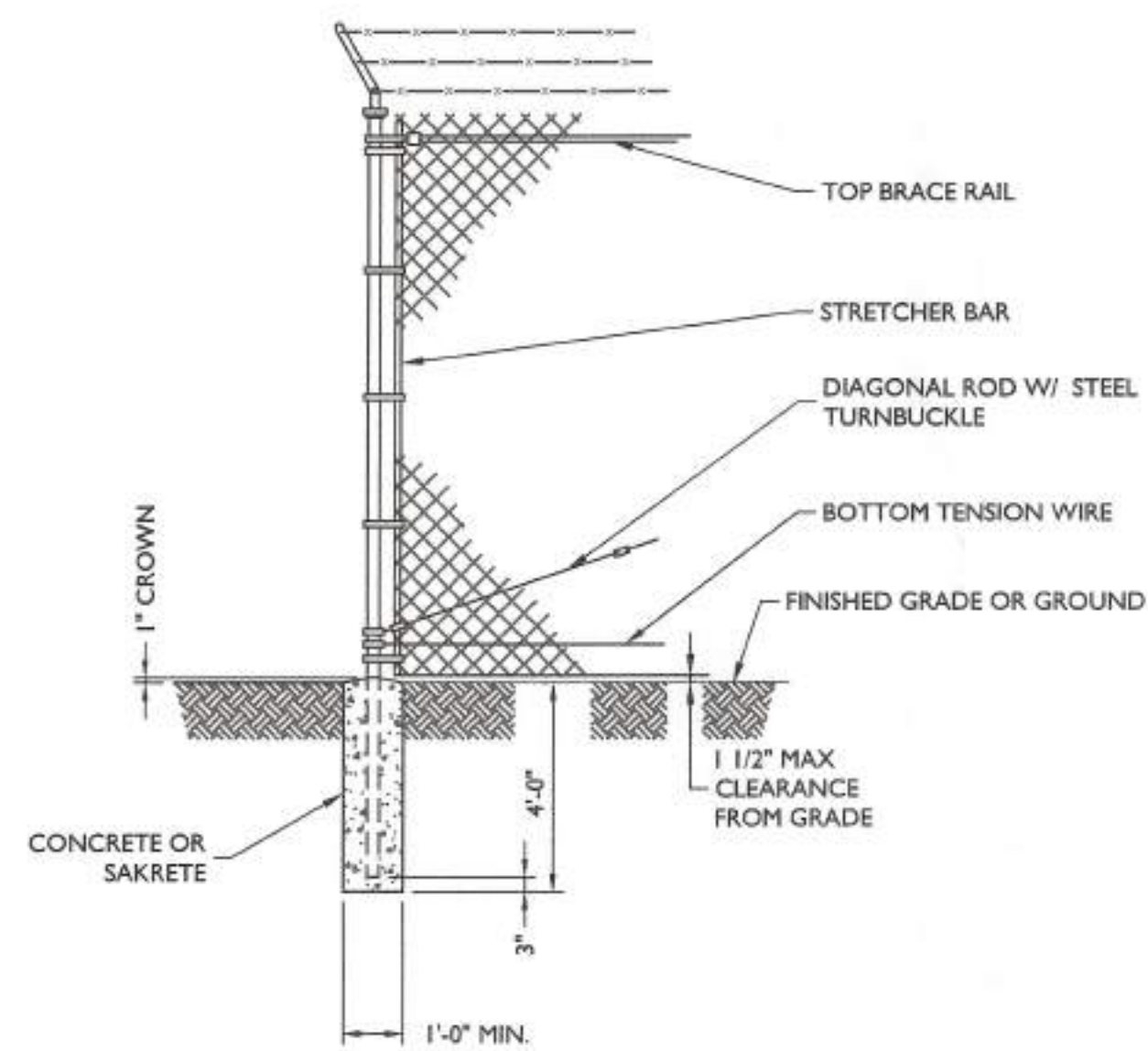
Peter Michael Albano
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Allentown, PA 18109
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COLLIERS ENGINEERING & DESIGN, INC.
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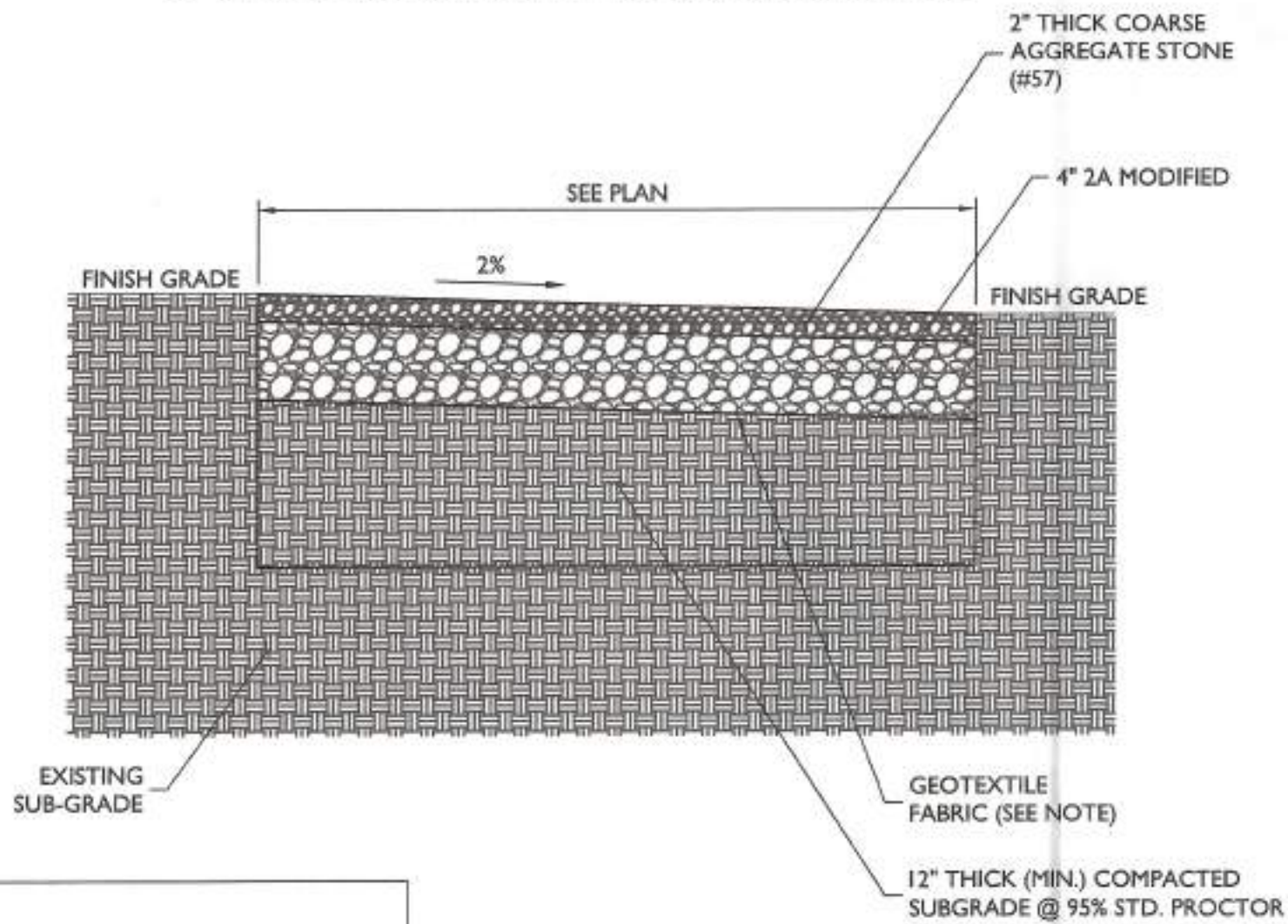
SHEET TITLE:
CONSTRUCTION DETAILS
SHEET NUMBER:
A-4



WOVEN WIRE CORNER, GATE, END, OR PULL POST
NOT TO SCALE

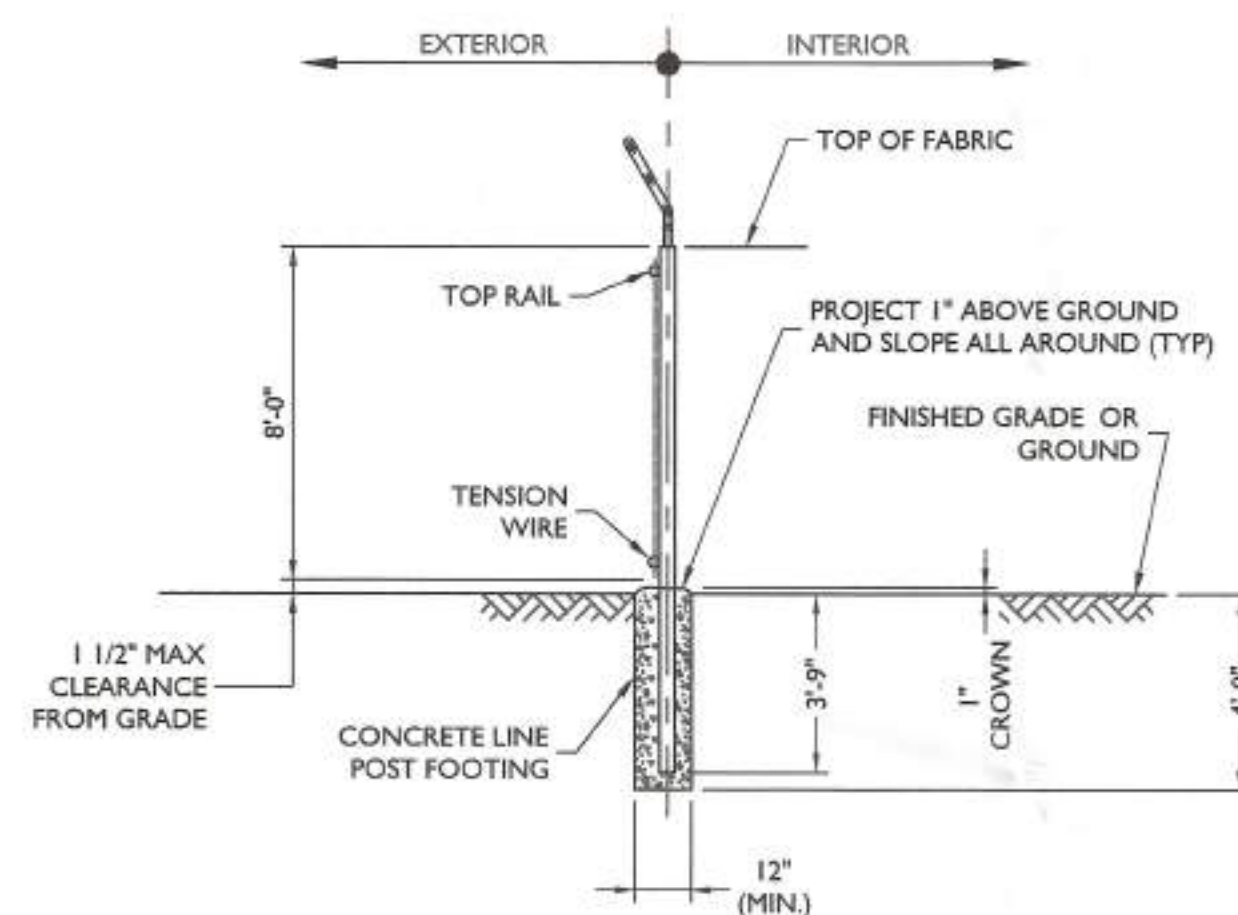
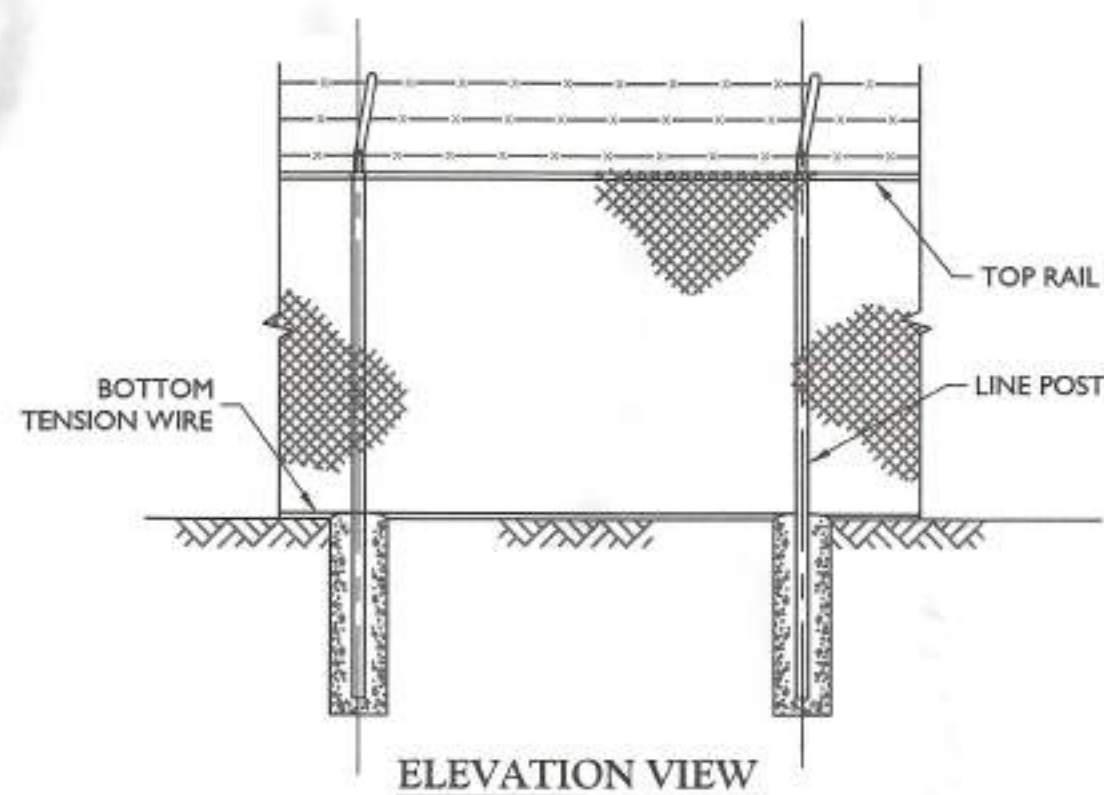
FENCE NOTES:

- GATE POST, CORNER, TERMINAL OR PULL POST SHALL BE 3"Ø SCHEDULE 40 FOR GATE WIDTHS UP THROUGH 7 FEET OR 14 FEET FOR DOUBLE SWING GATE PER ASTM-F1083.
- LINE POST: 2-3/8"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
- GATE FRAME: 1 1/2"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
- TOP RAIL & BRACE RAIL: 1 1/4"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
- FABRIC: 9 GA. CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A392 CLASS 1.
- TIE WIRE: MINIMUM 11 GA GALVANIZED STEEL INSTALL A SINGLE WRAP TIE WIRE AT POSTS AND RAILS AT MAX. 24" INTERVALS. INSTALL HOG RINGS ON TENSION WIRE AT 24" INTERVALS.
- TENSION WIRE: 7 GA. GALVANIZED STEEL.
- BARBED WIRE: 3 STRANDS OF DOUBLE STRANDED 12-1/2 GAUGE TWISTED WIRE, 4 FT. BARBS SPACED ON APPROXIMATELY 5" CENTERS.
- GATE LATCH: 1-3/8" O.D. PLUNGER ROD W/ MUSHROOM TYPE CATCH AND LOCK.
- LOCAL ORDINANCE FOR BARBED WIRE PERMIT SHALL GOVERN INSTALLATION.
- HEIGHT = 8'-0" VERTICAL DIMENSION WITH 1'-0" BARBED WIRE.
- ALL WORK SHALL CONFORM WITH THE PROJECT SPECIFICATIONS.

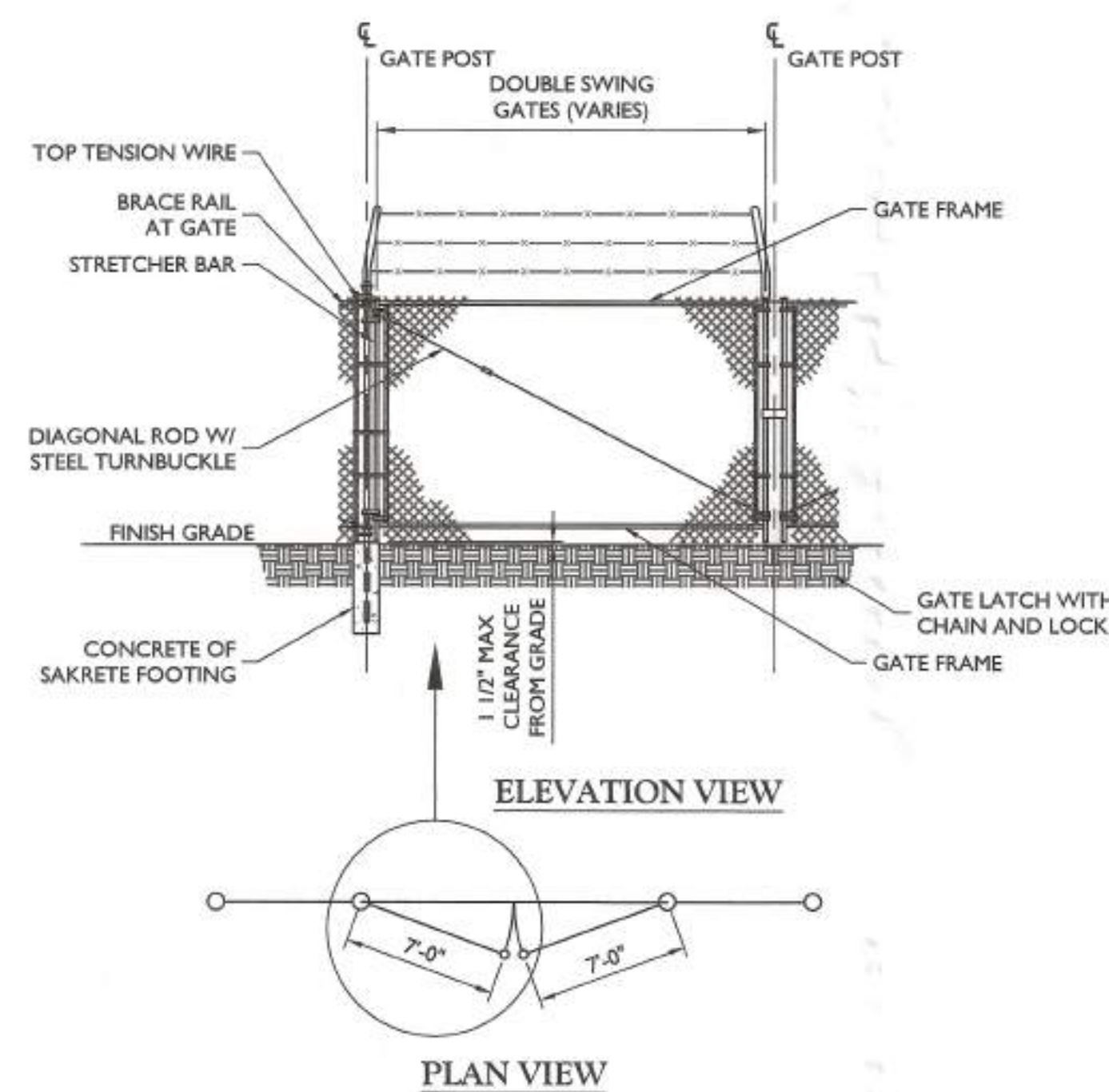


NOTE:
GEOTEXTILE FABRIC IS TO BE MIRAFI 500X
WOVEN WIRE FABRIC OR APPROVED EQUAL.

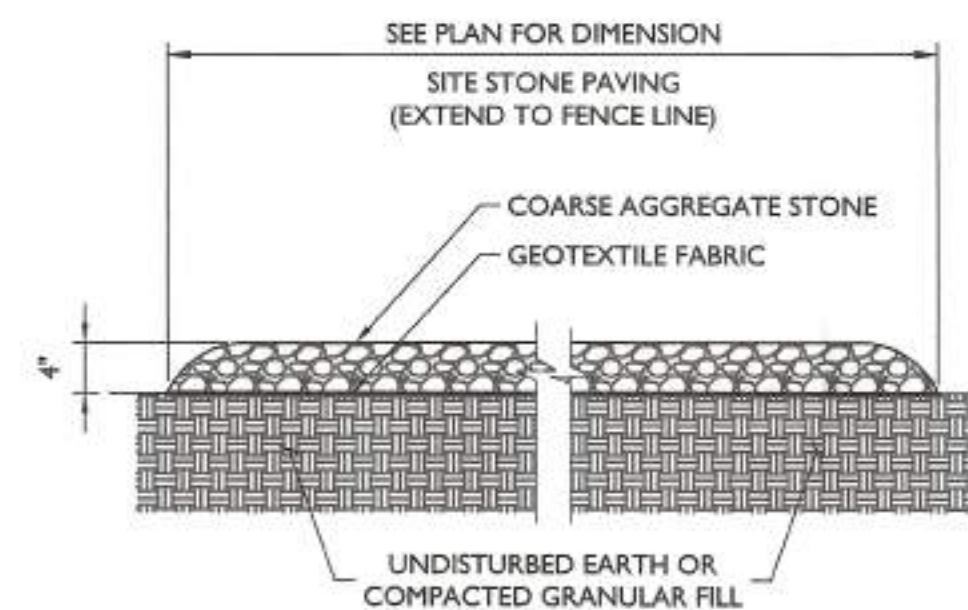
GRAVEL DRIVEWAY SURFACING
NOT TO SCALE



WOVEN WIRE FENCE DETAIL
NOT TO SCALE



WOVEN WIRE SWING GATE, DOUBLE
NOT TO SCALE



GRAVEL SURFACING
NOT TO SCALE

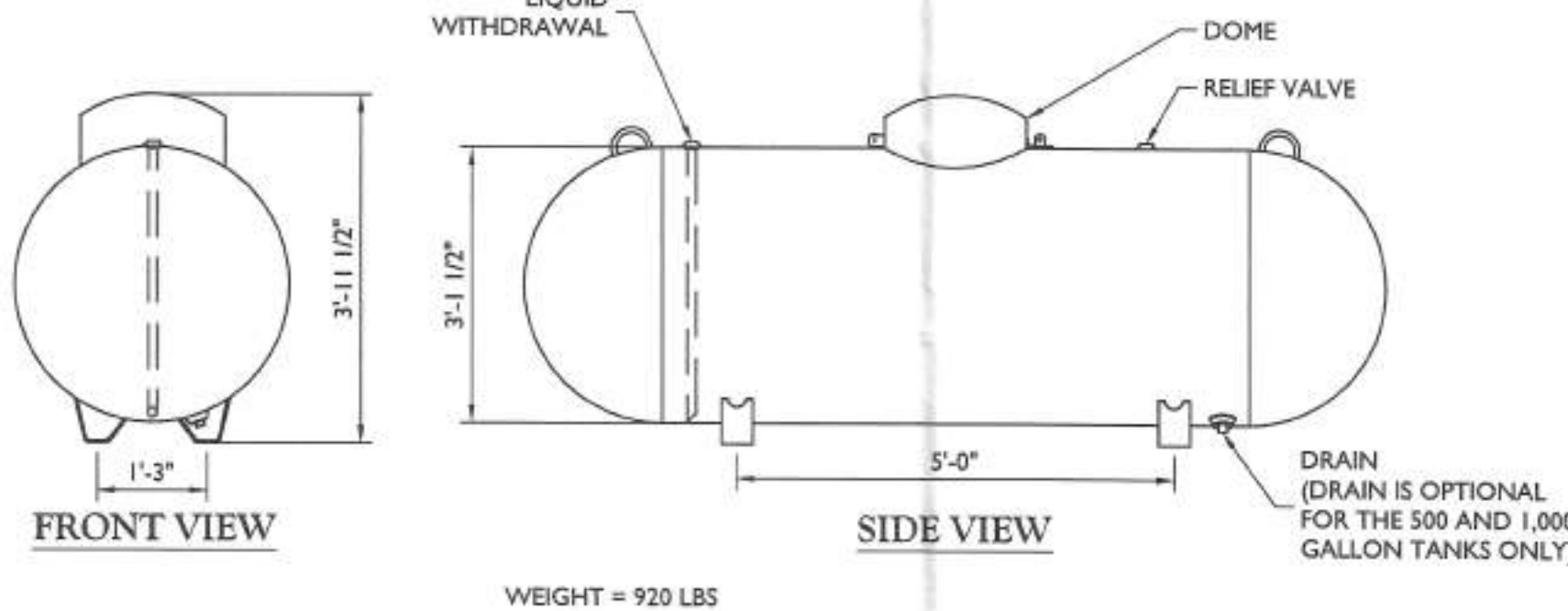
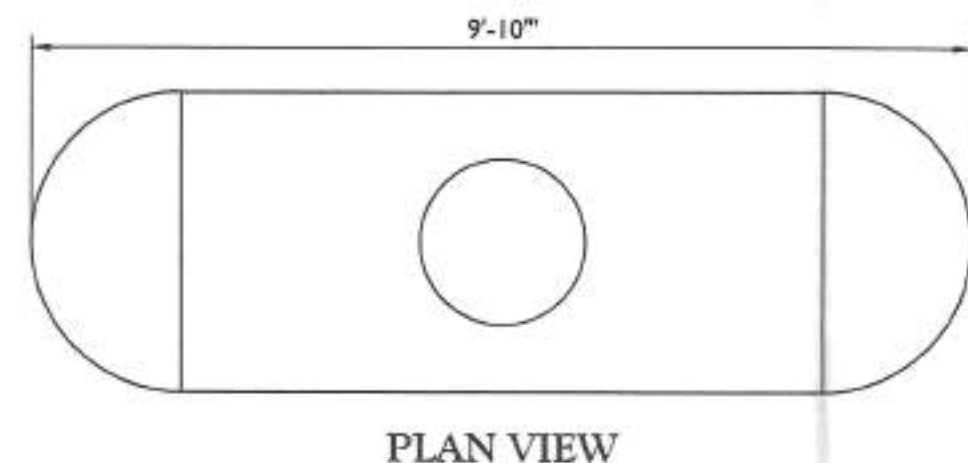


**ABOVEGROUND
PROPANE STORAGE TANKS
120 - 1000 Gallons**

ABOVEGROUND VESSEL DIMENSIONS & SPECIFICATIONS
(All Vessel Dimensions are Approximate)

Part Number	Description	Water Capacity Gal	Outside Diameter in/mm	Head Type	Overall Length in/mm	Overall Height in/mm	Log Width in/mm	Log Spacing in/mm	Weight Lbs/kg	Quantity Full Load	Per Stack
68268**	120 Gallon Aboveground Storage Tank	120 454.2	24" 609.6	Ellip	5' 8" 1727.2	2' 10 1/4" 870	10 1/8" 257.2	3' 0" 914.4	310 140.6	96	12
68270**	250 Gallon Aboveground Storage Tank	250 946.3	30" 762	Hemi	7' 10" 2387.6	3' 4 3/16" 1020.8	12 3/4" 323.9	3' 6" 1066.8	471 213.6	54	9
68272**	320 Gallon Aboveground Storage Tank	320 1211.3	30" 762.0	Hemi	9' 7" 2921	3' 4 3/16" 1020.8	12 3/4" 323.9	4' 0 1/4" 1225.6	566 256.7	45	9
68274** 68303*	500 Gallon Aboveground Storage Tank	500 1892.7	37.5" 952.5	Hemi	9' 10" 2997.2	3' 11 1/2" 1206.5	15" 381	5' 0" 1524	920 417.3	30	6
68276** 68304*	1000 Gallon Aboveground Storage Tank	1000 3785.4	41" 1041.4	Hemi	15' 11" 4851.4	4' 2 15/16" 1293.8	16 1/4" 412.8	9' 0" 2743.2	1737 787.9	15	5

* Drain **No Drain
Federal, state or local regulations may contain specific applicable requirements for protective coatings and cathodic protection. The purchaser and installer are responsible for compliance with such federal, state, local and NFPA industry regulations, including, but not limited to, proper purging prior to putting into service. Coating (s) must be continuous, uninterrupted and must comply with local, state or national codes or regulations.



**MANCHESTER PROPANE TANK 500 GALLON
ABOVEGROUND STORAGE DETAIL**
NOT TO SCALE



**NORTHEAST PENNSYLVANIA
SMSA LIMITED PARTNERSHIP
d/b/a VERIZON WIRELESS**

512 TOWNSHIP LINE ROAD
BUILDING 2, FLOOR 3
BLUE BELL, PA 19422

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COLLIERS ENGINEERING & DESIGN, INC.
DOING BUSINESS AS MASER CONSULTANTS

SHEET TITLE: **CONSTRUCTION DETAILS**

SHEET NUMBER: **A-5**



**NORTHEAST PENNSYLVANIA
SMA LIMITED PARTNERSHIP
d/b/a VERIZON WIRELESS**

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SITE NAME:

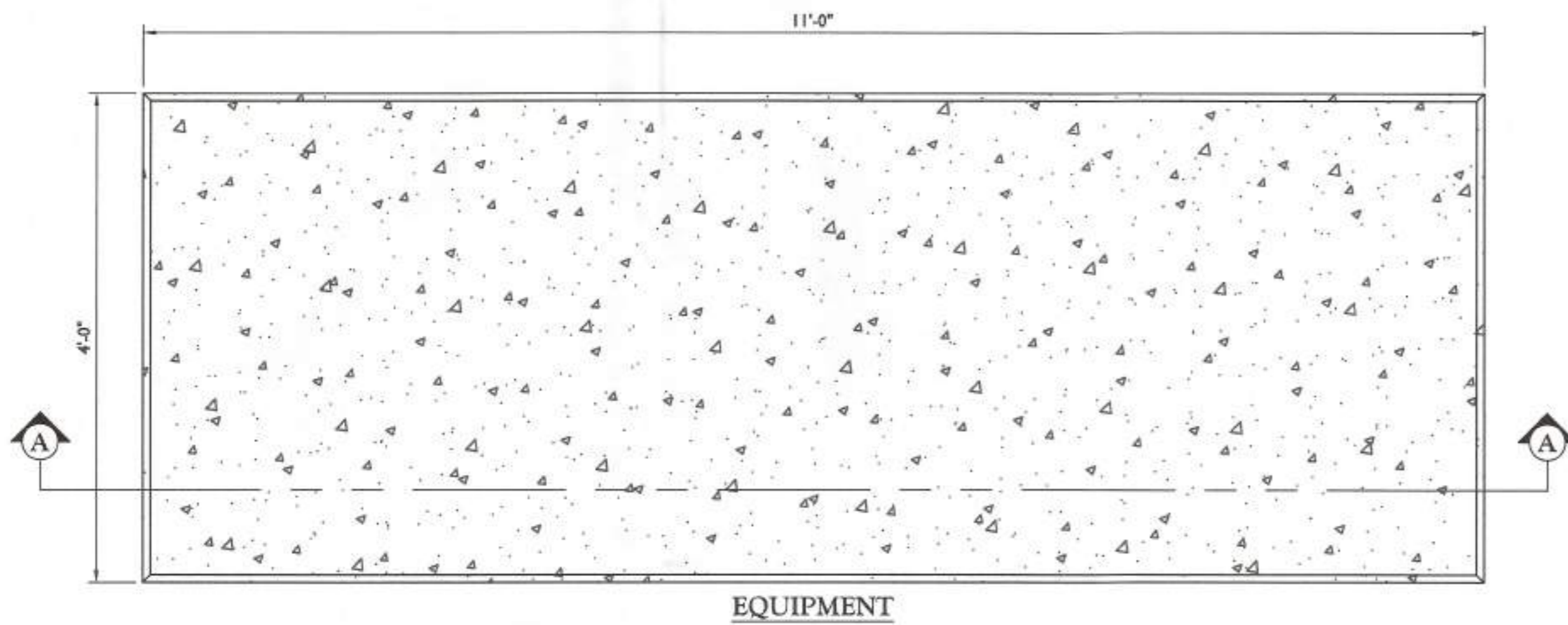
NEP MAGICK CAULDRON
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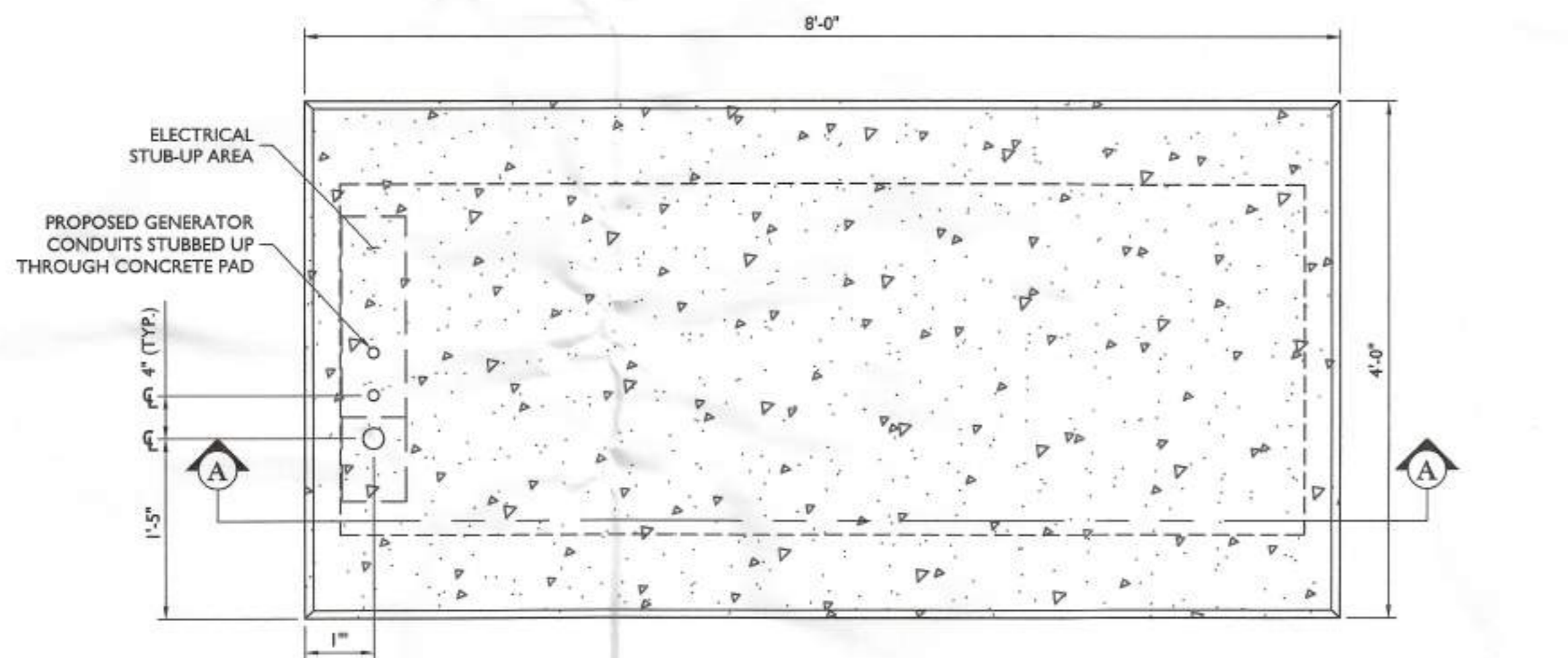
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SHEET NUMBER: **A-6**

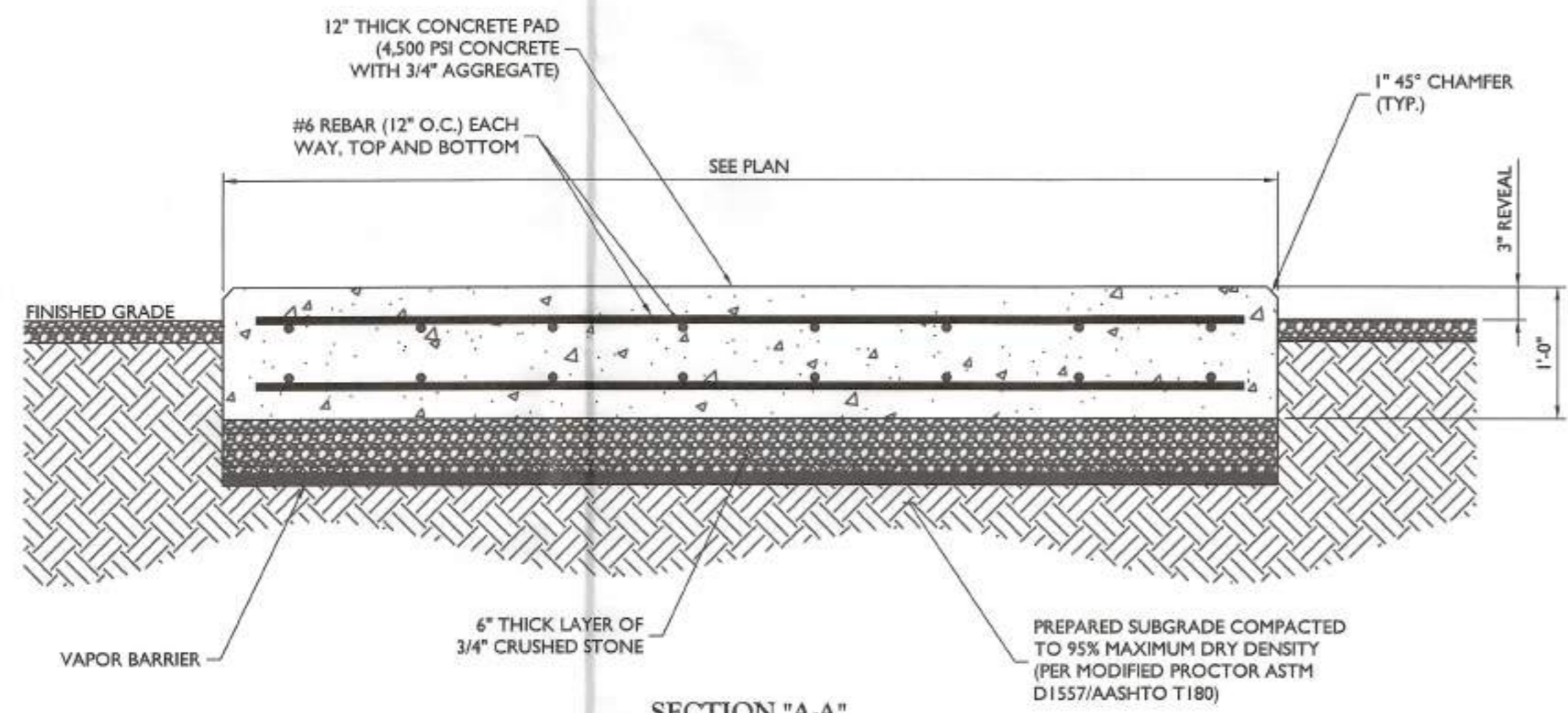
NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



EQUIPMENT



GENERATOR



SECTION "A-A"

CONCRETE EQUIPMENT PAD DETAILS

NOT TO SCALE

CONCRETE NOTES:

DESIGN INFORMATION:

- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336A, ASTM A184, ASTM A185 AND THE DESIGN & CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
- THE DESIGN SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE AS SHOWN ON SHEET T-1.

EARTHWORK:

- FOUNDATIONS HAVE BEEN DESIGNED TO BEAR ON (UNDISTURBED RESIDUAL SOILS/COMPACTED STRUCTURAL FILL), CAPABLE OF SAFELY SUPPORTING AN ALLOWABLE BEARING PRESSURE OF 1,500 PSF. IF FOUNDATION CONDITIONS PROVE UNACCEPTABLE AT ELEVATIONS SHOWN, EXCAVATION SHALL BE CARRIED DEEPER AND SHALL BE BACKFILLED WITH LEAN CONCRETE TO PLAN FOOTING BOTTOM, OR REDISIGN OF FOUNDATIONS WILL BE REQUIRED AT THE DIRECTION OF THE ENGINEER.

- DESIGN FURNISH AND INSTALL TEMPORARY SHEETING, SHORING, AND DRAINAGE TO MAINTAIN THE EXCAVATION AND PROTECT SURROUNDING STRUCTURES AND UTILITIES.

- THOROUGHLY COMPACT ALL BOTTOM OF FOOTINGS PRIOR TO PLACING ANY CONCRETE.

CONCRETE:

1. FORMWORK

- CONCRETE CONSTRUCTION SHALL CONFORM TO "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS." (ACI 301-89).
- FORMWORK SHALL CONFORM TO ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"

2. REINFORCEMENT

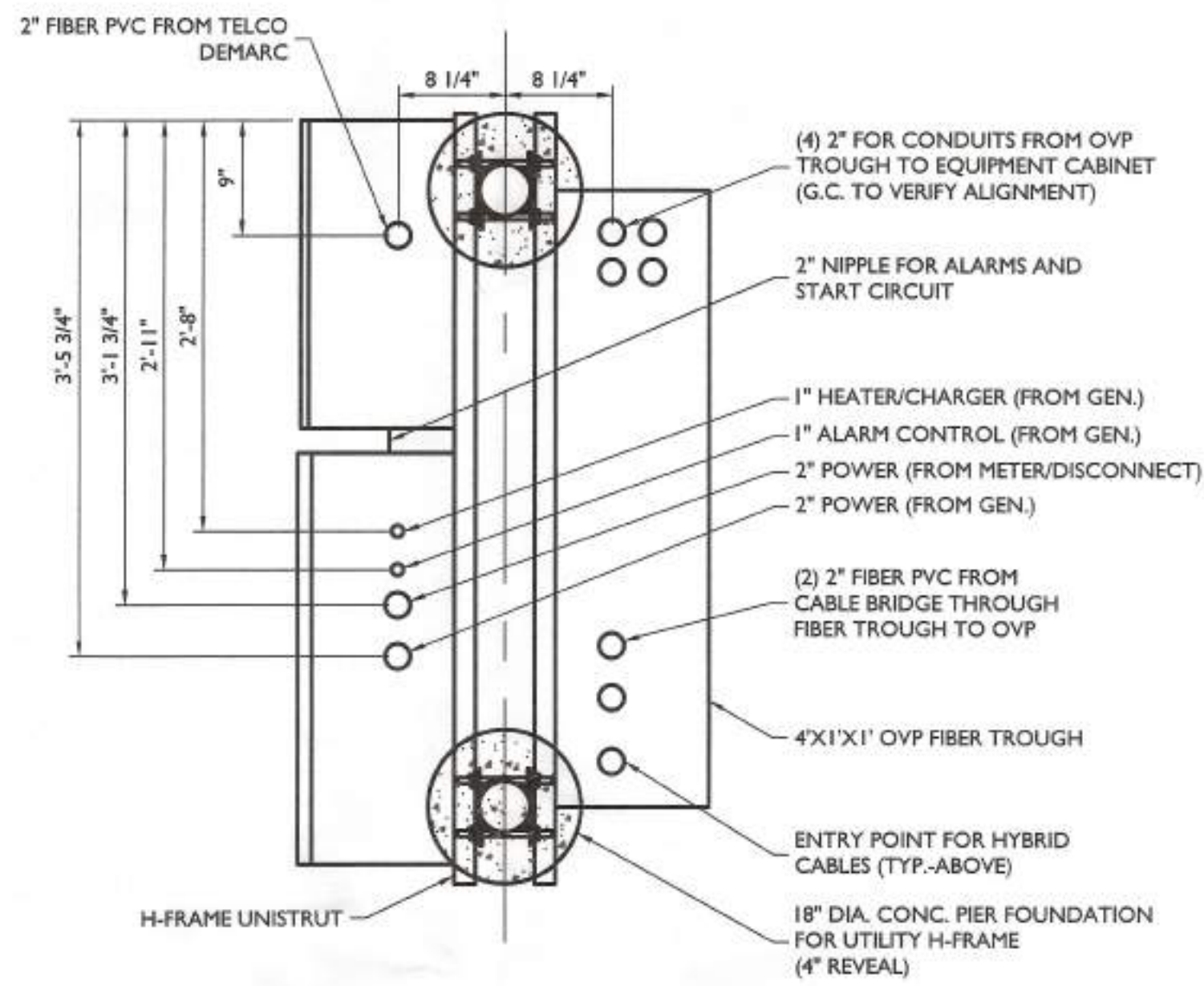
- REINFORCING STEEL ASTM A615, GRADE 60. WELDED WIRE ASTM A185 (FLAT SHEET), LAPS 40 BAR DIAMETERS UNLESS NOTED. BARS SHALL BE SECURELY HELD IN ACCURATE POSITION BY SUITABLE ACCESSORIES, TIE BARS, SUPPORT BARS, ETC. HOOK LENGTHS SHALL BE 12 BAR DIAMETERS.
- CONCRETE COVER FOR REINFORCING BARS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED.

2.b.1. FOOTINGS AND SLABS CAST AGAINST GROUND	3"
2.b.2. CONCRETE TO BE IN CONTACT WITH GROUND OR WEATHER AT BARS GREATER THAN 5"	2"
2.b.3. AT BARS #5 OR LESS	1 1/2"
2.b.4. CONCRETE NOT TO BE EXPOSED TO GROUND OR WEATHER BEAMS, GIRDERS, AND COLUMNS	1 1/2"
2.b.5. SLABS AND WALLS	3/4"

2.c. CAST IN PLACE CONCRETE

- MINIMUM 28 DAY CYLINDER STRENGTH AND MAXIMUM SLUMP, PRIOR TO ADDITION F SUPER PLASTICIZERS, AS FOLLOWS:

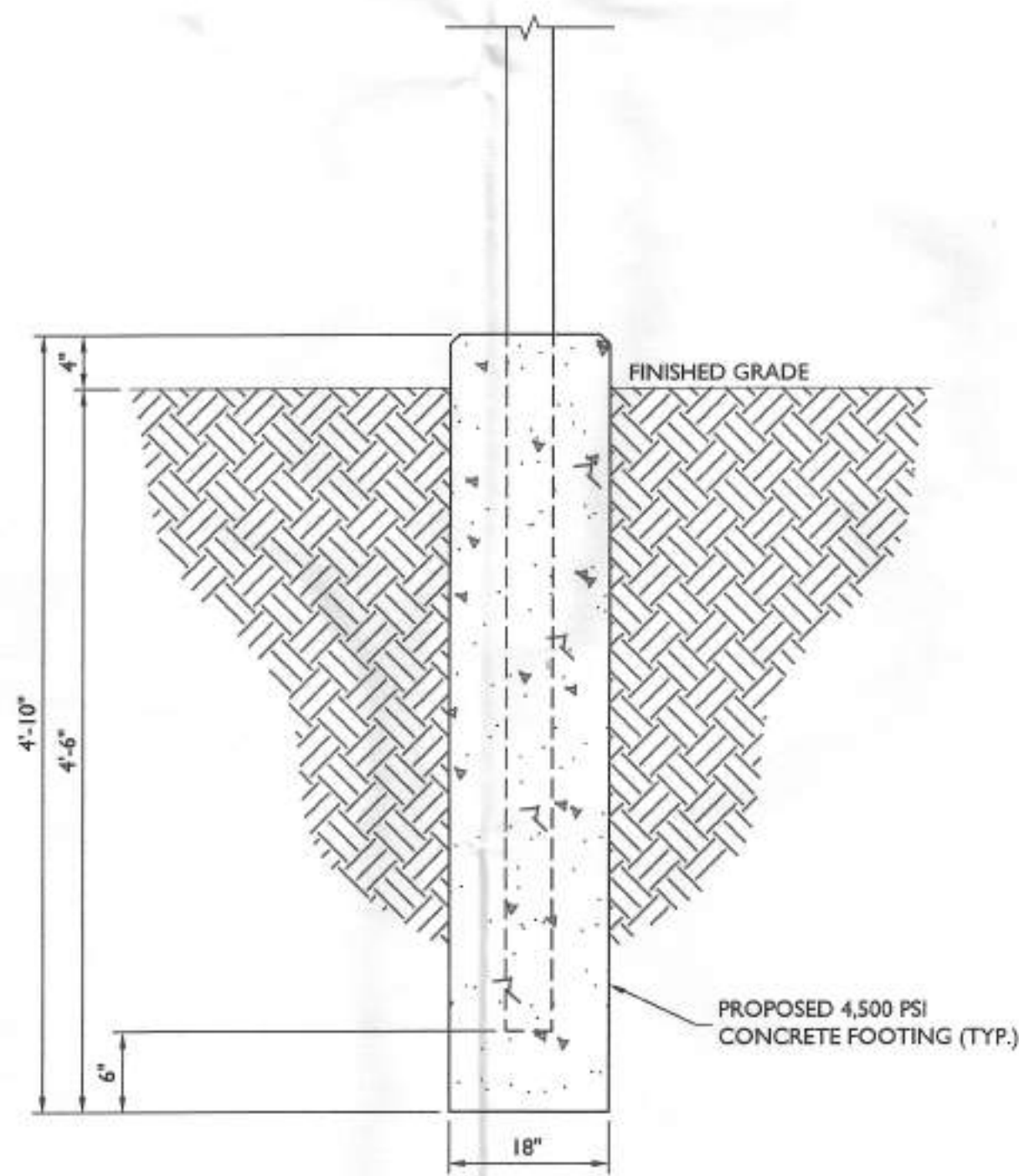
2.c.1.1. CLASS I FOOTINGS	4500 PSI	3"
2.c.1.2. CLASS III INTERIOR ELEVATED SLABS AND WALLS	4000 PSI	4"
2.c.1.3. CLASS V OTHER WORK	4000 PSI	4"
2.c.1.4. CLASS VI LEAN CONCRETE FOR OVEREXCAVATION OF FOUNDATIONS	2000 PSI	N/A
- MIX DESIGN TO BE IN ACCORDANCE WITH ACI 318, CHAPTER 5. NO CALCIUM CHLORIDE ADMIXTURE CONTAINING CHLORIDES SHALL BE USED IN ANY CONCRETE
- COARSE AGGREGATE FOR NORMAL WIEGHT CONCRETE SHALL CONFORM TO ASTM C33 SIZE #57. COARSE AGGREGATE FOR LIGHTWEIGHT CONCRETE SHALL CONFORM TO ASTM C330 GRADED 3/4" TO 1/4".
- COLD WEATHER PLACEMENT SHALL COMPLY WITH ACI 306.1
- HOT WEATHER PLACEMENT SHALL COMPLY WITH ACI 305 R.
- CHAMFER ALL EXPOSED EDGES 3/4"
- THE MAXIMUM TEMPERATURE OF ALL CONCRETE AT DELIVERY TO THE SITE SHALL BE 85°F
- TOTAL DELIVERY TIME SHALL BE LESS THAN 75 MINUTES.



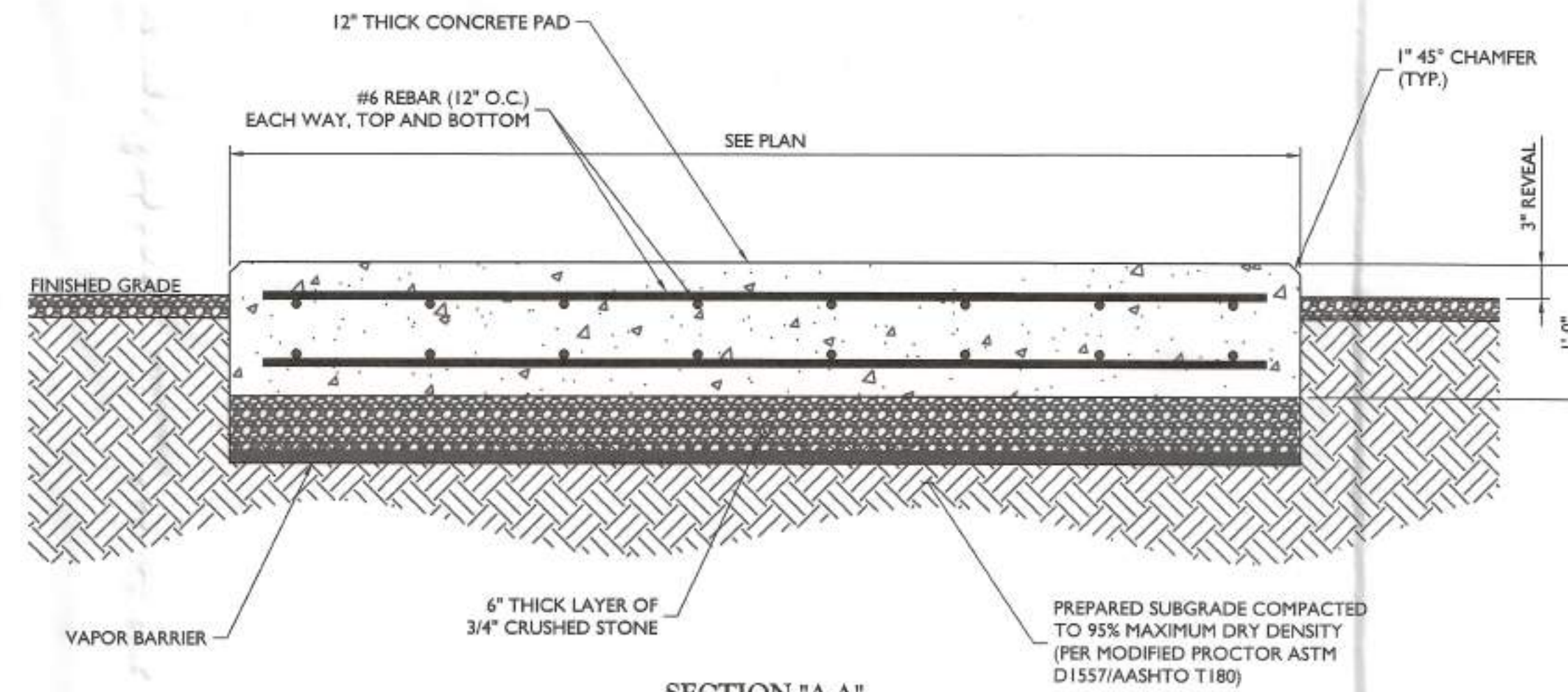
EQUIPMENT SECTION VIEW



SCALE: 1" = 1' FOR 22"X34"
 (SCALE: 1" = 2' FOR 11"X17")



UTILITY FRAME FOUNDATION DETAIL
 NOT TO SCALE



SECTION "A-A"
CONCRETE EQUIPMENT PAD DETAILS
 NOT TO SCALE

CONCRETE NOTES:

DESIGN INFORMATION:

- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336A, ASTM A184, ASTM A185 AND THE DESIGN & CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
- THE DESIGN SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE AS SHOWN ON SHEET T-1.

EARTHWORK:

- FOUNDATIONS HAVE BEEN DESIGNED TO BEAR ON (UNDISTURBED RESIDUAL SOILS/COMPACTED STRUCTURAL FILL), CAPABLE OF SAFELY SUPPORTING AN ALLOWABLE BEARING PRESSURE OF 1,500 PSF. IF FOUNDATION CONDITIONS PROVE UNACCEPTABLE AT ELEVATIONS SHOWN, EXCAVATION SHALL BE CARRIED DEEPER AND SHALL BE BACKFILLED WITH LEAN CONCRETE TO PLAN FOOTING BOTTOM, OR REDISIGN OF FOUNDATIONS WILL BE REQUIRED AT THE DIRECTION OF THE ENGINEER.
- DESIGN FURNISH AND INSTALL TEMPORARY SHEETING, SHORING, AND DRAINAGE TO MAINTAIN THE EXCAVATION AND PROTECT SURROUNDING STRUCTURES AND UTILITIES.
- THOROUGHLY COMPACT ALL BOTTOM OF FOOTINGS PRIOR TO PLACING ANY CONCRETE.

CONCRETE:

1. FORMWORK

- CONCRETE CONSTRUCTION SHALL CONFORM TO "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI 301-89).
- FORMWORK SHALL CONFORM TO ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"

2. REINFORCEMENT

- REINFORCING STEEL ASTM A615, GRADE 60. WELDED WIRE ASTM A185 (FLAT SHEET). LAPS 40 BAR DIAMETERS UNLESS NOTED. BARS SHALL BE SECURELY HELD IN ACCURATE POSITION BY SUITABLE ACCESSORIES, TIE BARS, SUPPORT BARS, ETC. HOOK LENGTHS SHALL BE 12 BAR DIAMETERS.
- CONCRETE COVER FOR REINFORCING BARS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED.

2.b.1. FOOTINGS AND SLABS CAST AGAINST GROUND	3"
2.b.2. CONCRETE TO BE IN CONTACT WITH GROUND OR WEATHER AT BARS GREATER THAN 5"	2"
2.b.3. AT BARS #5 OR LESS	1 1/2"
2.b.4. CONCRETE NOT TO BE EXPOSED TO GROUND OR WEATHER BEAMS, GIRDERS, AND COLUMNS	1 1/2"
2.b.5. SLABS AND WALLS	3/4"

2.c. CAST IN PLACE CONCRETE

- MINIMUM 28 DAY CYLINDER STRENGTH AND MAXIMUM SLUMP, PRIOR TO ADDITION F SUPER PLASTICIZERS, AS FOLLOWS:

2.c.1.1. CLASS I FOOTINGS	4500 PSI	3"
2.c.1.2. CLASS III INTERIOR ELEVATED SLABS AND WALLS	4000 PSI	4"
2.c.1.3. CLASS V OTHER WORK	4000 PSI	4"
2.c.1.4. CLASS VI LEAN CONCRETE FOR OVEREXCAVATION OF FOUNDATIONS	2000 PSI	N/A
- MIX DESIGN TO BE IN ACCORDANCE WITH ACI 318, CHAPTER 5. NO CALCIUM CHLORIDE ADMIXTURE CONTAINING CHLORIDES SHALL BE USED IN ANY CONCRETE
- COARSE AGGREGATE FOR NORMAL WIEGHT CONCRETE SHALL CONFORM TO ASTM C33 SIZE #57. COARSE AGGREGATE FOR LIGHTWEIGHT CONCRETE SHALL CONFORM TO ASTM C330 GRADED 3/4" TO 1/4".
- COLD WEATHER PLACEMENT SHALL COMPLY WITH ACI 306.1
- HOT WEATHER PLACEMENT SHALL COMPLY WITH ACI 305 R.
- CHAMFER ALL EXPOSED EDGES 3/4"
- THE MAXIMUM TEMPERATURE OF ALL CONCRETE AT DELIVERY TO THE SITE SHALL BE 85°F
- TOTAL DELIVERY TIME SHALL BE LESS THAN 75 MINUTES.



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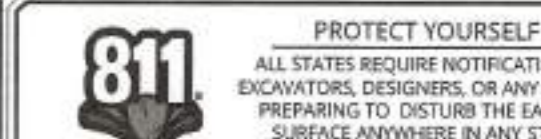
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A-7



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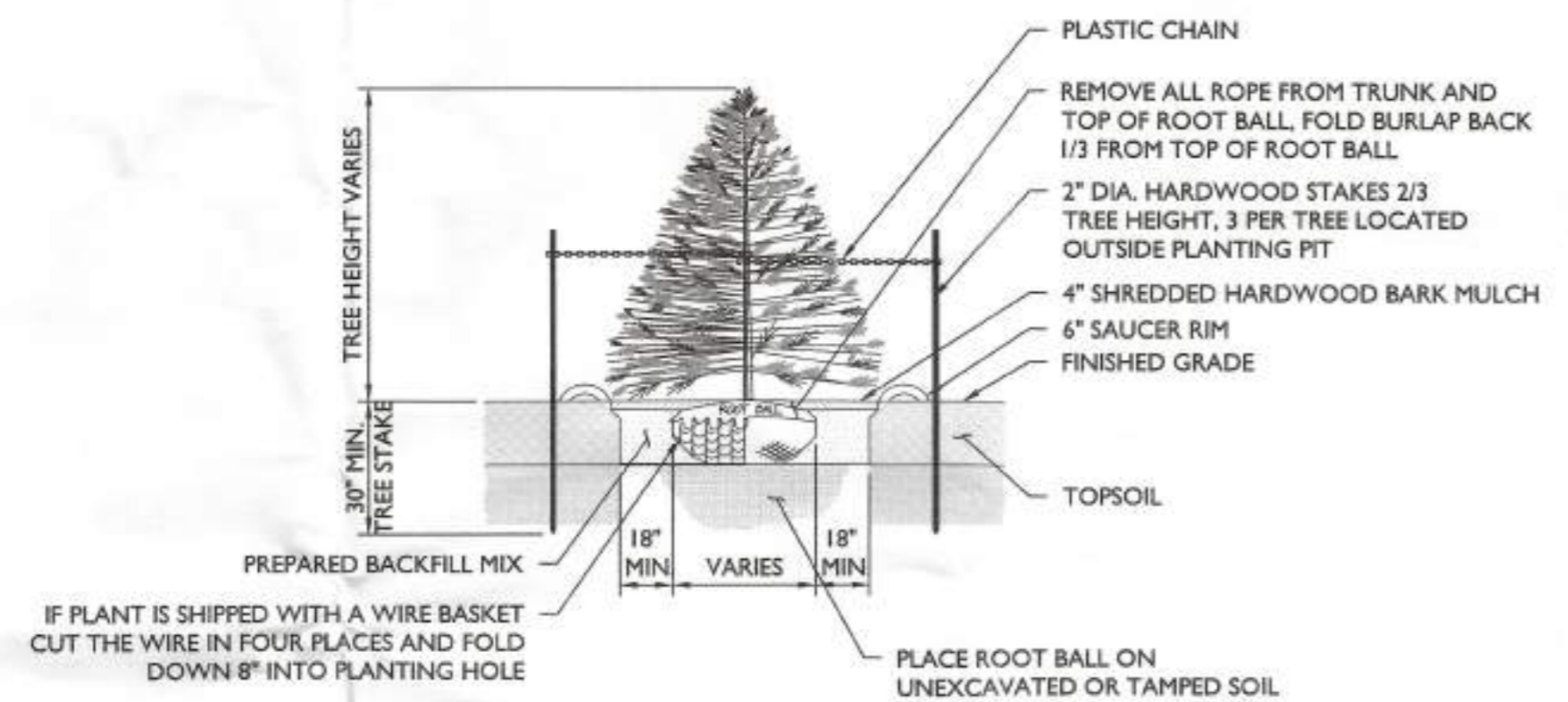
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CONSTRUCTION DETAILS

SHEET NUMBER:
A-8

LANDSCAPE MAINTENANCE NOTES:

- REFER TO THE ENGINEERING PLANS FOR ADDITIONAL INFORMATION REGARDING THE SITE DEVELOPMENT.
- CONTRACTOR TO REMOVE ANY EXISTING TREE OR SHRUB FROM THE PROPOSED COMPOUND.
- ALL PLANT MATERIAL SHALL CONFORM TO ALL LOCAL LAND DEVELOPMENT REGULATIONS AND ORDINANCES.
- ALL LANDSCAPE PLANTING AREAS SHALL BE MULCHED WITH 4" MINIMUM DEPTH OF SHREDDED HARDWOOD MULCH, EXCEPT TURF AREAS.
- ALL TREES AND SHRUBS SHALL BE GUARANTEED FOR A PERIOD OF 18 MONTHS FROM THE DATE OF PLANTING.
- ALL PLANTING OPERATIONS SHALL BE DONE IN THE APPROPRIATE WEATHER AFTER FINAL GRADING HAS OCCURRED. B&B MATERIAL MAY BE PLANTED AT ANY TIME WHEN THE SOIL AND BACKFILL ARE NOT FROZEN OR IN AN UNSUITABLE CONDITION. OTHER KINDS OF PLANTS SHALL BE PLANTED AT TIMES OF THE YEAR DICTATED BY GOOD HORTICULTURAL PRACTICES AND AVAILABILITY OF PLANT MATERIAL.
- NEWLY INSTALLED TREES AND SHRUBS SHALL BE IRRIGATED WEEKLY FOR THE FIRST GROWING SEASON.
- IN THE EVENT OF ANY DISCREPANCIES WITH THIS PLAN, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY FOR REVIEW AND RESOLUTION.
- BACKFILL MATERIAL FOR PLANTING AREAS SHALL BE COMPOSED OF 80% TOPSOIL AMENDED WITH 10% PEAT MOSS AND 10% FULLY COMPOSTED HORSE OR COW MANURE.
- THE QUALITY AND SIZE OF PLANT MATERIAL, SPREAD OF THE ROOTS AND THE SIZE OF THE ROOT BALL SHALL BE IN ACCORDANCE WITH "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. THEY SHALL HAVE NORMAL, WELL-DEVELOPED BRANCHES AND VIGOROUS FIBROUS ROOT SYSTEMS. ALL PLANTS SHALL BE NURSERY-GROWN, UNLESS OTHERWISE STATED. ALL PLANTS WHICH ARE FOUND UNSUITABLE IN GROWTH OR CONDITION, OR WHICH ARE NOT TRUE TO NAME, SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE PLANTS.
- PLANTS SHALL BE MEASURED AS THEY STAND IN THEIR NATURAL POSITION. STOCK FURNISHED SHALL BE A FAIR AVERAGE OF THE MINIMUM SIZES SPECIFIED OR OF THE RANGE GIVEN IN THE U.S.D.A STANDARDS FOR NURSERY STOCK. LARGER PLANTS CUT BACK TO SIZES SPECIFIED SHALL NOT BE ACCEPTED.
- ALL PRECAUTIONS CUSTOMARY IN GOOD TRADE PRACTICES SHALL BE TAKEN IN PREPARING PLANTS FOR MOVING. ALL BALLED AND BURLAPPED PLANTS SHALL BE DUG TO MEET OR EXCEED U.S.D.A. STANDARDS FOR NURSERY STOCK.
- PLANTS SHALL BE PACKED, TRANSPORTED AND HANDLED WITH UTMOST CARE TO ENSURE ADEQUATE PROTECTION AGAINST INJURY. EACH SHIPMENT SHALL BE CERTIFIED BY STATE AND FEDERAL AUTHORITIES TO BE FREE FROM DISEASES AND INFESTATION.
- IN ORDER TO ACHIEVE THE EFFECT ESTABLISHED IN THE PLANTING PLAN, UNIFORMITY OF PLANT MATERIAL IS DESIRED. THE PLANT MATERIAL SHALL BE OF THE SAME SIZE, AGE AND CULTIVAR, AND SHALL HAVE BEEN OBTAINED FROM THE SAME NURSERY.

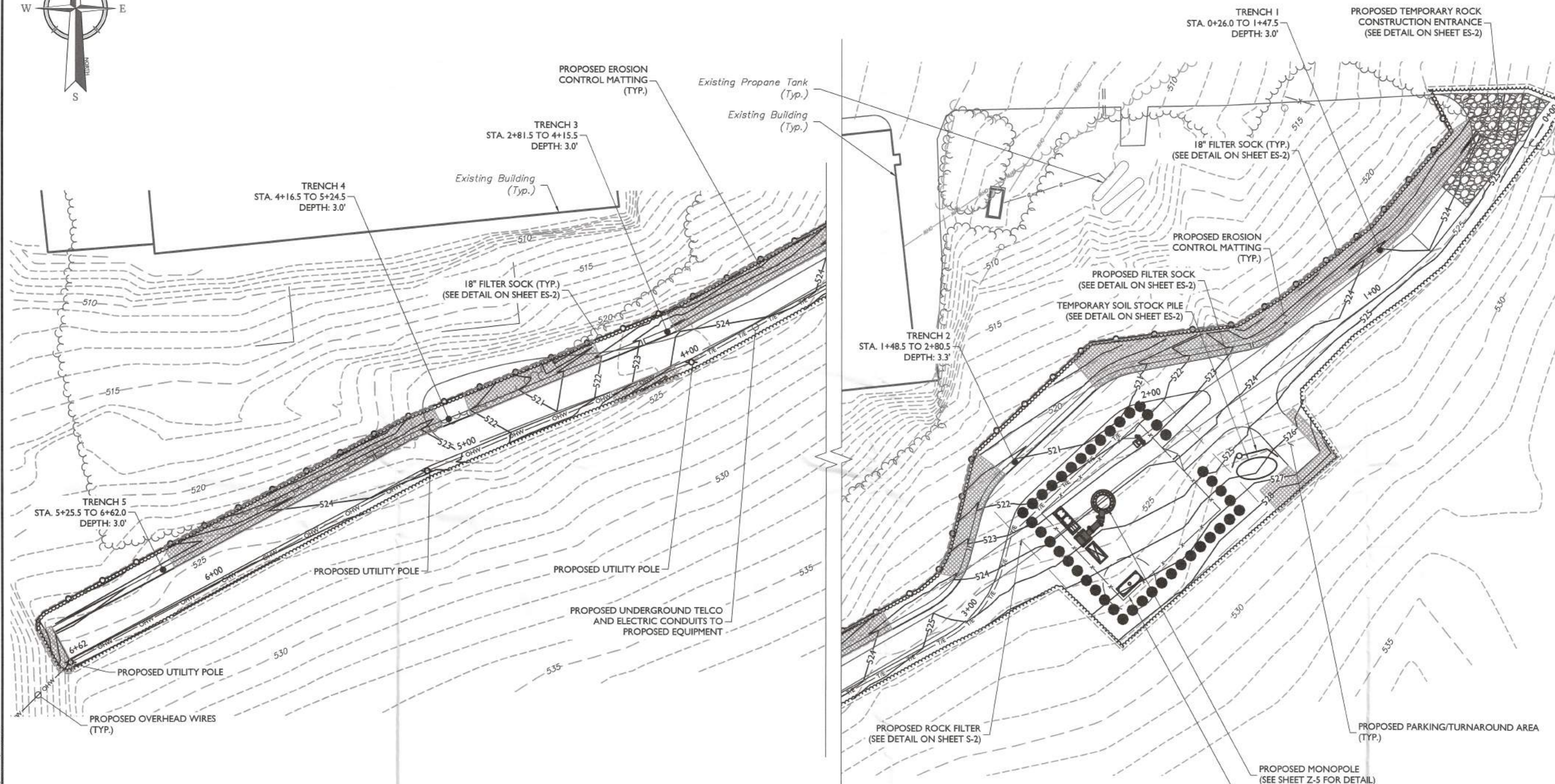
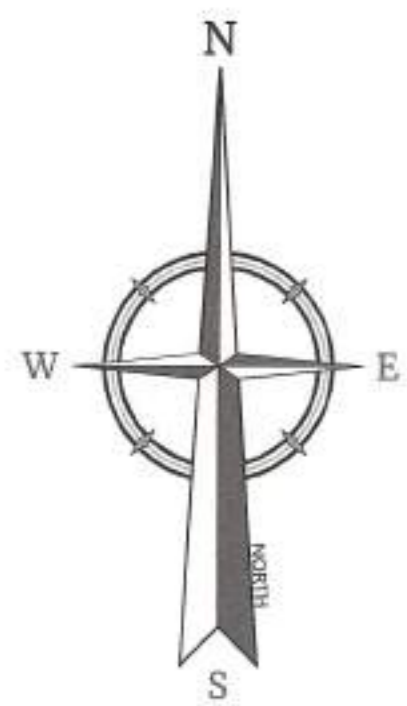
SCIENTIFIC	COMMON NAME	HEIGHT	SPACING	TYPE	TOTAL NUMBER
VIBURNUM RHYTTIDOPHYLLUM	LEATHERLEAF VIBURNUM	MIN. 6' AFTER 2 YEARS	PER PLAN	B&B	43



- NOTES:**
- NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
 - PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

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- LEGEND**
- Existing Edge of Gravel Road
 - - - Existing Major Contour
 - - - Existing Minor Contour
 - ~ Existing Features
 - ~ Existing Tree Line
 - - - Existing Overhead Wire Line
 - - - Existing Fence Line
 - - - Zoning Boundary
 - - - Setback Line
 - PROPOSED FILTER SOCK
 - x-x- PROPOSED CHAIN LINK FENCE
 - PROPOSED FEATURES
 - - - PROPOSED UNDERGROUND ELECTRIC/TELCO UTILITY LINES
 - - - LINE OF DISTURBANCE
 - - - PROPOSED CONTOUR

E&S CONTROL AND STORM WATER MANAGEMENT PLAN

SCALE: 1" = 20' FOR 22"X34"
(SCALE: 1" = 40' FOR 11"X17")

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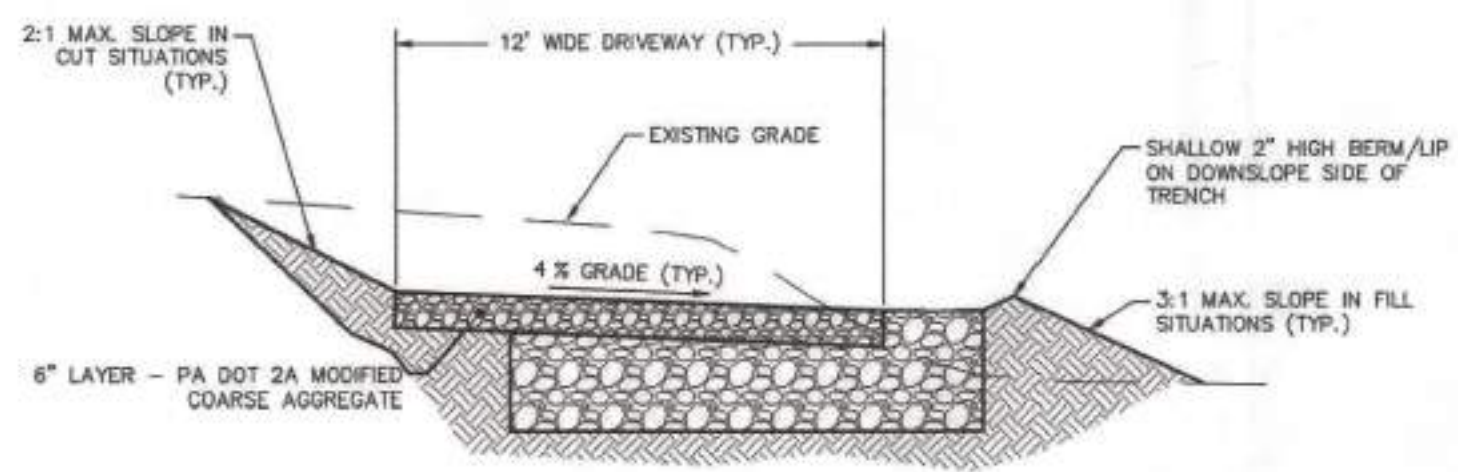
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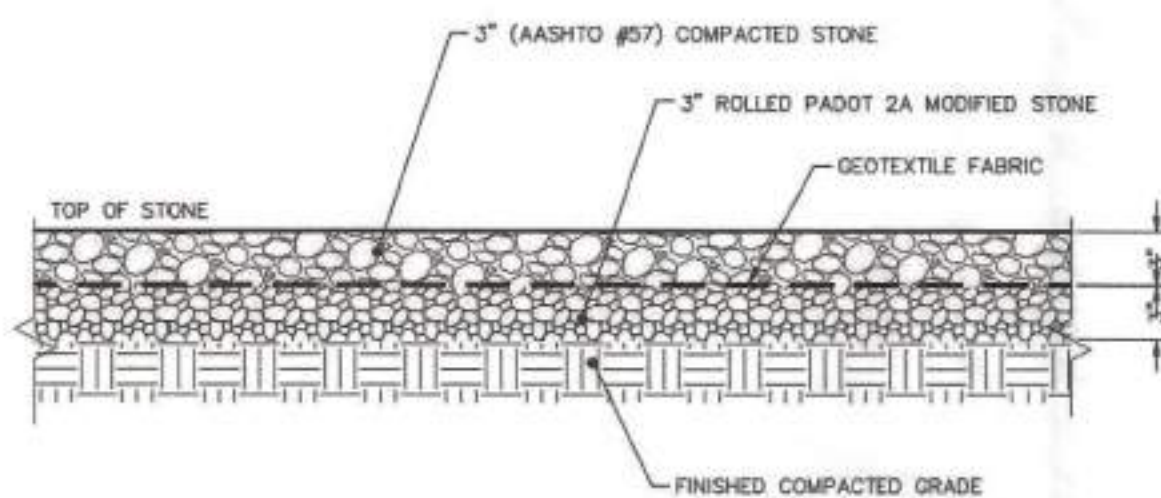
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TYPICAL STONE DRIVEWAY SECTION

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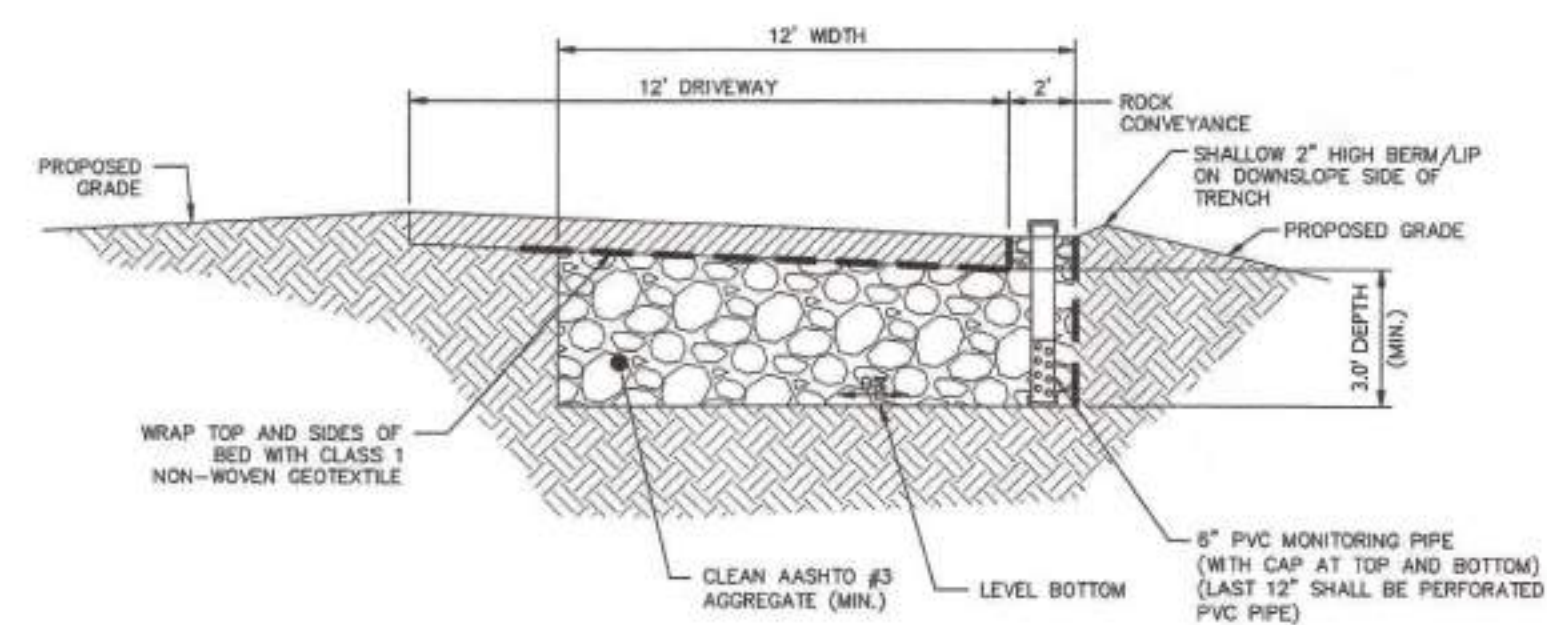
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COMPOUND STONE DETAIL

- NOTES:
1. SEE COMPOUND LAYOUT PLAN ON THIS SHEET FOR OVERALL DIMENSIONS.
 2. EXTEND GEOTEXTILE FABRIC AND CRUSHED STONE 1'-0" BEYOND FENCE.

12/07/22

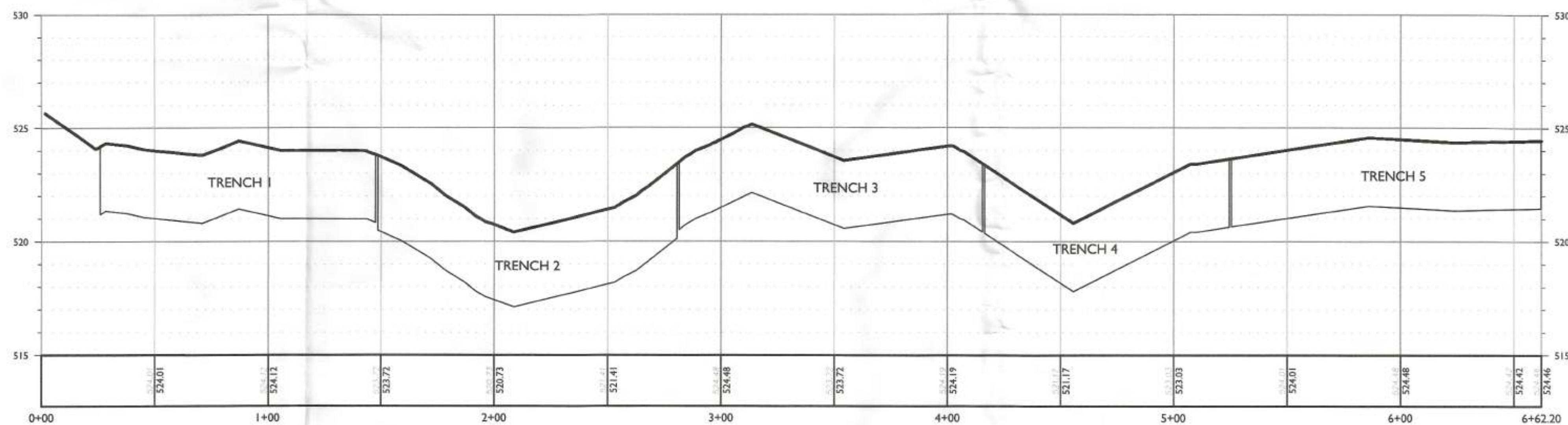


SECTION - INFILTRATION BED

TRENCH SIZING CHART			
INFILTRATION TRENCH	START STATION	END STATION	DEPTH
TRENCH 1	0+26.0	1+47.5	3.0'
TRENCH 2	1+48.5	2+80.5	3.0'
TRENCH 3	2+81.5	4+15.5	3.0'
TRENCH 4	4+16.5	5+24.5	3.0'
TRENCH 5	5+25.5	6+42.0	3.0'

STONE TRENCH DETAIL

NOT TO SCALE



PROFILE OF ACCESS ROAD
HORIZONTAL : 1" = 30'
VERTICAL : 1" = 3'

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E&S GRADING DETAILS

SHEET NUMBER:
ES-3

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

GENERAL SEDIMENT AND EROSION CONTROL METHODS/PROCEDURES

- 1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN... 2. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES... 3. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES... 4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS... 5. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL... 6. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE... 7. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS... 8. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAP(S)... 9. IMMEDIATELY UPON DISCOVERING UNFORESSEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION... 10. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS... 11. ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT... 12. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL... 13. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN... 14. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED PROPERLY... 15. A LOG SHOWING DATES THAT E&S BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE... 16. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE... 17. ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS... 18. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES... 19. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDIENCE OR OTHER RELATED PROBLEMS... 20. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS... 21. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS... 22. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS... 23. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES... 24. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD... 25. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED CUT SLOPES... 26. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT... 27. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER... 28. E&S BMPs SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED... 29. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS... 30. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED... 31. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS... 32. FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT-LOADED RUNOFF FROM LEAVING THE CONSTRUCTION SITE...

- 33. SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES... 34. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES... 35. ALL PUMPING OF SEDIMENT LOADED WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP... 36. ANY PLACEMENT OF CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL...

SEEPING SPECIFICATIONS

TEMPORARY COVER - PENNDOT FORMULA E

Table with 2 columns: SPECIES and APPLICATION RATE/APPLICATION DATE. Includes Annual Ryegrass and Ryegrass/Orchardgrass mix.

PERMANENT COVER - ERNST ERN-MX-132-1 RIGHT-OF-WAY NATIVE WOODS MIX WITH ANNUAL RYEGRASS OR APPROVED EQUAL

Table with 2 columns: APPLICATION RATE and APPLICATION DATE. Includes 30 lbs Acre and March 15 to June 1 / August 1 to October 15.

*VEGETATIVE STABILIZATION WILL BE PERIODICALLY INSPECTED FOR PROPER GROWTH. ANY AREAS NOT RESPONDING WILL BE PROMPTLY RESEEDED. AREAS WHICH SHOW SIGNS OF EROSION, PRIOR TO STABILIZATION, SHALL BE GRADED, RESEEDED, AND RE-MULCHED AS SOON AS POSSIBLE.

MULCHING SPECIFICATIONS

- 1. HAY OR STRAW - AIR-DRIED, FREE OF SEED AND COARSE MATERIAL... 2. THE MULCHING WILL BE UTILIZED DURING WINTER MONTHS... 3. THE DISTURBED AREAS WILL BE SEEDED WITHIN THE FIRST WEEK OF THE DESIGNATED GROWING SEASON... 4. STRAW MULCH SHALL BE APPLIED AT THE RATE OF 3.0 TONS PER ACRE... 5. STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN.

SOIL SUPPLEMENT SPECIFICATIONS

ALL TOPSOIL SHALL BE LOOSENEO TO A DEPTH OF AT LEAST 4". ALL OBJECTIONABLE MATERIAL LARGER THAN 2" SHALL BE REMOVED.

DUE TO THE NATURE OF THE SOILS AT THE SITE IT MAY BE NECESSARY TO IMPORT TOPSOIL WITH SUFFICIENT ORGANIC MATERIAL AND WATER CAPACITY TO SUSTAIN THE SPECIFIED SEED MIXTURE.

LIMESTONE AND FERTILIZER SHALL BE APPLIED UNIFORMLY TO AREAS TO BE SEEDED, AND WORKED INTO THE SOIL TO A DEPTH OF 6".

SUPPLEMENTS SHALL CONFORM TO THE REQUIREMENTS OF PENNDOT PUBLICATION 408, SECTION 804.

TEMPORARY

LIMING - PULVERIZED AGRICULTURAL LIMESTONE - APPLIED AT 800 LBS/ 1000 SY FERTILIZER - 10-20-10 ANALYSIS COMMERCIAL FERTILIZER - APPLIED AT 140 LBS PER 1000 SY

PERMANENT

LIMING - PULVERIZED AGRICULTURAL LIMESTONE - APPLIED AT 800 LBS/ 1000 SY FERTILIZER - 10-20-10 ANALYSIS COMMERCIAL FERTILIZER - APPLIED AT 140 LBS PER 1000 SY... OR 32-0-0 TO 38-0-0 SULFUR COATED UREA FERTILIZER - APPLIED AT 59 LBS/1000 SY OR 31-0-0 IBDU FERTILIZER - 61 LBS/1000 SY

SOILS LIMITATIONS & RESOLUTIONS

THE FOLLOWING ADDRESSES POTENTIAL ON-SITE SOILS USE LIMITATIONS AND PROPOSED RESOLUTIONS (RELATING TO THE SOILS WHERE CONSTRUCTION ACTIVITIES ARE PROPOSED):

SLOW PERCOLATION - INFILTRATION TESTING WAS PERFORMED TO CONFIRM SUITABILITY OF PROPOSED STORMWATER FACILITIES. SUBGRADE COMPACTION MUST BE LIMITED AS MUCH AS POSSIBLE IN INFILTRATION AREAS.

LOW STRENGTH/CUTBANKS CAVE - THE EXCAVATION IN CUT AND PLACEMENT OF FILL WILL BE MINIMAL AND FILL SHALL BE PROPERLY COMPACTED.

DROUGHTY/POOR TOPSOIL - SOIL SUPPLEMENTS WILL BE USED AS NEEDED.

FROST ACTION - FROZEN FILL MATERIAL MUST NOT BE USED DURING CONSTRUCTION. PLACE ASIDE AND ALLOW TO THAW AND DRY OUT PRIOR TO USE. DO NOT PLACE MATERIAL ON FROZEN GROUND.

PIPING - TRENCH BACKFILL SHALL BE PROPERLY COMPACTED WHEN INSTALLING UNDERGROUND UTILITIES.

RECYCLING AND DISPOSAL METHODS

PROCEDURES, WHICH ENSURE THAT THE PROPER MEASURES FOR THE RECYCLING OR DISPOSAL OF MATERIALS ASSOCIATED WITH OR FROM THE PROJECT SITE, WILL BE UNDERTAKEN IN ACCORDANCE WITH DEPARTMENT REGULATIONS. INDIVIDUALS RESPONSIBLE FOR EARTH DISTURBANCE ACTIVITIES MUST ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS.

CLEAN FILL AND ENVIROMENTAL DUE DILIGENCE

- 1. IF THE SITE WILL HAVE EXCESS FILL THAT WILL NEED TO BE EXPORTED TO AN OFF SITE LOCATION... 2. ALL FILL MATERIAL MUST BE USED IN ACCORDANCE WITH PA DEPS POLICY "MANAGEMENT OF FILL" DOCUMENT NUMBER 259-2182-773... 3. CLEAN FILL IS DEFINED AS UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL... 4. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS INVESTIGATIVE TECHNIQUES, INCLUDING BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES... 5. FILL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH PA DEPS MUNICIPAL OR RESIDENTIAL WASTE REGULATIONS...

MAINTENANCE PROGRAM

UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION CONTROLS MUST BE MAINTAINED PROPERLY. VERIZON WIRELESS IS RESPONSIBLE FOR MAINTAINING OF E&S BMPs. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION CONTROL DEVICES AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS.

WHERE DUST OR WIND EROSION IS A PROBLEM, THE UNSTABLE SURFACE(S) SHALL BE SPRINKLED WITH WATER OR OTHER SUITABLE DUST SUPPRESSER.

ANY TEMPORARY EROSION CONTROL MEASURE APPLIED TO EXPOSED SOIL SURFACES SHALL REMAIN FUNCTIONAL UNTIL VEGETATIVE COVER IS SUFFICIENTLY ESTABLISHED. TEMPORARY STABILIZATION SHALL OCCUR NO MORE THAN 4 DAYS AFTER EARTHMOVING ACTIVITIES CEASE.

ANY DEBRIS ACCUMULATED AT FILTER SOCKS SHALL BE REMOVED AND PROPERLY DISPOSED. BARRIERS SHALL BE CHECKED DAILY AND REALIGNED OR RESET AS REQUIRED. REMOVE SEDIMENT WHEN IT REACHES ONE HALF OF FENCE HEIGHT.

VEGETATIVE STABILIZATION SHALL BE PERIODICALLY INSPECTED FOR PROPER GROWTH. ANY AREAS NOT RESPONDING SHALL BE PROMPTLY RESEEDED. AREAS WHICH SHOW SIGNS OF EROSION PRIOR TO STABILIZATION SHALL BE GRADED, RESEEDED AND REPLACED AS SOON AS POSSIBLE. SOD SHALL BE UTILIZED AT AREAS WHERE SEEDING DOES NOT APPEAR TO BE PROPERLY STABILIZING AN AREA.

ALL EROSION AND SEDIMENTATION POLLUTION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL THE SITE HAS BEEN STABILIZED. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION.

SEQUENCE OF CONSTRUCTION

NOTE: ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE AND FOLLOWING STAGE IS INITIATED.

- 1. AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES... 2. MARK THE LIMITS OF DISTURBANCE IN THE FIELD... 3. INSTALL FILTER SOCK AT LOCATIONS INDICATED... 4. REMOVED EXISTING PAVED DRIVEWAY... 5. INSTALL TEMPORARY CONSTRUCTION ENTRANCE AND TEMPORARY ACCESS... 6. CLEAR AND GRUB ACCESS DRIVE AND TOWER COMPOUND... 7. REMOVE TOPSOIL STOCKPILE... 8. CONSTRUCT ACCESS DRIVE, INSTALL INFILTRATION TRENCH A2 AND STONE COLLECTION TRENCH... 9. PERFORM GRADING OPERATIONS AND CONSTRUCT IMPROVEMENTS ON SITE... 10. INSTALL EROSION CONTROL MATTING ON ALL SLOPES EQUAL TO OR STEEPER THAN 3: 1... 11. INSTALL INFILTRATION TRENCH A1... 12. INSTALL LANDSCAPING... 13. RE-APPLY TOPSOIL ON DISTURBED AREAS TO BE SEEDED...

- 14. PROCEDURES WHICH ENSURE THAT THE PROPER MEASURES FOR THE RECYCLING OR DISPOSAL OF MATERIALS ASSOCIATED WITH OR FROM THE PROJECT SITE WILL BE UNDERTAKEN... 15. WITH THE PERMISSION OF THE CONSERVATION DISTRICT INSPECTOR, REMOVE EROSION AND SEDIMENTATION CONTROL DEVICES WHEN THE SITE IS STABILIZED.

INFILTRATION FACILITIES NOTES

- 1. PLACE ORANGE CONSTRUCTION FENCE SURROUNDING THE PROPOSED INFILTRATION TRENCHES/BEDS... 2. THE BOTTOM OF THE BED MUST BE COMPLETELY LEVEL... 3. EXCAVATION SHALL BE DONE WITH A BACKHOE POSITIONED OFF TO THE SIDE OF THE TRENCHBED... 4. INFILTRATION TRENCH/BED FILTER FABRIC AND STONE SHOULD BE KEPT CLEAN OF SOIL/SEDIMENT... 5. STONE IS TO BE CHECKED BY THE DESIGN OR SITE ENGINEER PRIOR TO INSTALLATION... 6. ALL STONE FOR THE CONSTRUCTION OF THE INFILTRATION TRENCHES/BEDS SHOULD BE UNIFORMLY GRADED... 7. THE BOTTOM OF THE INFILTRATION TRENCH/BED SHALL BE UNDISTURBED OR UNCOMPACTED SUBGRADE... 8. INFLOW AND OUTFLOW POINTS INTO THE INFILTRATION TRENCH/BED SHOULD BE KEPT CLEAN OF LEAVES AND OTHER DEBRIS... 9. SHOULD BEDROCK, HIGH GROUNDWATER, OR SOIL LIMITATIONS PROHIBIT THE USE OF THIS SYSTEM... 10. CHECK STORMWATER MANAGEMENT SYSTEM REGULARLY... 11. ALSO SEE OTHER NOTES HEREON.

OPERATION AND MAINTENANCE SCHEDULE

- 1. VERIZON WIRELESS SHALL OWN, MAINTAIN AND BE RESPONSIBLE FOR ALL STORMWATER MANAGEMENT AND PERMANENT BMP FACILITIES (I.E. RAIN GARDENS, SEEPAGE BEDS, DETENTION BASINS AND SWALES) THAT ARE LOCATED OUTSIDE OF STREET RIGHT-OF-WAYS AS PROPOSED ON THE PLANS.

- 2. VERIZON WIRELESS SHALL CONDUCT A VISUAL INSPECTION OF ALL STORMWATER MANAGEMENT AND PERMANENT BMP FACILITIES AT LEAST ONCE EVERY THREE MONTHS... 3. VERIZON WIRELESS SHALL REMOVE ANY ACCUMULATION OF DEBRIS AND REPAIR ANY DAMAGE TO THE STORMWATER MANAGEMENT AND PERMANENT BMP FACILITIES... 4. VERIZON WIRELESS IS REQUIRED TO MAINTAIN A RECORD OF ALL INSPECTIONS, REPAIRS AND MAINTENANCE ACTIVITIES... 5. VERIZON WIRELESS SHALL ALSO COMPLY WITH ANY OTHER MAINTENANCE NOTES INCLUDED ON THE DEVELOPMENT PLANS... 6. VERIZON WIRELESS SHALL BE RESPONSIBLE FOR PROPER MAINTENANCE DURING AND AFTER DEVELOPMENT... 7. AT NO TIME WILL ANY ACTION BE TAKEN BY THE OCCUPANT TO DISRUPT OR IN ANY WAY IMPAIR THE EFFECTIVENESS OF ANY STORMWATER MANAGEMENT SYSTEM.

- 8. VERIZON WIRELESS SHALL BE RESPONSIBLE FOR PROPER MAINTENANCE DURING AND AFTER DEVELOPMENT. AT NO TIME WILL ANY ACTION BE TAKEN BY THE OCCUPANT TO DISRUPT OR IN ANY WAY IMPAIR THE EFFECTIVENESS OF ANY STORMWATER MANAGEMENT SYSTEM.

- 9. VERIZON WIRELESS SHALL BE RESPONSIBLE FOR PROPER MAINTENANCE DURING AND AFTER DEVELOPMENT. AT NO TIME WILL ANY ACTION BE TAKEN BY THE OCCUPANT TO DISRUPT OR IN ANY WAY IMPAIR THE EFFECTIVENESS OF ANY STORMWATER MANAGEMENT SYSTEM.

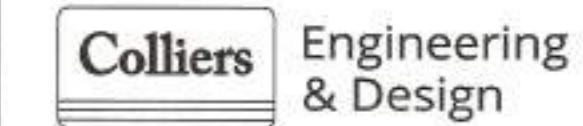
SPECIFIC OPERATION AND MAINTENANCE

STONE COLLECTION TRENCH WITH STONE CHANNEL DISCHARGE

- 1. INSPECT AT LEAST ONCE PER YEAR AND AFTER ANY STORM EVENT OF GREATER THAN 3 INCHES OF RAIN... 2. VERIFY STONE CHANNEL DISCHARGE IS OPERATIONAL... 3. INSPECT ROCK IN PIT AND/OR TRENCH TO DETERMINE IF IT IS NOT CLOGGED... 4. REMOVE ANY ACCUMULATED DEBRIS ON TOP OF STONE COLLECTION PIT OR AT THE OUTLET... 5. TRACK REPAIRS AND DATE COMPLETED IN LOG BOOK OR ON INSPECTION FORMS.

INFILTRATION TRENCH

- 1. INSPECT AT LEAST TWICE PER YEAR AND AFTER ANY STORM EVENT OF GREATER THAN 3 INCHES OF RAIN... 2. MAKE ANY REPAIRS NEEDED TO KEEP FACILITY FUNCTIONAL... 3. TRACK REPAIRS AND DATE COMPLETED IN LOG BOOK OR ON INSPECTION FORMS.



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SHEET TITLE: E&S CONTROL AND STORM WATER GENERAL NOTES

SHEET NUMBER: ES-4

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.