PROJECT NOTES

- SITE INFORMATION OBTAINED FROM THE FOLLOWING:
- BOUNDARY AND TOPOGRAPHY FROM FIELD-RUN SURVEY PERFORMED BY RETTEW ASSOCIATES, INC. IN AUGUST 2015 AND FEBRUARY 2020.
- LIMITED FIELD OBSERVATION BY COLLIERS ENGINEERING & DESIGN ON AUGUST 25, 2022.
- FINAL LAND DEVELOPMENT PLAN BY RETTEW DATED SEPTEMBER 3, 2020.
- ADDITIONAL TOPGRAPHY GATHERED BY COLLIERS ENGINEERING & DESIGN DATED NOVEMBER 9, 2022.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, LAWS AND REGULATIONS OF ALL MUNICIPALITIES, UTILITY COMPANIES OR OTHER PUBLIC/GOVERNING AUTHORITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS THAT MAY BE REQUIRED BY ANY FEDERAL, STATE, COUNTY OR MUNICIPAL AUTHORITIES.
- THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER, IN WRITING, OF ANY CONFLICTS, ERRORS OR OMISSIONS PRIOR TO THE SUBMISSION OF BIDS OR PERFORMANCE
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SITE IMPROVEMENTS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE AS A RESULT OF CONSTRUCTION OF THIS FACILITY AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
- THE SCOPE OF WORK FOR THIS PROJECT SHALL INCLUDE PROVIDING ALL MATERIALS, EQUIPMENT AND LABOR REQUIRED TO COMPLETE THIS PROJECT. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING THE BID TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND CONSTRUCTION DRAWINGS.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THESE DRAWINGS MUST BE VERIFIED. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.
- NO NOISE, SMOKE, DUST OR ODOR WILL RESULT FROM THIS FACILITY AS TO CAUSE A NUISANCE.
- THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION (NO HANDICAP ACCESS IS REQUIRED).
- THE FACILITY DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
- CONTRACTOR SHALL VERIFY ANTENNA ELEVATION AND AZIMUTHS WITH RF ENGINEERING PRIOR TO INSTALLATION.
- ALL STRUCTURAL ELEMENTS SHALL BE HOT DIPPED GALVANIZED STEEL.
- CONTRACTOR MUST FIELD LOCATE ALL EXISTING UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION.
- CONSTRUCTION SHALL NOT COMMENCE UNTIL COMPLETION OF A PASSING STRUCTURAL ANALYSIS CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER. THE STRUCTURAL ANALYSIS IS TO BE PERFORMED BY OTHERS.
- CONTRACTOR SHALL CONTACT STATE SPECIFIC ONE CALL SYSTEM THREE WORKING DAYS PRIOR TO ANY EARTH MOVING ACTIVITIES.
- PROPOSED WATER SUPPLY: N/A
- PROPOSED SANITARY SEWER SERVICE: N/A

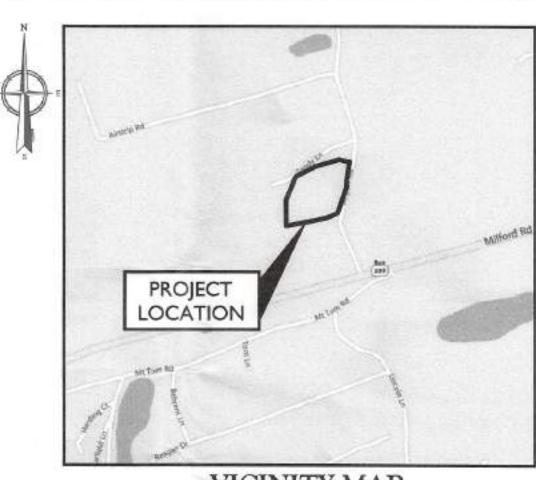
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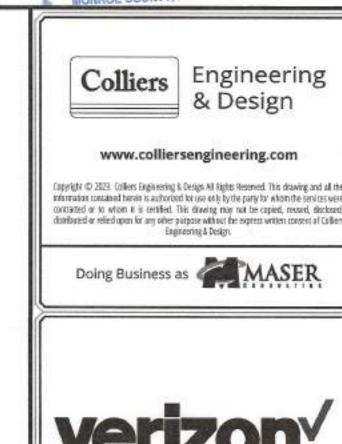
verizon

FINAL LAND DEVELOPMENT PLAN

SITE NAME: NEP MAGICK CAULDRON 119 AIRPORT ROAD EAST STROUDSBURG, PA 18301 MONROE COUNTY



VICINITY MAP SCALE: 1" = 800'



NORTHEAST PENNSYLVANIA SMSA LIMITED PARTNERSHIP d/b/a VERIZON WIRELESS

> 512 TOWNSHIP LINE ROAD **BUILDING 2, FLOOR 3** BLUE BELL, PA 19422

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT:

AS SHOWN

ALL STATES REQUIRE NOTIFICATION OF

SURFACE ANYWHERE IN ANY STATE

22960030A

CONDITIONAL USE

DENIED AT THE SMITHFIELD TOWNSHIP BOARD OF SUPERVISORS HEARING HELD ON JUNE 21, 2017. THE DECISION WAS

APPLICATION FOR THE DISTURBANCE OF STEEP SLOPES.

WAIVERS/MODIFICATIONS

SALDO, SECTION 401.1 - WAIVER OF PRELIMINARY PLAN SUBMISSION

ACTION: GRANTED AT THE BOARD OF SUPERVISORS MEETING ON OCTOBER 14, 2020.

SALDO, SECTION 603.A.(15) - WAIVER OF PROVIDING A COMMUNITY IMPACT ANALYSIS.

ACTION: GRANTED AT THE BOARD OF SUPERVISORS MEETING ON OCTOBER 14, 2020

SALDO, SECTION 603.B.(3) - WAIVER OF MINIMUM SHEET SIZE OF 24"x36" TO ALLOW PLAN SIZE OF 22"x34".

ACTION: GRANTED AT THE BOARD OF SUPERVISORS MEETING ON OCTOBER 14, 2020.

SALDO, SECTION 1024.11 - WAIVER OF PAVING THE ONE PARKING SPACE.

ACTION: GRANTED AT THE BOARD OF SUPERVISORS MEETING ON OCTOBER 14, 2020.

SALDO, SECTION 1101.1.C (AND ALL APPLICABLE SUBSECTIONS) - WAIVER OF PLANTING STREET TREES.

ACTION: GRANTED AT THE BOARD OF SUPERVISORS MEETING ON OCTOBER 14, 2020.

ACTION: GRANTED AT THE BOARD OF SUPERVISORS MEETING ON OCTOBER 14, 2020.

SALDO, SECTION 1020 - WAIVER OF SUBMITTING A LIGHTING PLAN AND PROPOSED LIGHTING STRUCTURES.

PROJECT INFORMATION

OVERTURNED ON JANUARY 15, 2020 BY THE UNITED STATES DISTRCIT COURT FOR MIDDLE DISTRICT OF PENNSYLVANIA.

ON NOVEMBER 10, 2020, THE SMITHFIELD TOWNSHIP BOARD OF SUPERVISORS APPROVED THE CONDITIONAL USE

LATITUDE: N 41° 01' 53.23" (NAD 83) LONGITUDE: W 75° 09' 19.07" (NAD 83) GROUND ELEVATION: 524'± AMSL (NAVD 88) JURISDICTION: SMITHFIELD TOWNSHIP COUNTY: MONROE COUNTY LOT AREA:

GROSS 5.209 ACRES (226,905 SF) NET 5.188 ACRES (226,011 SF)

INDUSTRIAL PROPOSED USED: WIRELESS COMMUNICATION TOWER, EQUIPMENT & ANTENNAS (WITHIN PROPOSED LEASE AREA)

APPLICANT/DEVELOPER

SITE INFORMATION

NORTHEAST PENNSYLVANIA SMSA LIMITED

PARTNERSHIP d/b/a **VERIZON WIRELESS** 4643 JONESTOWN ROAD, SUITE 200

717-540-6447

ADDRESS: CITY, STATE, ZIP: HARRISBURG, PA 17109

LAND OWNER

COMPANY:

PHONE #:

ADDRESS:

SOURCE OF TITLE

PG.4691

OWNER: RR2 AIRPORT ROAD, LLC PARCEL ID: 16/7/1/35 127 AIRPORT ROAD ADDRESS: CITY, STATE, ZIP: E STROUDSBURG, PA 18301

DEED REFERENCE: BOOK 2044 PG.2303

OWNER: STEPHEN SOMERS PARCEL ID: 16/117447 DEED REFERENCE: BOOK 2073 ADDRESS: 127 AIRPORT ROAD CITY, STATE, ZIP: E. STROUDSBURG, PA 18301

SITE ACQUISITION

COMPANY WIRELESS ACCESS TECHNOLOGIES, INC. CONTACT: SUE MANCHEL

PHONE: (267) 253-2762

CONSTRUCTION MANAGER

COMPANY: NORTHEAST PENNSYLVANIA SMSA LIMITED PARTNERSHIP d/b/a

> **VERIZON WIRELESS** 512 TOWNSHIP LINE ROAD. **BUILDING 2, FLOOR 3**

CITY, STATE, ZIP: BLUE BELL, PA 19422 ERIC FISHER CONTACT: PHONE: (267) 431-9887

ENGINEERING COMPANY

COMPANY: COLLIERS ENGINEERING & DESIGN, INC. ADDRESS: 2000 MIDLANTIC DRIVE, SUITE 100 CITY, STATE, ZIP: MT. LAUREL, NJ 08054

CONTACT: MATT GRAUBART, P.E. PHONE: (856) 797-0412 E-MAIL:

MATTHEW.GRAUBART@COLLIERSENG.COM

LOCATION INFORMATION

POWER PROVIDER PPL ELECTRIC

PHONE: 1-800-342-5775 TELEPHONE PROVIDER

POLICE

COMPANY: STROUD AREA REGIONAL POLICE ADDRESS: 100 DAY STREET

CITY, STATE, ZIP: EAST STROUDSBURG, PA 18301 PHONE: (570) 421-6800

FIRE

Z-1

Z-5

Z-6

Z-7

A-2

ES-2

COMPANY: CITY, STATE, ZIP:

SHEET DESCRIPTION

TITLE SHEET

ZONING INFORMATION

EXISTING CONDITIONS PLAN

SITE PLAN AND SITE NOTES

AERIAL SITE CONTEXT MAP

CONSTRUCTION DETAILS

E&S GRADING DETAILS

A-5 CONSTRUCTION DETAILS

GRADING AND STORM WATER PLAN

COMPOUND PLAN AND ELEVATION VIEW

LEASE AND EASEMENT DESCRIPTIONS

STROUDSBURG BOROUGH FIRE HOUSE 700 SARAH ST #1

SHEET INDEX

E&S CONTROL AND STORM WATER MANAGEMENT PLAN

E&S CONTROL AND STORM WATER GENERAL NOTES

E&S CONTROL AND STORM WATER DETAILS

STROUDSBURG, PA 18360 NAME: (570) 421-6960

GENERAL NOTES AND CERTIFICATIONS

IN CASE OF EMERGENCY, CALL 9-1-1

ENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER LICENSE NUMBER: PE092542 COLLIERS ENGINEERING & DESIGN, INC.

2/07/23 ISSUE FOR REVIEW

REV DATE DESCRIPTION

ISSUE FOR REVIEW

IT IS A VIOLATION OF LAW FOR ANY PERSON. INLESS THEY ARE ACTING UNDER THE DIRECTION OF THE RESPONSIBLE LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

SITE NAME:

NEP MAGICK CAULDRON

119 AIRPORT ROAD EAST STROUDSBURG, PA 18301 MONROE COUNTY

Colliers Engineering

941 Marcon Blvd #801 Allentown, PA 18109 Phone: 610.868.4201 COLLIERS ENGINEERING & DESIGN, INC. DOING BUSINESS AS MASER CONSULTIN

ALLENTOWN

TITLE SHEET

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION

COLLIERS ENGINEERING & DESIGN ALL RIGHTS RESERVED

CONSENT OF COLLIERS ENGINEERING & DESIGN.

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING CODES.

- PENNSYLVANIA UNIFORM CONSTRUCTION CODE, INCORPORATING THE 2018 INTERNATIONAL BUILDING CODE
- 2017 NATIONAL ELECTRICAL CODE NFPA 70
- 2018 INTERNATIONAL FIRE CODE
- AMERICAN INSTITUTE OF STEEL CONSTRUCTION 360-16
- AMERICAN CONCRETE INSTITUTE
- TIA-222-H
- TIA 607 FOR GROUNDING

- INSTITUTE FOR ELECTRICAL AND ELECTRONICS **ENGINEERS 81 IEEE C2 LATEST EDITION**
- 10. ANSITI.311

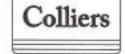
TELCORDIA GR-1275

- 11. PROPOSED USE: UNMANNED TELECOM FACILITY HANDICAP REQUIREMENTS: FACILITY IS UNMANNED
- FOR HUMAN HABITATION, HANDICAPPED ACCESS NOT REQUIRED.
- 13. CONSTRUCTION TYPE: IIB
- 14. USE GROUP: U

GENERAL NOTES

- HORIZONTAL DATUM AND BEARINGS BASE: PENNSYLVANIA STATE PLANE COORDINATE SYSTEM; NORTH ZONE, NAD83 PER NGS OPUS SOLUTION OF GPS OBSERVATIONS.
- VERTICAL DATUM: NAVD88 PER NGS OPUS SOLUTION OF GPS OBSERVATIONS, CONTOUR INTERVAL = 1 FOOT.
- BENCHMARK: NAIL (FND) LOCATED ON THE WEST SIDE OF AIRPORT ROAD, ELEVATION = 535.47'. SEE SHEET Z-2 FOR
- 4. SOILS INFORMATION TAKEN FROM WEB SOIL SURVEY.
- UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND WERE DETERMINED FROM VISIBLE LOCATION. PA ONE CALL UTILITY RESPONSES AND/OR BEST AVAILABLE PLAN INFORMATION. (COLLIERS ENGINEERING & DESIGN CANNOT GUARANTEE THE EXACT LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES. AN EXACT LOCATION CAN ONLY BE OBTAINED BY SUBSURFACE EXPLORATION, WHICH IS NOT A PART OF THIS CONTRACT PERFORMANCE).
- NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN AN AREA OF AN EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT OR CONFLICT WITH THE EASEMENT AGREEMENT.
- 7. NOTHING EXCEPT EROSION CONTROL AND/OR STORM WATER MANAGEMENT FACILITIES SHALL BE PLACED, PLANTED, OR PUT WITHIN THE AREA OF A STORM WATER MANAGEMENT EASEMENT.
- THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITIES AT LEAST 72 HOURS PRIOR TO THE START OF ANY CONSTRUCTION, ALL UTILITIES HAVE BEEN IDENTIFIED BASED ON THE BEST AVAILABLE INFORMATION AND LISTED ON THESE PLANS IN ACCORDANCE WITH ACT 187 REQUIREMENTS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF EXISTING UTILITIES AND ALL EFFORTS SHALL BE UNDERTAKEN TO PROTECT EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. RESTORATION OF ALL EXISTING SURFACE IMPROVEMENTS DAMAGED OR ALTERED DURING CONSTRUCTION, INCLUDING LANDSCAPING, SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR. (COLLIERS ENGINEERING & DESIGN CANNOT GUARANTEE THE EXACT LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES. AN EXACT LOCATION CAN ONLY BE OBTAINED BY SUBSURFACE EXPLORATION, WHICH IS NOT A PART OF THIS CONTRACT PERFORMANCE).
- THE CONTRACTOR SHALL MAKE PROVISIONS FOR MAINTAINING THE SAFE FLOW OF TRAFFIC DURING CONSTRUCTION WITHIN THE SITE AND EXISTING ROAD RIGHT-OF-WAY WHILE ENTERING AND LEAVING THE SITE.
- ALL STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND TO THE STANDARDS OF THE MUNICIPAL ORDINANCES.
- II. STORMWATER FACILITIES, INCLUDING SWALES, STORM PIPING, AND APPURTENANCES SHALL BE MAINTAINED IN GOOD WORKING CONDITION BY THE DEVELOPER OR THE SUCCESSIVE LAND OWNER. SMITHFIELD TOWNSHIP SHALL HAVE THE RIGHT TO INSPECT THE FACILITIES AT ANY TIME; REQUIRE THE OWNER TO TAKE CORRECTIVE MEASURES AND ASSIGN THE OWNER REASONABLE TIME PERIODS FOR ANY NECESSARY ACTION; AUTHORIZE MAINTENANCE TO BE DONE; AND LIEN ALL COST OF THE WORK AGAINST THE PROPERTIES OF THE OWNER RESPONSIBLE FOR THE MAINTENANCE.
- SMITHFIELD TOWNSHIP SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OR MAINTENANCE OF ANY AREA NOT DEDICATED FOR THE PUBLIC USE. AS SUCH, NO AREAS ARE OFFERED FOR DEDICATION ON THIS PLAN.

CERTIFICATIONS CERTIFICATION OF SURVEY ACCURACY CERTIFICATE OF OWNERSHIP, ACKNOWLEDGEMENT OF PLAN, AND OF DEDICATION EQUITABLE OWNER/LESSOR - VERIZON WIRELESS I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE SMITHFIELD TOWNSHIP SUBDIVISION AND COMMONWEALTH OF PENNSYLVANIA LAND DEVELOPMENT ORDINANCE. COUNTY OF MONROE ON THIS, THE DAY OF , 20 BEFORE ME, THE UNDERSIGNED OFFICER. PERSONALLY APPEARED BEING ON OF THE FIRM OF CERTIFICATION OF PLAN ACCURACY WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THE CORPORATION IS THE I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE PLANS ARE IN CONFORMITY WITH ENGINEERING, ZONING BUILDING, SANITATION OF PROPERTY SHOWN ON THIS PLAN, AND OTHER APPLICABLE TOWNSHIP ORDINANCES AND REGULATIONS. THAT HE/SHE IS AUTHORIZED TO EXECUTE SAID PLAN ON BEHALF OF THE CORPORATION, THAT THE PLAN IS THE ACT AND DEED OF THE CORPORATION, THAT THE CORPORATION DESIRES THE SAME TO BE RECORDED ACCORDING TO LAW. (TITLE) STORM DRAINAGE PLAN CERTIFICATION (SIGNATURE) I HEREBY CERTIFY THAT THE DRAINAGE PLAN MEETS ALL STANDARDS AND CRITERIA OF THE BRODHEAD/MCMICHAELS WATERSHED ACT 167 PLAN AND THE SMITHFIELD TOWNSHIP STORM WATER MANAGEMENT ORDINANCE. (NOTARY PUBLIC) SMITHFIELD TOWNSHIP PLANNING COMMISSION REVIEW CERTIFICATION AT A MEETING ON , 20 , THE SMITHFIELD TOWNSHIP PLANNING COMMISSION REVIEWED THIS PLAN. CERTIFICATE OF OWNERSHIP, ACKNOWLEDGEMENT OF PLAN, AND *SIGNATURE OF THE DIRECTOR OF PLANNING DEDICATION OWNER - RR2 AIRPORT ROAD, LLC COMMONWEALTH OF PENNSYLVANIA COUNTY OF MONROE SMITHFIELD TOWNSHIP'S BOARD OF SUPERVISORS FINAL PLAN APPROVAL CERTIFICATE ON THIS, THE DAY OF , 20 BEFORE ME, THE AT A MEETING ON UNDERSIGNED OFFICER. TOWNSHIP BOARD OF SUPERVISORS APPROVED THIS PROJECT, INCLUDING THE COMPLETE SET OF PLANS AND INFORMATION WHICH ARE FILED WITH THE PERSONALLY APPEARED SUPERVISORS IN FILE NO. , BASED UPON ITS CONFORMITY WITH THE BEING ON OF THE FIRM OF STANDARDS OF THE SMITHFIELD TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE. WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THE CORPORATION IS THE OF THE PROPERTY SHOWN ON THIS PLAN, THAT HE/SHE IS AUTHORIZED TO EXECUTE SAID PLAN ON BEHALF OF THE CORPORATION, THAT THE PLAN IS THE ACT AND DEED OF THE MONROE COUNTY PLANNING COMMISSION CORPORATION, THAT THE CORPORATION DESIRES THE SAME TO BE RECORDED, AND ON BEHALF OF THE CORPORATION FURTHER THIS PLAN REVIEWED BY THE MONROE COUNTY PLANNING COMMISSION. ACKNOWLEDGES THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY DEDICATED TO THE PUBLIC USE. COUNTY REVIEWER DATE (TITLE) SMITHFIELD TOWNSHIP ENGINEER THIS PLAN REVIEWED BY THE SMITHFIELD TOWNSHIP ENGINEER. (SIGNATURE) TOWNSHIP ENGINEER DATE (NOTARY PUBLIC) OWNER ACKNOWLEDGEMENT RECORDING INFORMATION I ACKNOWLEDGE THAT, THE STORMWATER MANAGEMENT SYSTEM AND ANY PERMANENT STORMWATER BMP REQUIRED BY AN APPROVED BMP OPERATIONS AND RECORDED IN THE MONROE COUNTY COURTHOUSE THIS MAINTENANCE PLAN TO BE A PERMANENT FIXTURE THAT CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL OF A REVISED PLAN BY SMITHFIELD TOWNSHIP AND DAY OF 20___. INSTRUMENT NO. THAT ANY REVISION TO THE APPROVED DRAINAGE PLAN MUST BE APPROVED BY THE TOWNSHIP AND THAT A REVISED EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO THE CONSERVATION DISTRICT FOR A DETERMINATION OF ADEQUACY. (DATE) (OWNER SIGNATURE)



Engineering & Design

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NORTHEAST PENNSYLVANIA SMSA LIMITED PARTNERSHIP d/b/a VERIZON WIRELESS

> 512 TOWNSHIP LINE ROAD BUILDING 2, FLOOR 3 BLUE BELL, PA 19422



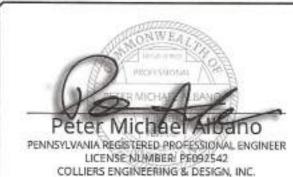
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SITE NAME:

NEP MAGICK CAULDRON

119 AIRPORT ROAD EAST STROUDSBURG, PA 18301 MONROE COUNTY

Colliers

ALLENTOWN 941 Marcon Blvd #801

Allentown, PA 18109
Phone: 610.868.4201
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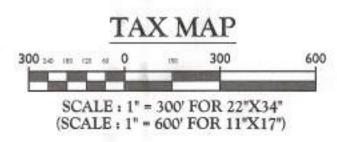
GENERAL NOTES AND CERTIFICATIONS

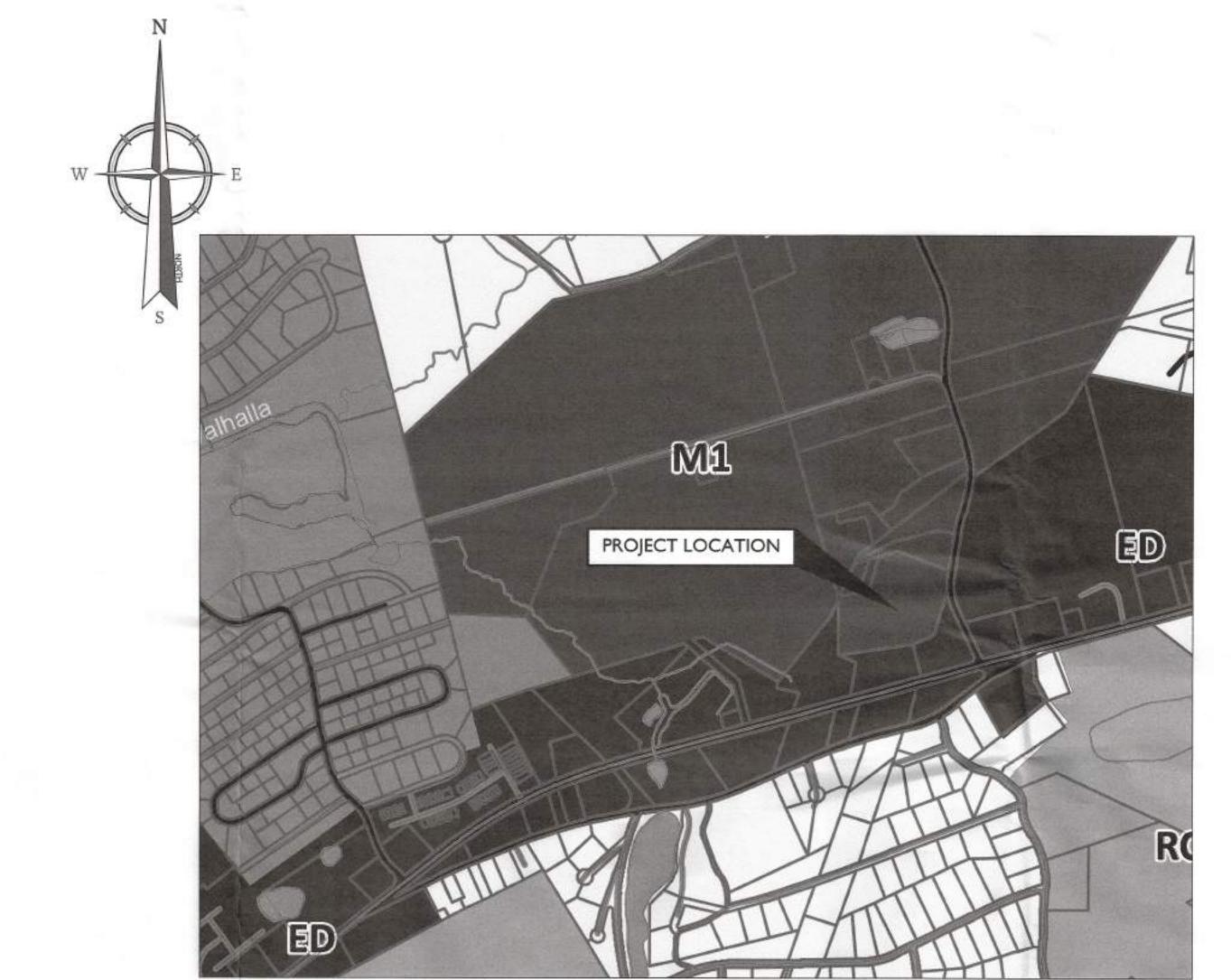
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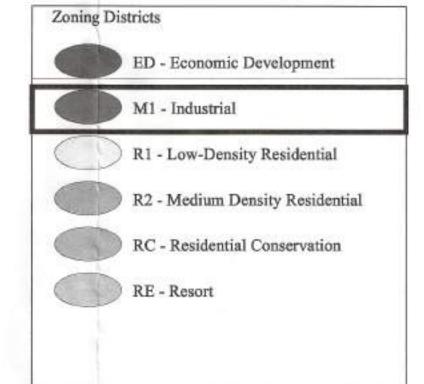
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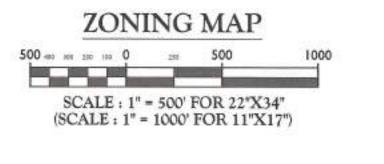














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SITE NAME:

NEP MAGICK CAULDRON

119 AIRPORT ROAD EAST STROUDSBURG, PA 18301 MONROE COUNTY

Engineer & Desig ALLENTOWN 941 Marcon Blvd #801

Allentown, PA 18109
Phone: 610.868,4201
COLLERS ENGINEERING & DESIGN, INC.
DOING BUSINESS AS MASER CONSULTING

DOING BUSINESS AS MASER CON

SHEET TITLE:

ZONING INFORMATION

SHEET N

Z-I

SITE NOTES

WOODLANDS

AREA OF EXISTING WOODLANDS:

3.38 ACRES DISTURBANCE OF EXISTING WOODLANDS: 0.32 ACRES

SOILS CLASSIFICATION

BeC: BENSON-ROCK OUTCROP COMPLEX, 8-25% SLOPES HYDROLOGIC SOIL GROUP: D

Ms: MUCKY PEAT, SHALLOW HYDROLOGIC SOIL GROUP: B/D

ACT 187

AS REFERENCED WITHIN THE DRAWINGS PREPARED BY RETTEW ASSOCIATES, INC. LASTED DATED 11/16/2020.

RETTEW ASSOCIATES, INC. HEREBY STATES THAT, PURSUANT TO THE PROVISIONS OF ACT NO. 287 OF 1974, AS AMENDED BY ACT 187 OF 1996, OF THE PENNSYLVANIA LEGISLATURE, IT HAS PERFORMED THE FOLLOWING IN PREPARING THESE DRAWINGS REQUIRING EXCAVATION OR DEMOLITION WORK AT SITES WITHIN THE POLITICAL SUBDIVISION(S) SHOWN ON THE DRAWINGS:

- PURSUANT TO SECTION 4, CLAUSE (2) OF SAID ACT, RETTEW ASSOCIATES, INC. REQUESTED FROM EACH USER'S OFFICE DESIGNATED ON SUCH LIST PROVIDED BY THE ONE CALL SYSTEM NOTIFICATION, THE INFORMATION PRESCRIBED BY SECTION 2, CLAUSE (4) OF SAID ACT, NOT LESS THAN (10) NOR MORE THAN (90) WORKING DAYS BEFORE FINAL DESIGN IS TO BE COMPLETED.
- PURSUANT TO SECTION 4, CLAUSE (5) OF SAID ACT, RETTEW ASSOCIATES, INC. HAS MET THEIR OBLIGATIONS OF CLAUSE (2) BY CALLING THE ONE CALL SYSTEM SERVING THE LOCATION WHERE EXCAVATION IS TO BE PERFORMED.
- PURSUANT TO SECTION 4, CLAUSE (3) OF SAID ACT, RETTEW ASSOCIATES, INC. HAS SHOWN UPON THESE DRAWINGS "THE POSTION AND TYPE OF EACH LINE, AS DERIVED PURSUANT TO THE REQUEST MADE AS REQUIRED BY CLAUSE (2), THE SERIAL NUMBER PROVIDED BY THE ONE CALL SYSTEM, THE TOLL-FREE ONE CALL SYSTEM PHONE NUMBER, AND THE NAME OF THE USER, THE USER'S DESIGNATED OFFICE ADDRESS AND PHONE NUMBER AS SHOWN ON THE LIST REFERRED TO IN SECTION 4, CLAUSE (5) OF SAID ACT."

AND RETTEW ASSOCIATES, INC. DOES NOT MAKE ANY REPRESENTATION WARRANTY, ASSURANCE OR GUARANTEE THAT THE INFORMATION RECEIVED PURSUANT TO SAID REQUEST AND AS REFLECTED ON THESE DRAWINGS IS CORRECT OR ACCURATE, BUT RETTEW ASSOCIATES, INC. IS REFLECTING SAID INFORMATION ON THESE DRAWINGS ONLY DUE TO THE REQUIREMENTS OF THE SAID ACT NO. 187 OF DECEMBER 19, 1996.

ONE CALL SYSTEM SERIAL NO. NOTIFICATION BY RETTEW ASSOCIATES, INC.

NO EXISTING WATER OR SEWER SERVICES WHERE FOUND IN

COMPOUND DURING THE FIELD SURVEY. PRIOR TO THE START OF CONSTRUCTION, THE CONSTRUCTION TEAM SHALL PLACE

Existing Subject Property Line

Existing Edge of Gravel Road

A DIG PA ONE-CALL TO HAVE ALL UTILITIES LOCATED TO

OCCUR DUE TO CONSTRUCTION OF THE IMPROVEMENTS

ENSURE THAT NO INTERRUPTION OF ANY SERVICE WILL

THE VICINITY OF THE PROPOSED ACCESS DRIVE OR

DATE: APRIL 1, 2020

WATER & SEWER NOTE

SHOWN ON THIS PLAN.

— - - Existing Right of Way

----- Existing Overhead Wire Line

Existing Features

----- Existing Structure

Existing Tree Line

----- Existing Fence Line

— — — LINE OF DISTURBANCE

- - - Zoning Boundary

--- Setback Line

LEGEND

ONE CALL SYSTEM SERIAL NUMBER: 20200921767

CURVE TABLE: EXISTING PROPERTY LINE						N	
Curve Radius Arc Chord Bearing Chord Length Delta				S7973'48"E_	1. 1.	ĵ	
C1 2649.71' 171.20' S08*55'09"W 171.17' 003.7019 C2 808.37' 54.27' S05*08'42"W 54.26' 003.8466				114.04	[i] ! [c	1	
C3 808.37' 33.03' S02'03'03"W 33.03' 002.3414	RR2 AIRPO	N/F RT ROAD, LLC D 16/7/1/38	4' STEEL CHAIN LINK		1		
CURVE TABLE: EXISTING RIGHT-OF-WAY LINE		0 16/7/1/38 17, PG. 7290 N73*58'55"E_	CHAIN LINK-		[16.50]		Go int
Curve Radius Arc Chord Bearing Chord Length Delta	ñ	254.61	GATE WAY	\	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	E	de
C4 2666.21' 172.27' S08'55'09"W 172.24' 003.7019 C5 824.87' 50.53' S05'18'47"W 50.53' 003.5101	}		1	I see the	34 118		
C5 824.87' 50.53' S05'18'47"W 50.53' 003.5101 C6 824.87' 15.07' S03'02'05"W 15.07' 001.0466	}	~	- Too		SW 1118	NOR	Ŀ
C7 388.78' 61.50' S02'49'45"W 61.43' 009.0628			1	/ BeC	nurr pole		
	1894		1 /	The service and service	1ET-ED; 40 19T-62940 S	S	
163'03'53'E	34/ >	1 1	EXISTING BUILDING	AND WOOD PENCE	10 10 10		Ш,
230.9 N72'35'50"E		<u> </u>		$\Delta IIII$			
	A TOUT TO	17		1 \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	[] [] [] [] [] [] [] [] [] []		
N22'32'02"E		18	STEPHEN SOME PARCEL ID 16/11 BOOK 2073, PG.	R5 \ 5	/# 1 1 ₹		
26.41' 5N/259.74'		- Jaj	5700	1001	1 2		F
	MILLITIA	SOE YARD	340.69 SETBACO		SIII II E-		1
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NA LANGE TO THE STATE OF THE ST	HILL MINISTER	144	1 1 1 1 Tionwood	POLE 17.18'	XI T-IR I S Q		
PARCEL ID 16/7/1/5-1 BOOK 2052, PG. 2410	BRITAINOUS PARKEUN	1111	Tisez- W.TRAN	POLE ERCY 62926 ISFORMER B	A B	N/F SANDERMAN FAMILY TRUST PARCEL ID 18/7/1/39	
	VIAIII	1/	XY/M//X	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	3-1-2	PARCEL ID 16/7/1/39 BOOK 2398, PG. 4753	
N3 11222	THELEVE	IX	The state of the s	CHAIN LINK	}		L
Ms No		1819 WIRE -	The state of the s	NET TOXX 18.9' WIRE	13		r
	1	University	*************************************		39.74'		
	} {	POLE S		107			Kno (
N17'48'41"E	GENERA TOR	000			11 8		L
53.29' RR2	AIRPORT ROAD, LLC			AT TY POLE	111		SCAL
165.03 BO	RCEL ID 16/7/1/35 POK 2044, PG. 2303				NO)	BENCHMARK	<u>-</u>
N2378'00"E 38.05'	MET-ED 71562-62920			woods	-11 11 8	TOP OF NAIL (FND) ELEV: 535.47	-
MARY F. HAMLEN PARCEL ID 16/7/1/8 BOOK 2352, PG. 5	EXISTING BUILDING				1/ // 6		- 1
			Allin	1 8 8	11 11		
		11/1	GRANGEL				٨
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BeC		992		661.	1 22	EXISTING UTILITY POLE	
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91.00		_530	11/1/1	1" IRON PA	ROAD PROPERTIES, LLC ROEL ID 16/7/1/34 OK 2238, PG. 9086		E
520		 	SS.081	PIPE (FND) BO	\	POLE WI TRANSFC	U
NA - 3 / 3 - 2 / 3 - 2 / 4 / 2 / 4 / 4 / 4 / 4 / 4 / 4 / 4 /	March 1	52-	W.85.128			1/ //	F
RR2 AIRPORT ROAD, LLC PARCEL ID 16/7/1/31 BOOK 2402, PG. 6500		905- 1	IRON PIN (FND)			// //	
SIDE YARD SETBACK							
8 - 65.854 8 - 65.854						// //	
M1 - INDUSTRIAL M, 90,99,00			1" IRON PIPE (FND)			X	E
B1 - PLANNED BLVD COMMERCIAL MT TOM ROAD PROPERTIES, LLC PARCEL ID 16/7/1/32 ROOK 2340 PG 6173							
B1 - PL" PARCEL ID 16/7/1/32 BOOK 2340, PG. 6173							
	HATCH STEEP SLOP	SLOPE	STEEP ALLOWABLE MAXIMUM	SLOPE ANALYSIS TOTAL SLOPE AREA ON	PROPOSED DISTURBANCE	DISTURBANCE	
EXISTING CONDITIONS PLAN	LEGEND CATEGORY	PERCENT	AREA OF DISTURBANCE	PROPERTY	IMPACT (AREA)	IMPACT (PERCENT)	
40 x3 24 14 0 23 40 80	MODERATELY STEEP SLOPE	15%-25%	60%	40,311 S.F.	8,104 S.F.	20.10%	SHEET
SCALE: 1" = 40' FOR 22"X34"	VERY STEEP SLOPE	25% OR GREATER	10%	18,457 S.F.	1321.8 S.F.	7.15%	L'

DISTURBANCE

IMPACT

SCALE: 1" = 40' FOR 22"X34"

(SCALE: 1" = 80' FOR 11"X17")



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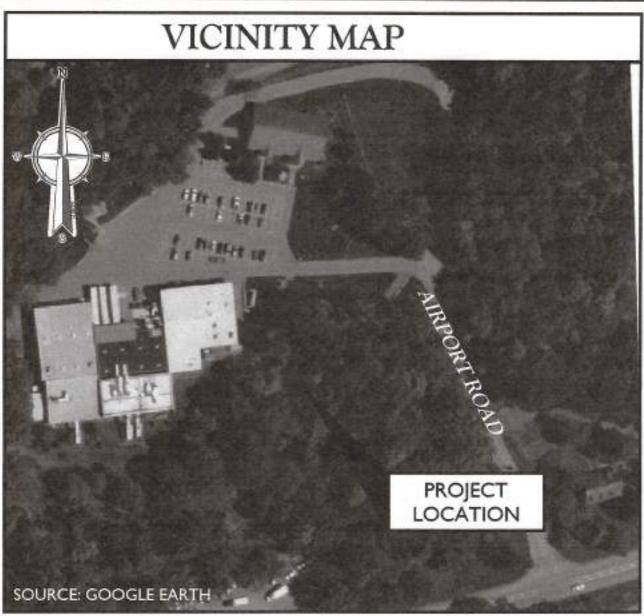
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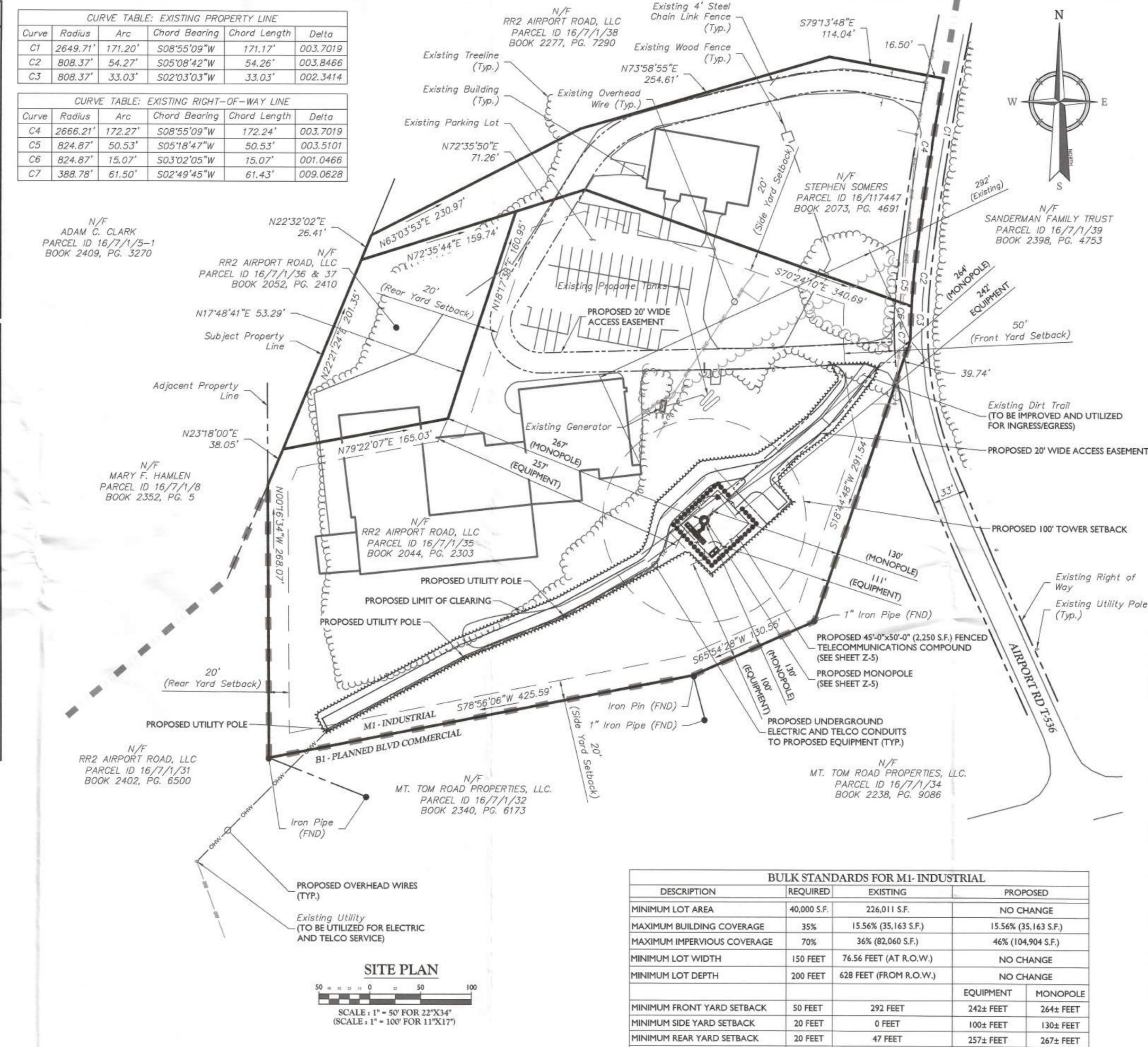
EXISTING CONDITIONS PLAN

Z-2



SITE NOTES

- THIS PROPOSAL IS FOR AN UNMANNED TELECOMMUNICATIONS FACILITY CONSISTING OF THE PLACEMENT OF PANEL ANTENNAS ON A PROPOSED MONOPOLE AND EQUIPMENT CABINETS ON A PROPOSED CONCRETE PAD AN OUTDOOR STANDBY GENERATOR AND ASSOCIATED APPURTENANCES WITHIN A PROPOSED FENCED COMPOUND.
- EXTERIOR SIGNS ARE NOT PROPOSED EXCEPT AS REQUIRED BY THE FCC.
- DISTURBANCE UNDER THIS PROPOSAL: TOTAL AREA OF DISTURBANCE - 22,844 ± S.F.
- RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
- CONTRACTOR SHALL CONTACT STATE SPECIFIC ONE CALL SYSTEM THREE WORKING DAYS PRIOR TO ANY EARTH MOVING ACTIVITIES.
- POWER TO THE FACILITY WILL BE MONITORED BY A SEPARATE METER.
- 7. SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS & INSPECTIONS REQUIRED FOR CONSTRUCTION.
- 8. SUBCONTRACTOR SHALL DETERMINE EXACT ROUTE OF ANY UNDERGROUND CONDUIT, IF REQUIRED.
- 9. THIS PROJECT WILL NOT REQUIRE STREETS OR PROPERTY TO BE DEDICATED FOR PUBLIC USE.
- 10. THIS PROJECT WILL NOT REQUIRE PERMANENT MONUMENTS.
- ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAPS OF MONROE COUNTY, PA (ALL JURISDICTIONS), MAP NUMBER 42089C0292E DATED 05/02/2013, ALL PROPOSED IMPROVEMENTS ARE LOCATED WITHIN ZONE X -AREA OF MINIMAL FLOOD HAZARD.
- 2. THE PROPOSED INSTALLATION WILL GENERATE ONE (I) VEHICLE TRIP FOR ROUTINE MAINTENANCE EVERY FOUR (4) TO SIX (6) WEEKS.



MAXIMUM BUILDING HEIGHT

35 FEET

<35FT

10± FEET



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SITE PLAN AND SITE NOTES

Z-3

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION



 Existing Subject Property Line — — — Existing Right of Way

Existing Structure

Zoning Boundary

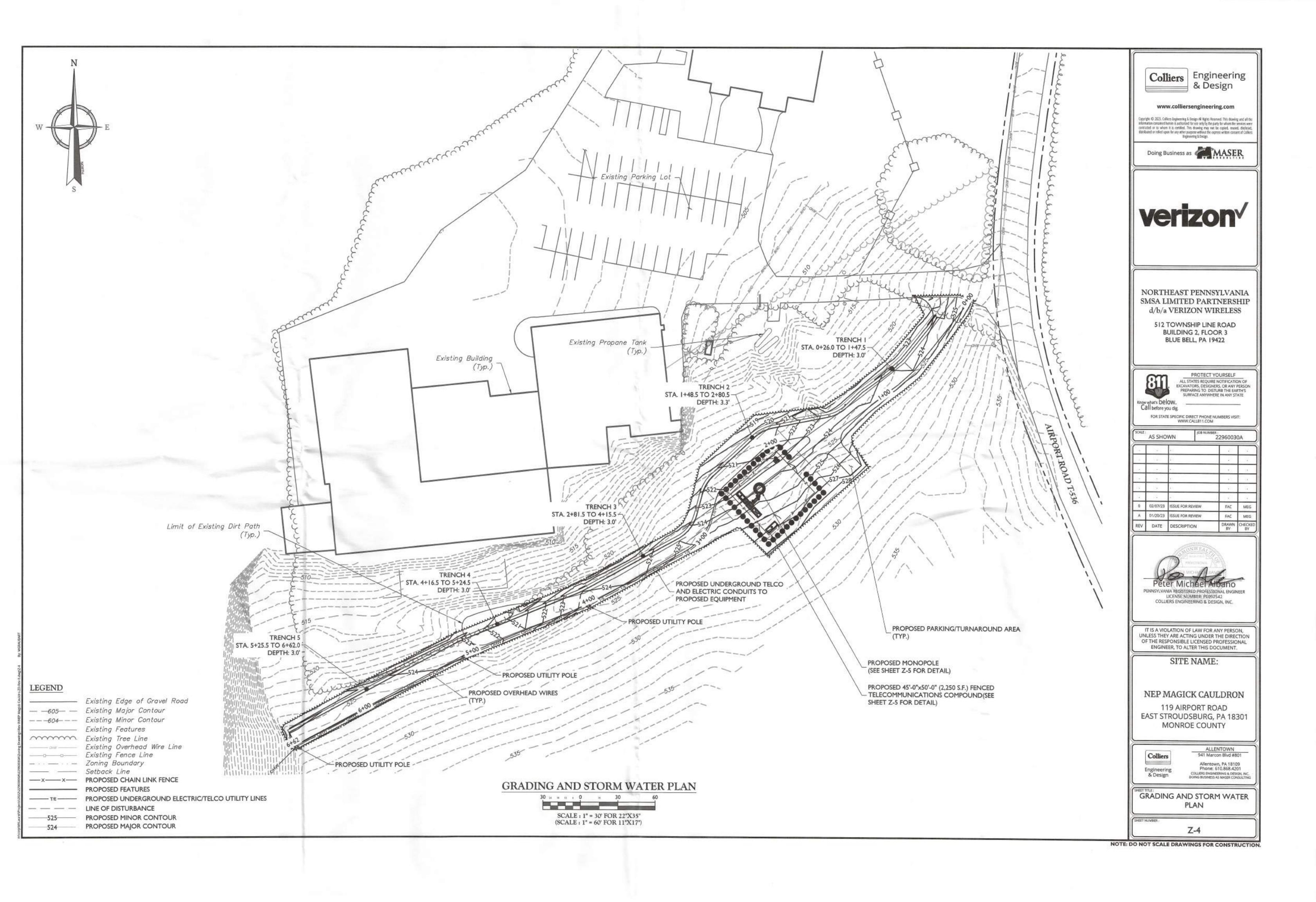
— PROPOSED FEATURES

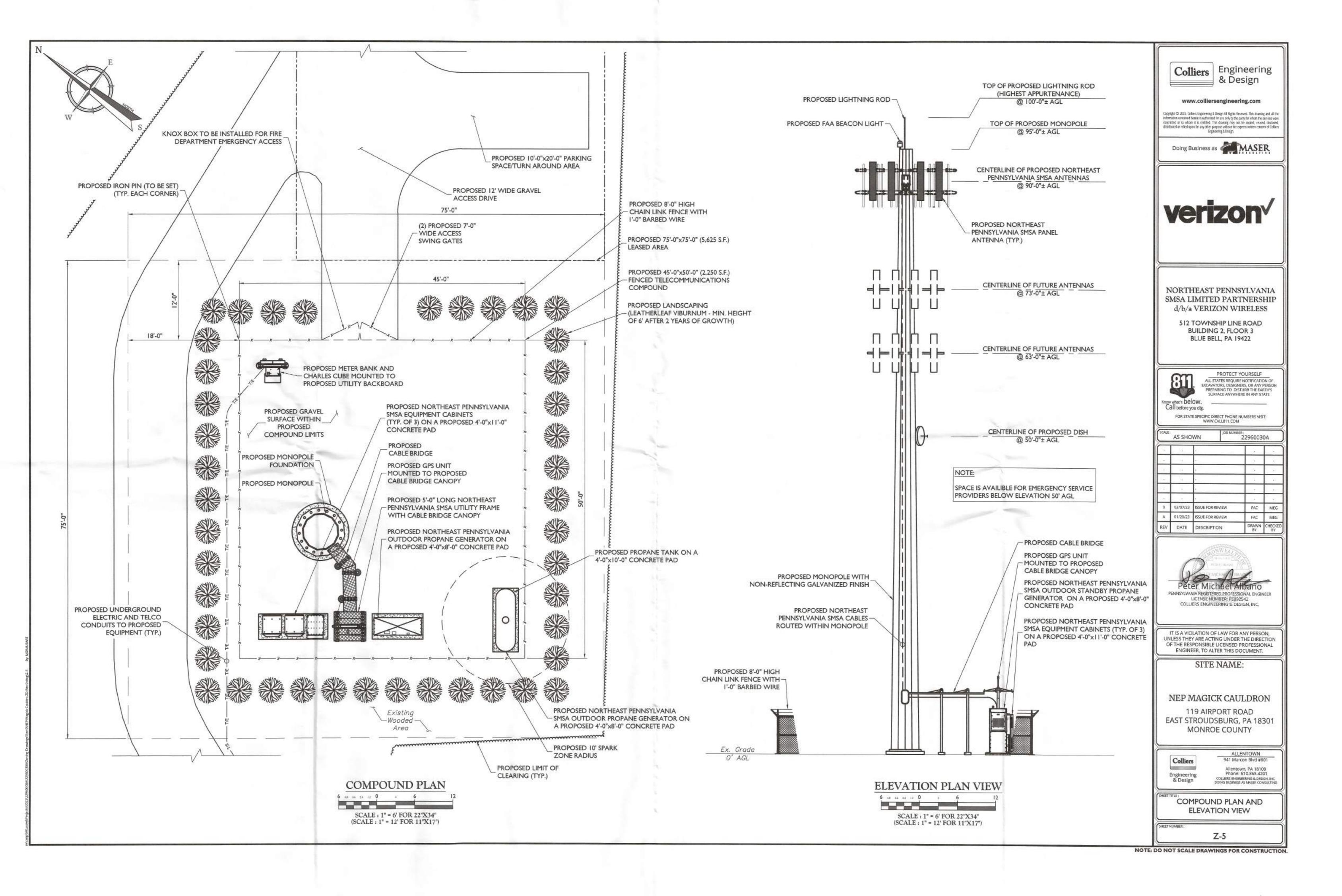
> PROPOSED UNDERGROUND ELECTRIC/TELCO UTILITY LINES

Existing Edge of Gravel Road Common Existing Tree Line ----- Existing Overhead Wire Line Existing Fence Line

Setback Line

Existing Features







LEGEND

 Existing Subject Property Line ____ _ Existing Right of Way Existing Edge of Gravel Road — Existing Structure Common Existing Tree Line Existing Overhead Wire Line _____ Existing Fence Line Existing Features - - Zoning Boundary — Setback Line

 PROPOSED FEATURES PROPOSED UNDERGROUND

ELECTRIC/TELCO UTILITY LINES

SCALE: 1" = 150' FOR 22"X34" (SCALE: 1" = 300' FOR 11"X17")

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AERIAL SITE CONTEXT MAP

Z-6

	CUI	RVE TABLI	E: EXISTING PRO	PERTY LINE	
Curve	Radius	Arc	Chord Bearing	Chord Length	Delta
C1	2649.71	171.20'	S08'55'09"W	171.17'	003.7019
C2	808.37'	54.27	S05'08'42"W	54.26'	003.8466
C3	808.37'	33.03'	S02'03'03"W	33.03'	002.3414

CURVE TABLE: EXISTING RIGHT-OF-WAY LINE							
Curve	Radius	Arc	Chord Bearing	Chord Length	Delta		
C4	2666.21'	172.27'	S08*55'09"W	172.24'	003,7019		
C5	824.87'	50.53	S05'18'47"W	50.53'	003.5101		
C6	824.87	15.07'	S03*02'05"W	15.07'	001.0466		
C7	388.78'	61.50'	S02*49'45"W	61.43'	009.0628		

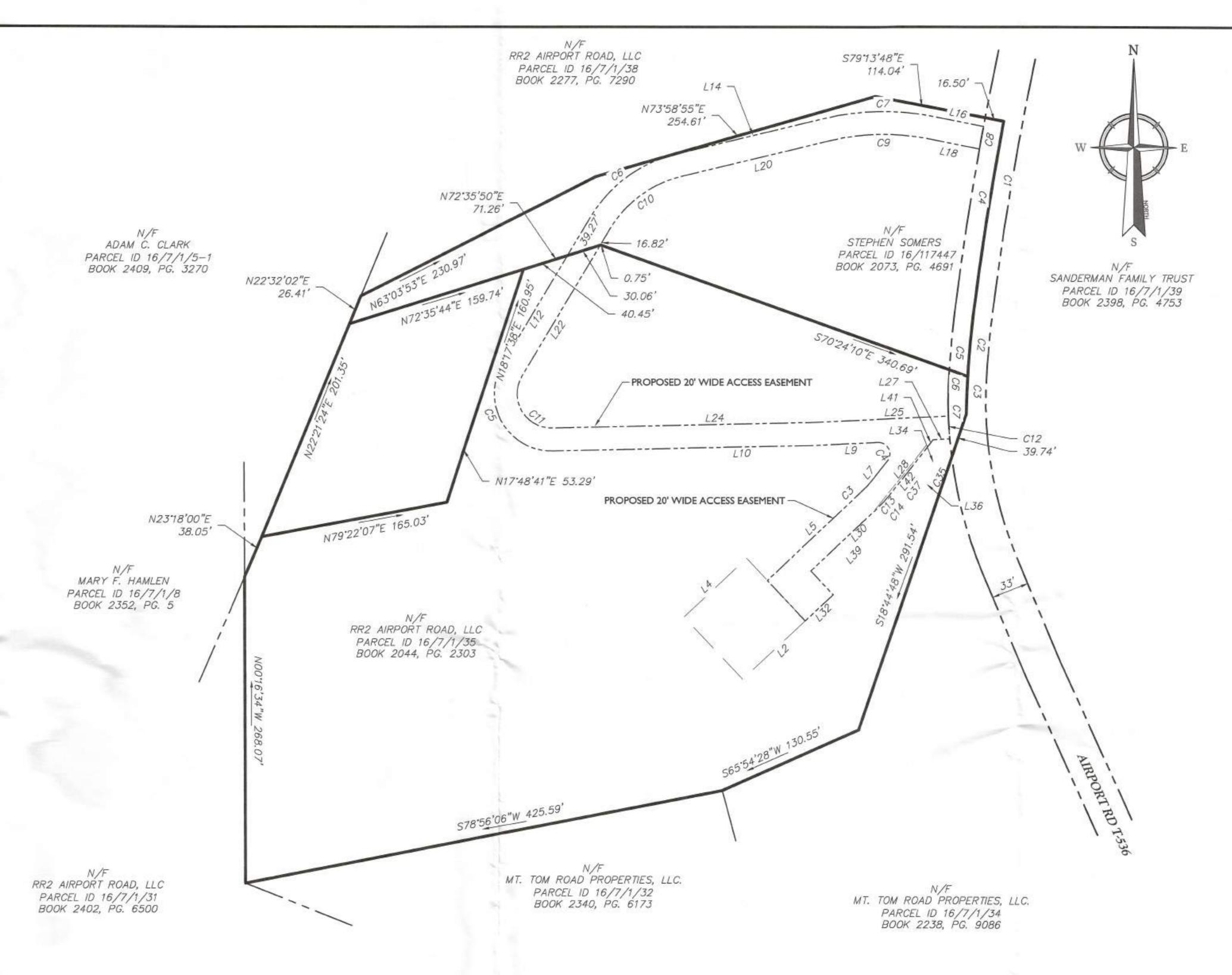
	CUR	VE TABLE: EX	STING RIGHT-	-OF-WAY LINE	
Curve	Radius	Delta	Arc	Bearing	Chord
C3	96.00'	8*36'12"	14.42'	N42*27'16"E	14.40'
C4	10.00'	131'01'05"	22.87'	N27*21*23"W	18.20'
C5	50.00'	122'10'31"	106.62'	N30*11'28"W	87.54
C6	120.00'	45*30'57"	95.33'	N53*39'16"E	92.84'
C7	220.0'	24*35'25"	94.42'	N88*42'27"E	93.70'
C8	220.00'	0'25'47"	20.00'	S10°23'22"W	20.00'
C9	2666.21*	24'35'25"	85.84	S88°42'27"W	85.18
C10	200.00'	45*30'57"	79.44'	S53*39'16"W	77.37'
C11	30.00'	122'10'31"	63.97'	S30*11'28"E	52.52'
C12	388.77	2*56'53"	20.00'	S3*30'44"E	20.00'
C13	116.00'	8'36'13"	17.42'	S42*27'16"W	17.40'
C14	126.00'	8'36'13"	18.92'	S42'27'16"W	18.90'
C15	1991.46'	0'13'19"	7.72'	S10'41'48"	7.72'
C16	388.78'	3*44'25"	25.38'	S010'05"E	25.37'
C17	824.87'	1°02'48"	15.07'	S3*02*05"W	15.07'

	LINE TABLE: LEASE ARE	A
Line #	Direction	Length
L1	S43'14'37.63"W	75.00'
L2	S46"14'22.37"W	75.00'
L3	S43"14'37.63"W	75.00'
L4	S46'45'22.37"W	75.00

Line #	Direction	Length
L5	N46*45'22.37"E	112.45
L7	N38'09'09.75"E	21.18'
L9	S87'08'05.01"W	57.01
L10	S88*43'16.97"W	227.82
L12	N30*53'47.47"E	150.09'
L14	N76*24'44.92"E	134.17
L16	S78*59'50.00"E	45.94'
L18	S78*59'50.01"W	46.15
L20	S76*24'44.92"W	134.17'
L22	S30*53'47.47"W	150.09'
L24	N88*43'16.97"E	227.54
L25	N87°08'5.01"E	119.44
L27	S87*08'5.01"W	14.47'
L28	S38*09'9.75"W	60.53
L30	S46*45'22.37"W	78.95
L31	S43'14'37.63"W	28.50*
L32	S46*45'22.37"W	33.50*
L33	S43'14'37.63"W	48.50'
L34	S64'42'12.20"W	26.43
L35	N18'44'48.30"E	20.13
L36	S64°42'12.30"W	23.03
L37	S38*09'9.75"W	24.21'
L39	S49*45'22.37"W	78.95
L40	N43'14'37.63"W	10.00'
L41	N38*09'9.75"E	18.09
L42	N38*09'9.75"E	42.45'

LEGEND

Existing Subject Property Line Existing Right of Way Existing Edge of Gravel Road Existing Features Zoning Boundary ---- Setback Line



LEASE AND EASEMENT DESCRIPTIONS

50 40 38 20 10 0 20 50 SCALE: 1" = 50' FOR 22"X34" (SCALE: 1" = 100' FOR 11"X17")

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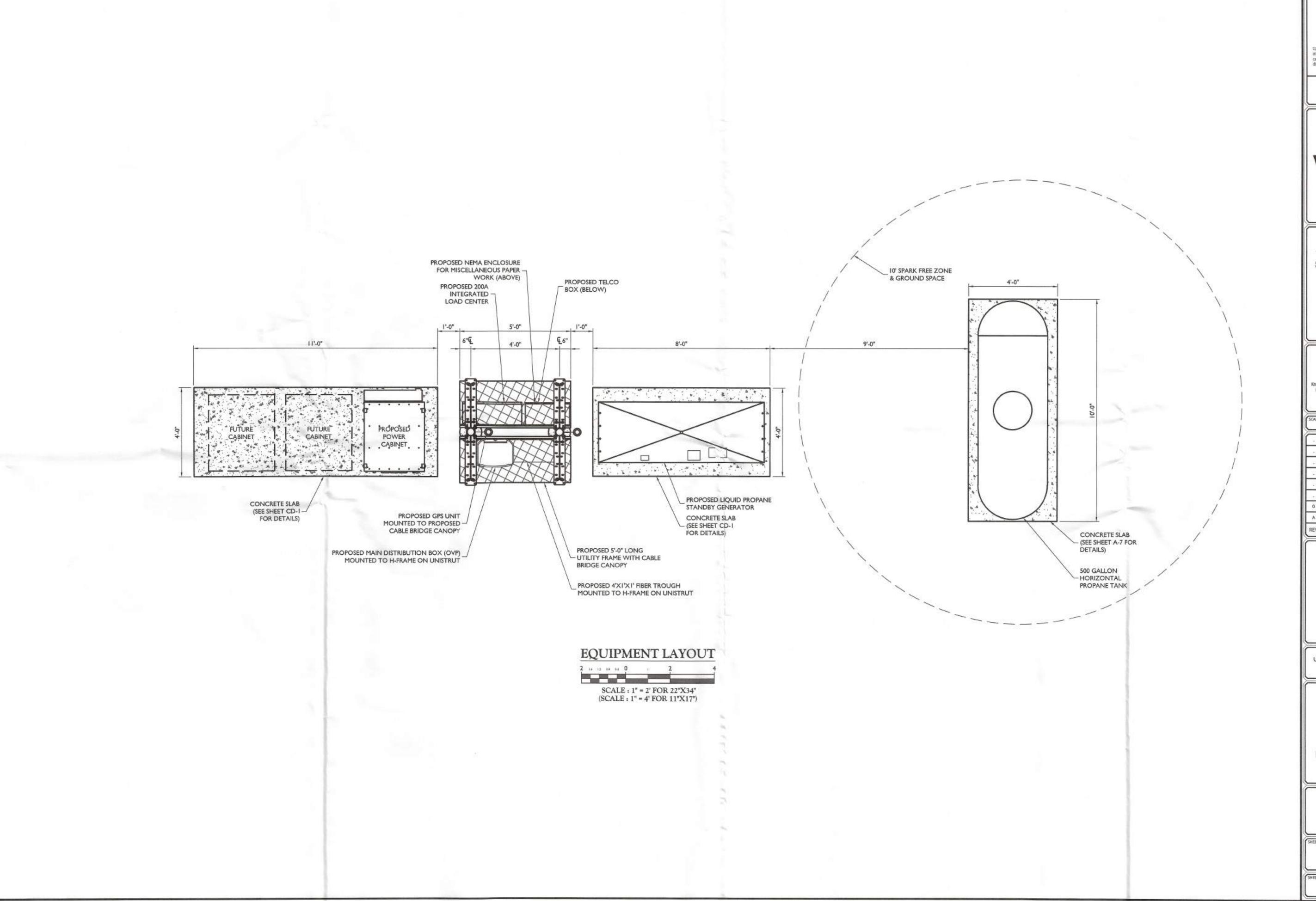
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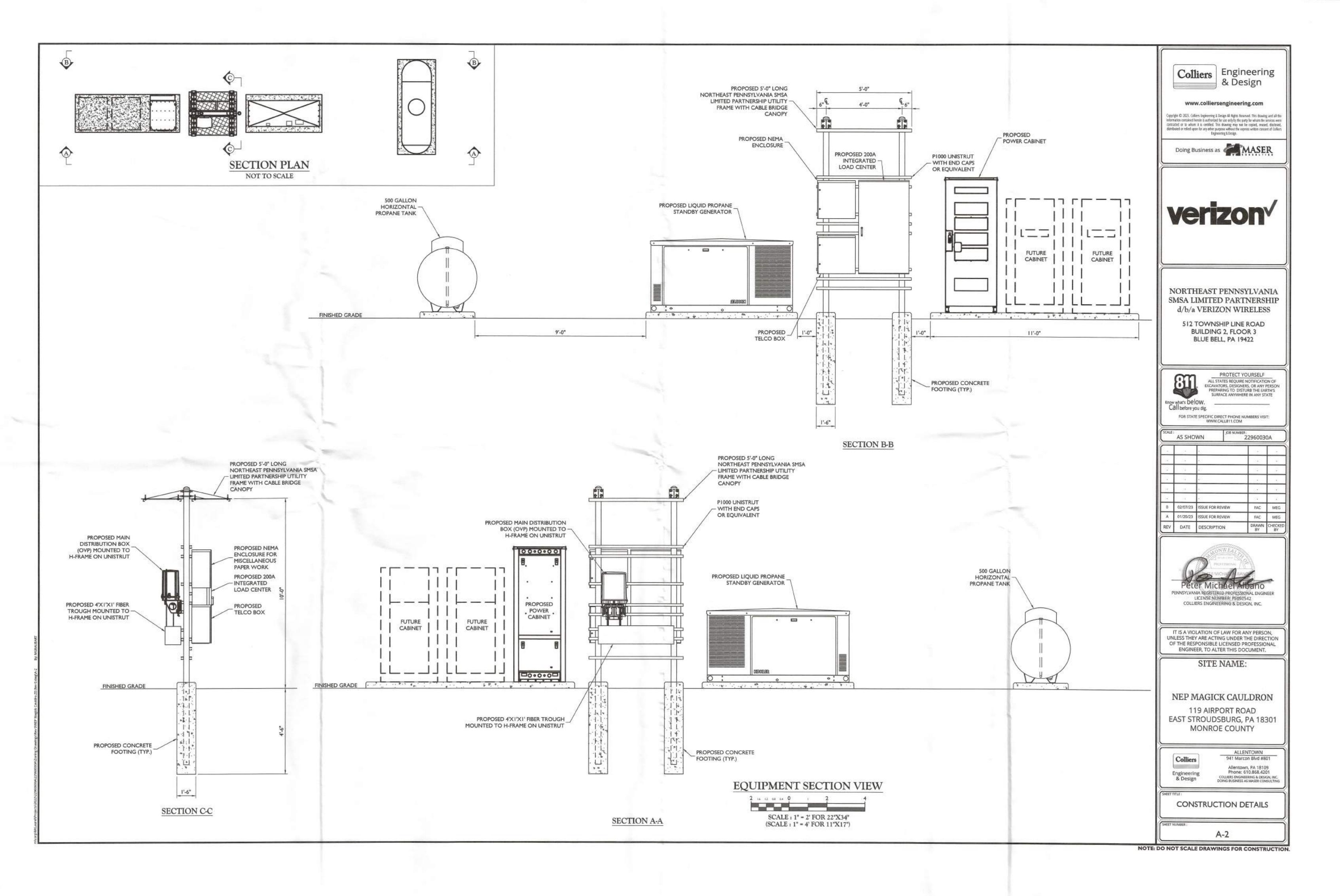
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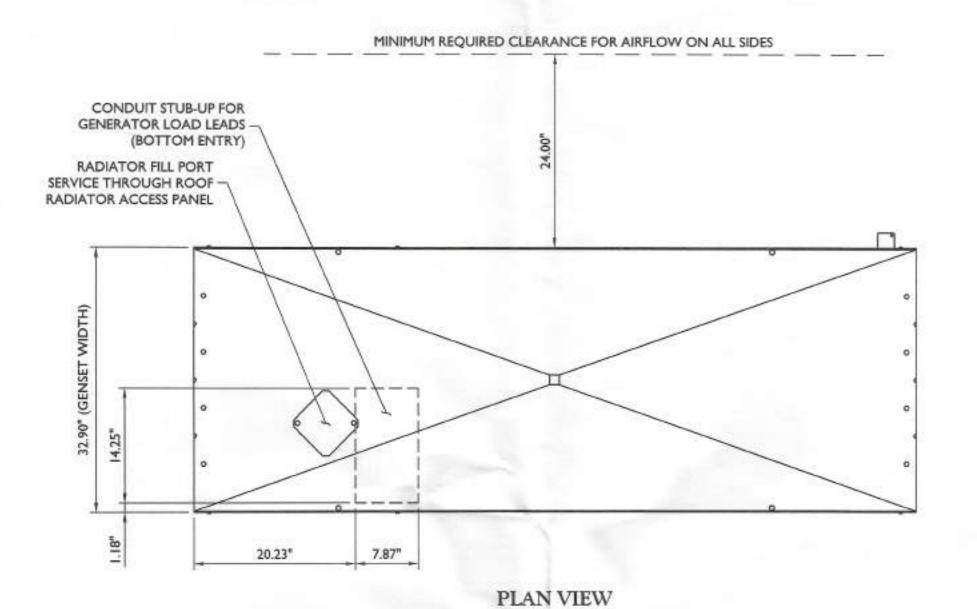
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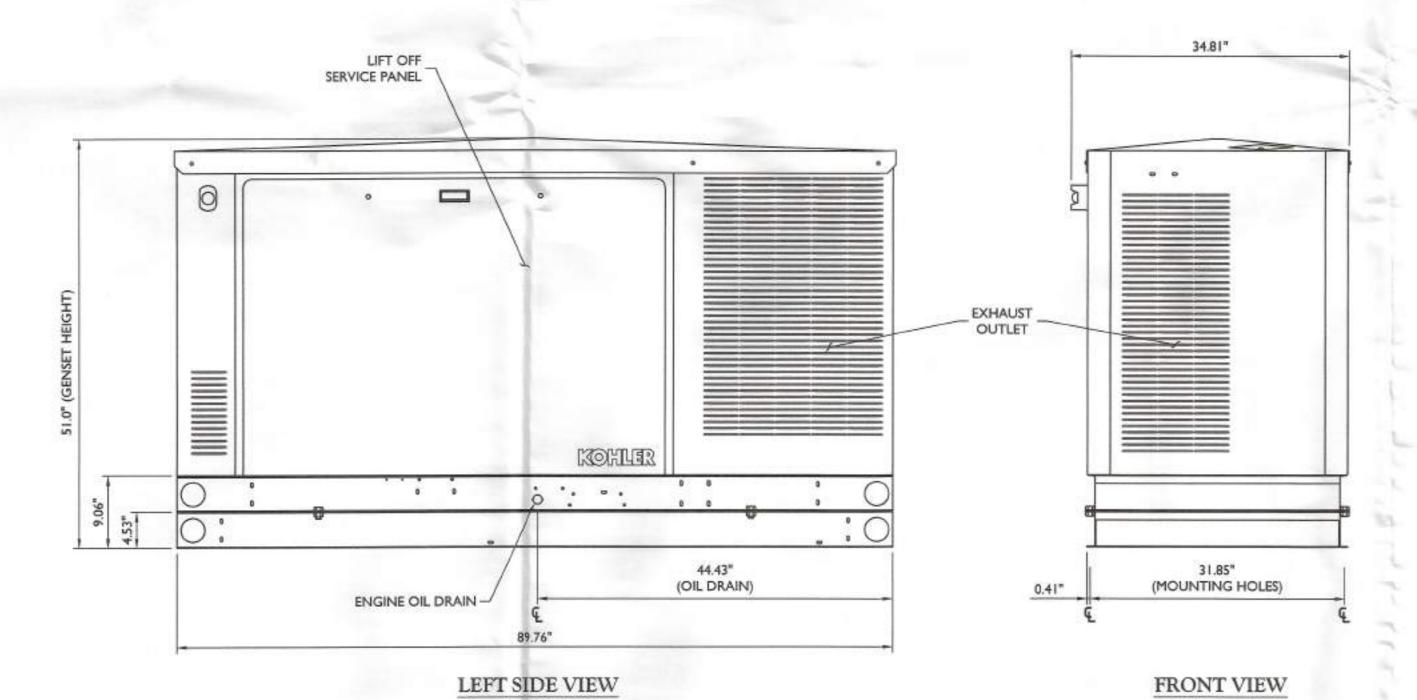
CONSTRUCTION DETAILS

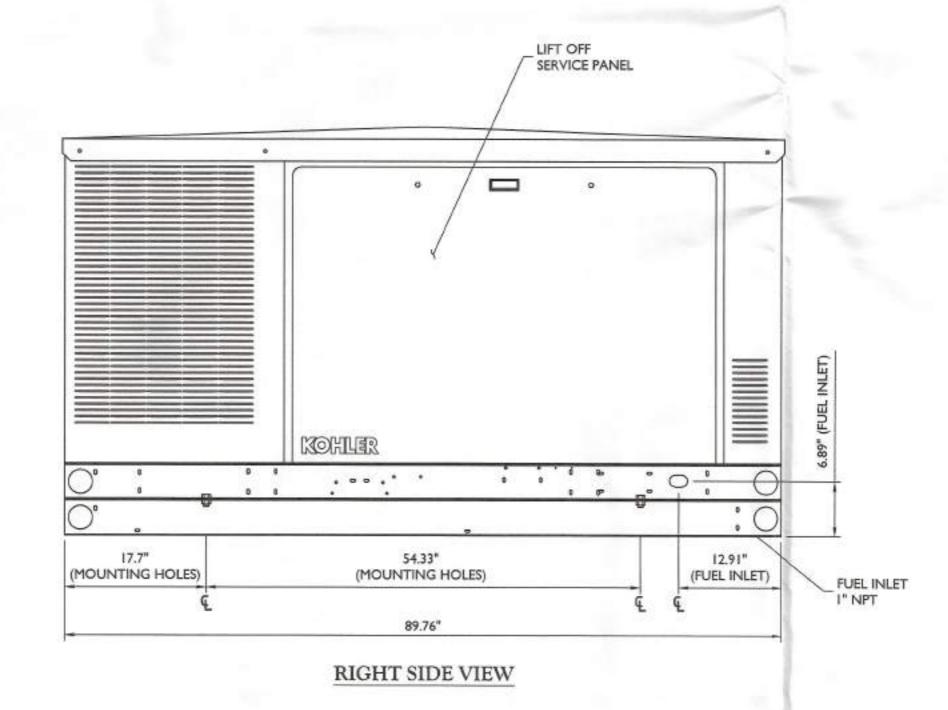




MODEL	ALTERNATOR	GENSET MAXIMUM WEIGHT
25/30CCL	4D/E	1,600 LBS
25/30CCL	4P/Q	1,630 LBS

- BOTH SIDES OF THE GENERATOR IS SERVICE ACCESSIBLE WITH EASY ACCESS SERVICE PANELS.
- 10 AMP BATTERY CHARGER.
- 120VAC ENGINE BLOCK HEATER.
- GENERATOR MUST BE GROUNDED.
- SOUND ATTENUATED ENCLOSURE STANDARD WITH GENERATOR.
- MUST ALLOW FREE FLOW OF DISCHARGE AIR AND EXHAUST. MUST ALLOW FREE FLOW OF AIR INTAKE.
- IT IS THE RESPONSIBILITY OF THE INSTALLATION TECHNICIAN TO ENSURE THAT THE GENERATOR INSTALLATION
- COMPLIES WITH ALL APPLICABLE CODES, STANDARDS AND REGULATIONS.
- SPRING ISOLATORS TO BE UTILIZED: MODEL MS-2E.
- GENERATOR TO BE ANCHORED WITH 11/16"Ø A325 BOLTS. INSTALLED AND SIZE PER KOHLER RECOMMENDATIONS.
 GENERATOR SOUND LEVEL IS 67.7 dBA @ 23 FT (7 METERS) WITH SOUND ENCLOSURE.





KOHLER PROPANE GAS GENERATOR DETAIL

NOT TO SCALE

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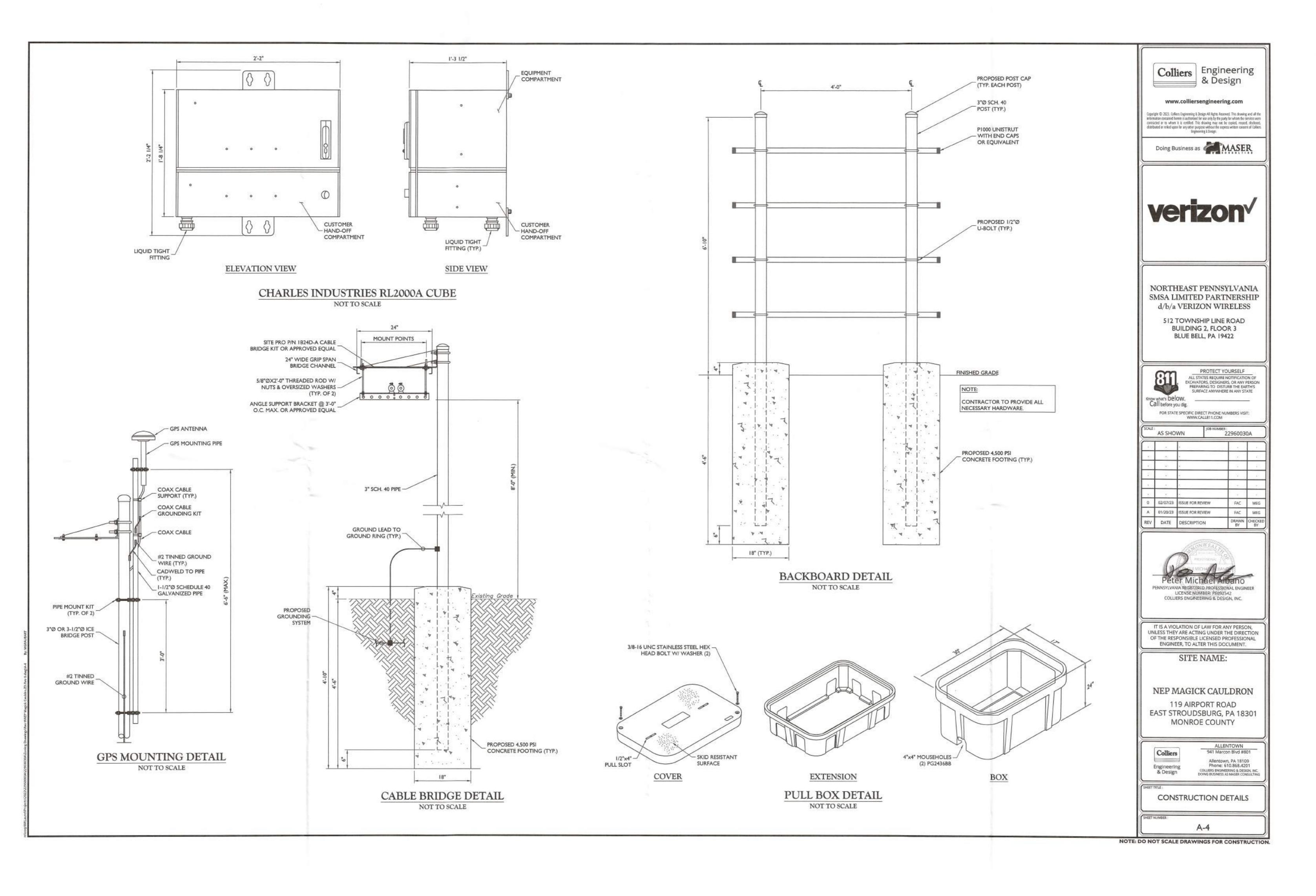
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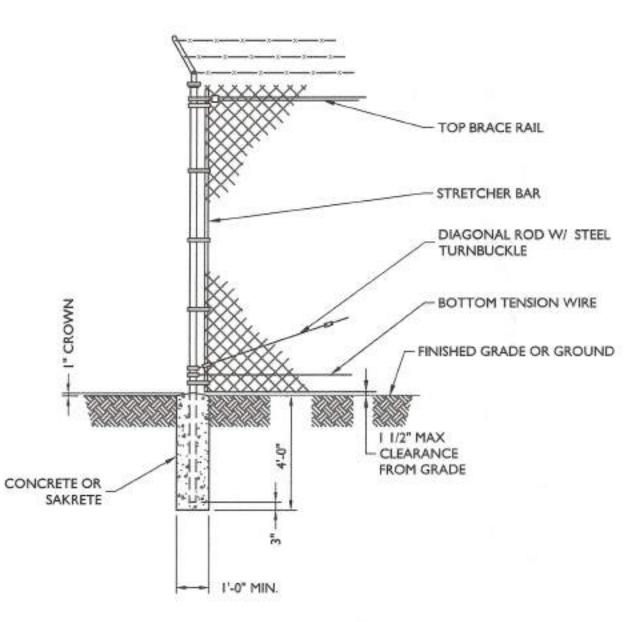
Allentown, PA 18109
Phone: 610.868.4201
COLLERS ENGINEERING & DESIGN, INC.
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CONSTRUCTION DETAILS

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

A-3





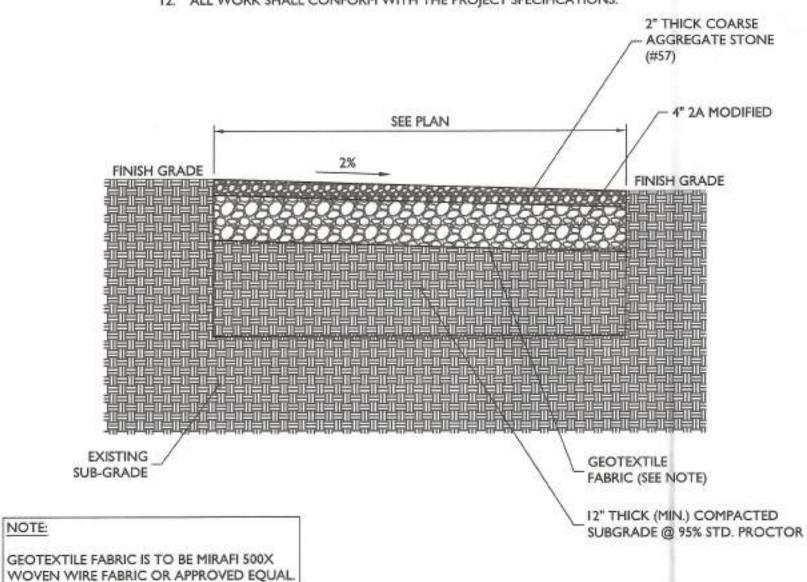
WOVEN WIRE CORNER, GATE, END, OR PULL POST

NOT TO SCALE

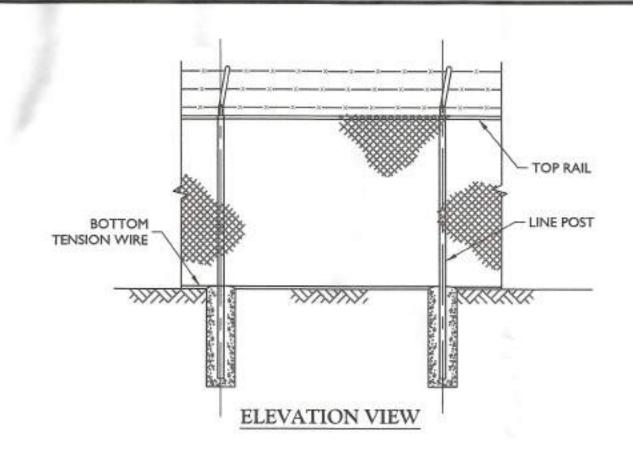
FENCE NOTES:

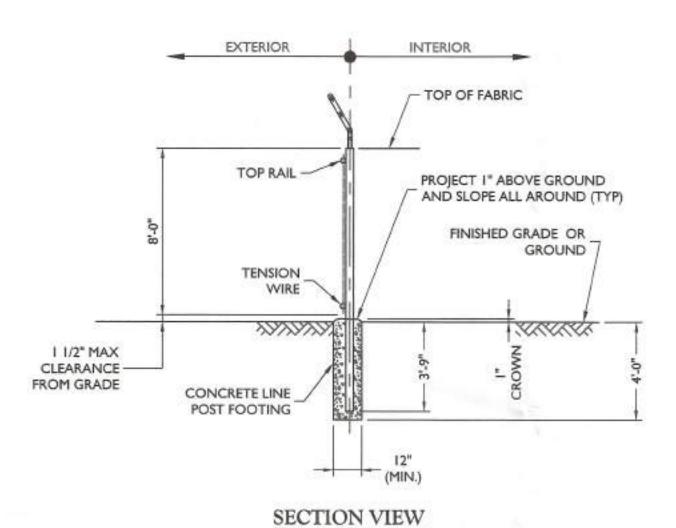
NOTE:

- GATE POST, CORNER, TERMINAL OR PULL POST SHALL BE 3"Ø SCHEDULE 40 FOR GATE WIDTHS UP THROUGH 7 FEET OR 14 FEET FOR DOUBLE SWING GATE PER ASTM-F1083.
- LINE POST: 2-3/8"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
- GATE FRAME: 1 1/2"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
- TOP RAIL & BRACE RAIL: 1 1/4"Ø SCHEDULE 40 PIPE PER ASTM-F1083.
- 5. FABRIC: 9 GA. CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A392 CLASS 1.
- 6. TIE WIRE: MINIMUM I I GA GALVANIZED STEEL INSTALL A SINGLE WRAP TIE WIRE AT POSTS AND RAILS AT MAX. 24" INTERVALS. INSTALL HOG RINGS ON TENSION WIRE AT 24" INTERVALS.
- 7. TENSION WIRE: 7 GA. GALVANIZED STEEL.
- 8. BARBED WIRE: 3 STRANDS OF DOUBLE STRANDED 12-1/2 GAUGE TWISTED WIRE, 4 PT. BARBS SPACED ON APPROXIMATELY 5" CENTERS.
- 9. GATE LATCH: 1-3/8" O.D. PLUNGER ROD W/ MUSHROOM TYPE CATCH AND LOCK.
- 10. LOCAL ORDINANCE FOR BARBED WIRE PERMIT SHALL GOVERN INSTALLATION.
- 11. HEIGHT = 8'-0" VERTICAL DIMENSION WITH 1'-0" BARBED WIRE.
- 12. ALL WORK SHALL CONFORM WITH THE PROJECT SPECIFICATIONS.

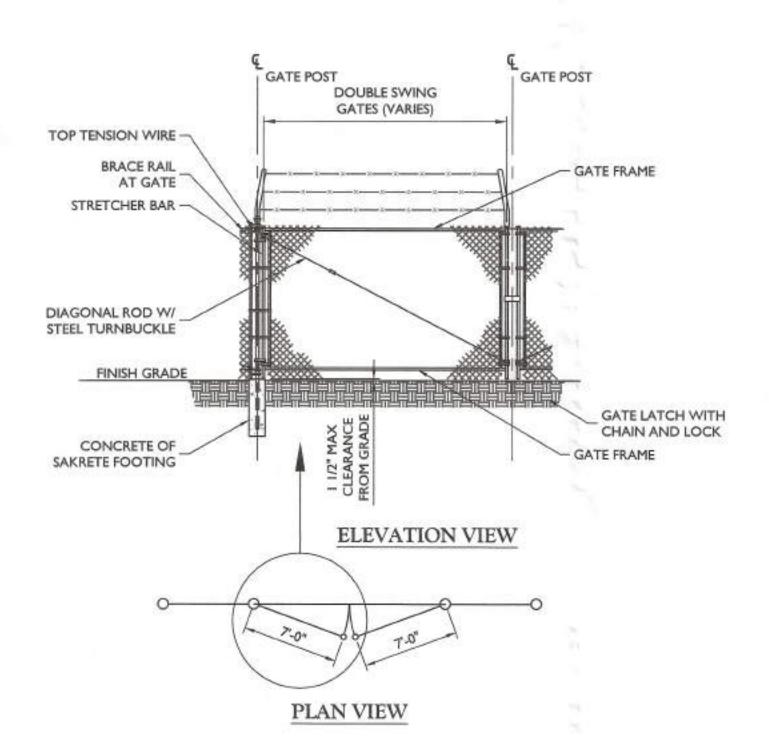


GRAVEL DRIVEWAY SURFACING NOT TO SCALE

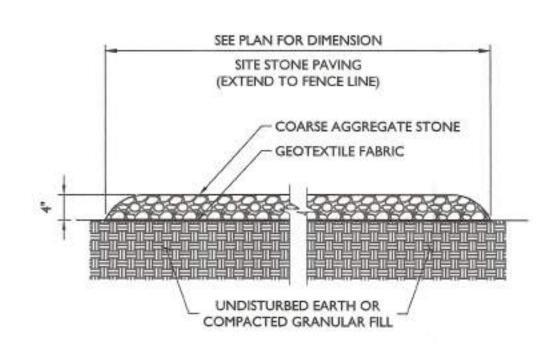




WOVEN WIRE FENCE DETAIL



WOVEN WIRE SWING GATE, DOUBLE NOT TO SCALE



GRAVEL SURFACING NOT TO SCALE



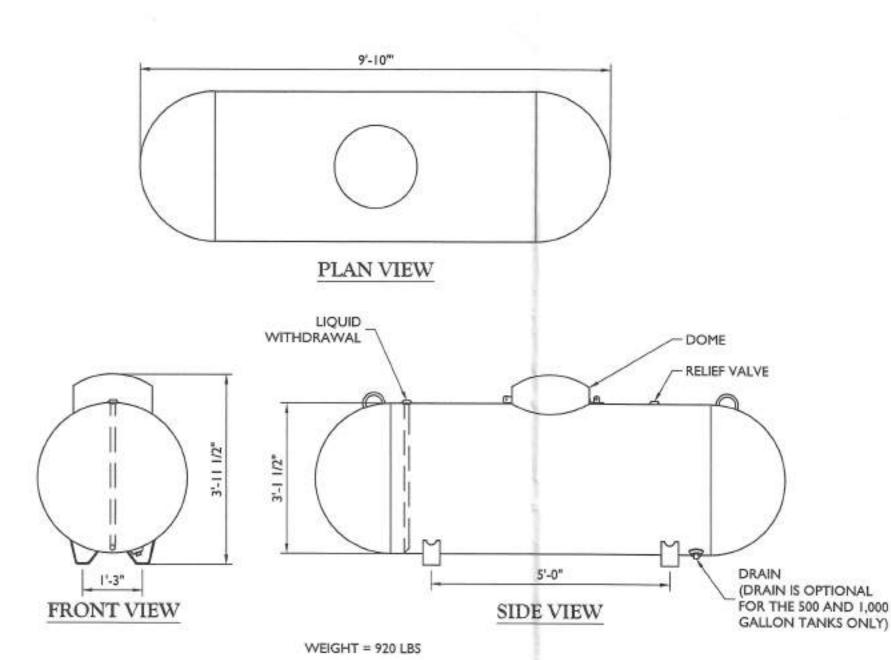
ABOVEGROUND PROPANE STORAGE TANKS 120 - 1000 Gallons

ABOVEGROUND VESSEL DIMENSIONS & SPECIFICATIONS (All Vessel Dimensions are Approximate)

Part Number	Decliption	Water Capacity Gal/I	Outside Diameter lo/mm	Head Type	Gveraff Langth In/tom	Querall Holgist In/mm	Log Width In/mm	Log Spacing In/mm	Weight Lbs/kg	Full Load	Per Stack
68268**	120 Gallon Aboveground Storage Tank	120 454.2	24° 609.6	Ellip	5' 8" 1727.2	2' 10 1/4" 870	10 1/8" 257.2	3' 0" 914.4	310 140.6	96	12
68270**	250 Gallon Aboveground Storage Tank	250 946.3	30° 762	Hemi	7' 10° 2387.6	3°4 3/16" 1020.8	12.3/4° 323.9	3' 6" 1066.8	471 213.6	54	9
68272**	320 Gallon Aboveground Storage Tank	320 1211.3	30° 762.0	Hemi	9' 7" 2921	3' 4 3/16" 1020.8	12 3/4° 323.9	4° 0 1/4° 1225.6	566 256.7	45	9
68274** 68303*	500 Gallon Aboveground Storage Tank	500 1892.7	37.5° 952.5	Hemi	9' 10" 2997.2	3' 11 1/2" 1206.5	15° 381	5' 0" 1524	920 417.3	30	6
68276** 68304*	1000 Gallon Aboveground Storage Tank	1000 3785.4	41° 1041.4	Hemi	15" 11" 4851.4	4' 2 15/16" 1293,8	16 1/4" 412.8	9' 0" 2743.2	1737 787.9	15	5

* Drain **No Drain

Federal, state or local regulations may contain specific applicable requirements for protective coatings and cathodic protection. The purchaser and installer are responsible for compliance with such federal, state, local and NFPA industry regulations, including, but not limited to, proper purging prior to putting into service. Coating (s) must be continuous, uninterrupted and must comply with local, state or national codes or regulations.



MANCHESTER PROPANE TANK 500 GALLON ABOVEGROUND STORAGE DETAIL NOT TO SCALE



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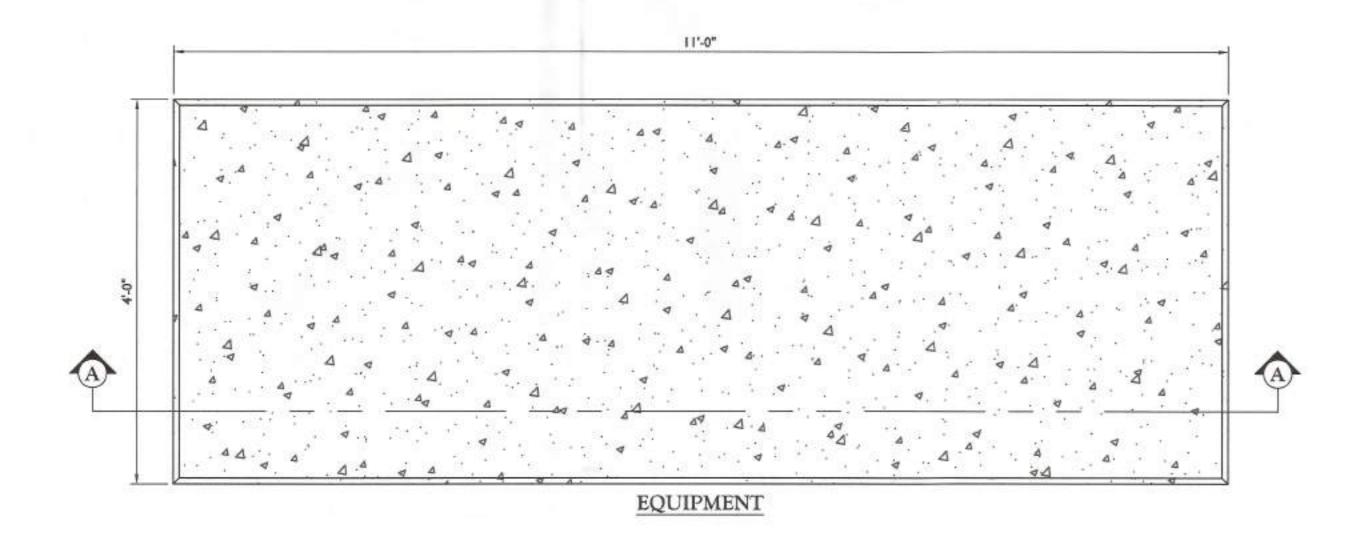
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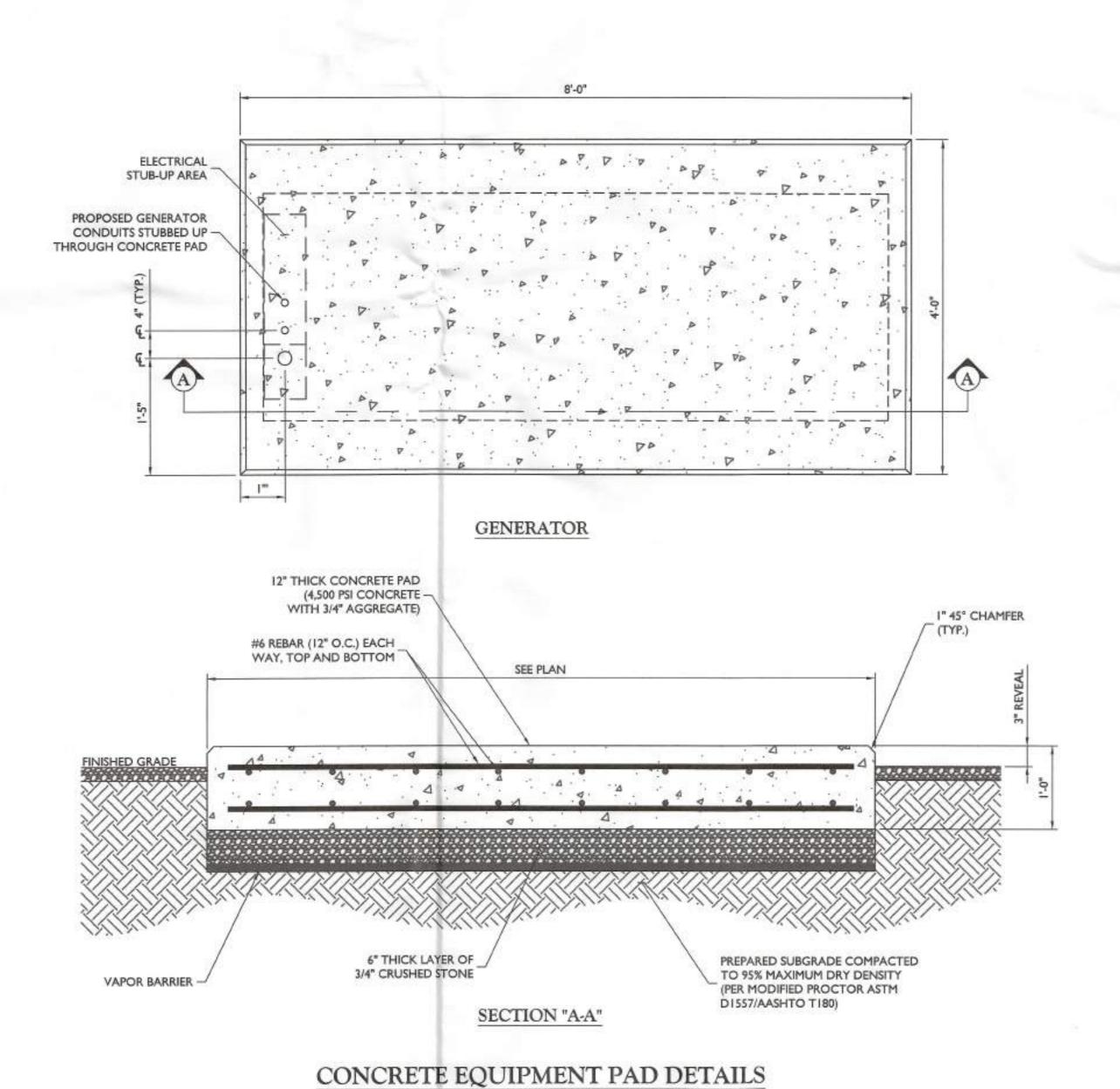
119 AIRPORT ROAD EAST STROUDSBURG, PA 18301 MONROE COUNTY

ALLENTOWN 941 Marcon Blvd #801 Allentown, PA 18109 Phone: 610.868.4201 Engineering COLLIERS ENGINEERING & DESIGN, INC. DOING BUSINESS AS MASER CONSULTIN

CONSTRUCTION DETAILS

A-5





NOT TO SCALE

CONCRETE NOTES:

DESIGN INFORMATION:

- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336A, ASTM A184, ASTM A185 AND THE DESIGN & CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
- 2. THE DESIGN SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE AS SHOWN ON SHEET T-1.

EARTHWORK:

- FOUNDATIONS HAVE BEEN DESIGNED TO BEAR ON (UNDISTURBED RESIDUAL SOILS/COMPACTED STRUCTURAL FILL),
 CAPABLE OF SAFELY SUPPORTING AN ALLOWABLE BEARING PRESSURE OF 1,500 PSF. IF FOUNDATION CONDITIONS
 PROVE UNACCEPTABLE AT ELEVATIONS SHOWN, EXCAVATION SHALL BE CARRIED DEEPER AND SHALL BE BACKFILLED
 WITH LEAN CONCRETE TO PLAN FOOTING BOTTOM, OR REDISIGN OF FOUNDATIONS WILL BE REQUIRED AT THE
 DIRECTION OF THE ENGINEER.
- DESIGN FURNISH AND INSTALL TEMPORARY SHEETING, SHORING, AND DRAINAGE TO MAINTAIN THE EXCAVATION AND PROTECT SURROUNDING STRUCTURES AND UTILITIES.
- 3. THOROUGHLY COMPACT ALL BOTTOM OF FOOTINGS PRIOR TO PLACING ANY CONCRETE.

CONCRETE:

- I. FORMWORK
- CONCRETE CONSTRUCTION SHALL CONFORM TO "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS." (ACI 301-89).
- I.b. FORMWORK SHALL CONFORM TO ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"
- 2. REINFORCEMENT
- 2.a. REINFORCING STEEL ASTM A615, GRADE 60. WELDED WIRE ASTM A185 (FLAT SHEET). LAPS 40 BAR DIAMETERS UNLESS NOTED. BARS SHALL BE SECURELY HELD IN ACCURATE POSITION BY SUITABLE ACCESSORIES, TIE BARS, SUPPORT BARS, ETC. HOOK LENGTHS SHALL BE 12 BAR DIAMETERS.
- 2.b. CONCRETE COVER FOR REINFORCING BARS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED.

2.b.1.	FOOTINGS AND SLABS CAST AGAINST GROUND	3"
2.b.2.	CONCRETE TO BE IN CONTACT WITH GROUND OR WEATHER AT BARS GREATER THAN 5"	2*
2.b.3.	AT BARS #5 OR LESS	1 1/2
2.b.4.	CONCRETE NOT TO BE EXPOSED TO GROUND OR WEATHER BEAMS, GIRDERS, AND COLUMNS	1 1/2
2.b.5.	SLABS AND WALLS	3/4"

- 2.c. CAST IN PLACE CONCRETE
- 2.c.1. MINIMUM 28 DAY CYLINDER STRENGTH AND MAXIMUM SLUMP, PRIOR TO ADDITION F SUPER PLASTICIZERS, AS FOLLOWS:

 2.c.1.1. CLASS I FOOTINGS

 2.c.1.2. CLASS III INTERIOR ELEVATED SLABS AND WALLS

 2.c.1.3. CLASS V OTHER WORK

 4000 PSI

 2.c.1.4. CLASS VI LEAN CONCRETE FOR OVEREXCAVATION OF FOUNDATIONS

 2000 PSI
- 2.c.2. MIX DESIGN TO BE IN ACCORDANCE WITH ACI 318, CHAPTER 5. NO CALCIUM CHLORIDE ADMIXTURE CONTAINING CHLORIDES SHALL BE USED IN ANY CONCRETE
- 2.c.3. COARSE AGGREGATE FOR NORMAL WIEGHT CONCRETE SHALL CONFORM TO ASTM C33 SIZE #57. COARSE AGGREGATE FOR LIGHTWEIGHT CONCRETE SHALL CONFORM TO ASTM C330 GRADED 3/4" TO 1/4".
- COLD WEATHER PLACEMENT SHALL COMPLY WITH ACI 306.1
- 2.c.5. HOT WEATHER PLACEMENT SHALL COMPLY WITH ACI 305 R.
- 2.c.6. CHAMFER ALL EXPOSED EDGES 3/4"
- 2.c.7. THE MAXIMUM TEMPERATURE OF ALL CONCRETE AT DELIVERY TO THE SITE SHALL BE 85°F
- 2.c.8. TOTAL DELIVERY TIME SHALL BE LESS THAN 75 MINUTES.



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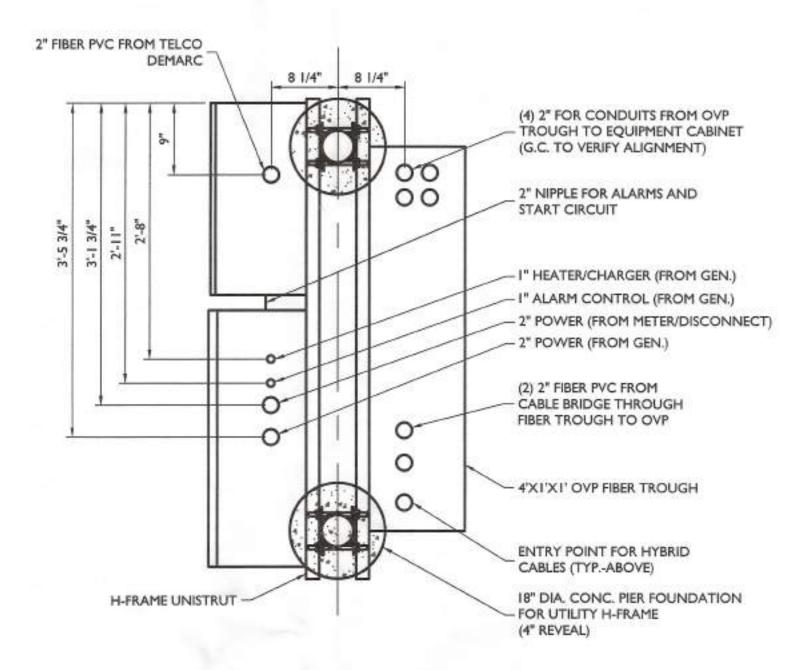
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Allentown, PA 18109 Phone: 610.868.4201 COLLERS ENGINERING & DESIGN

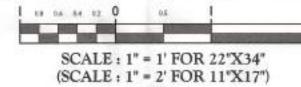
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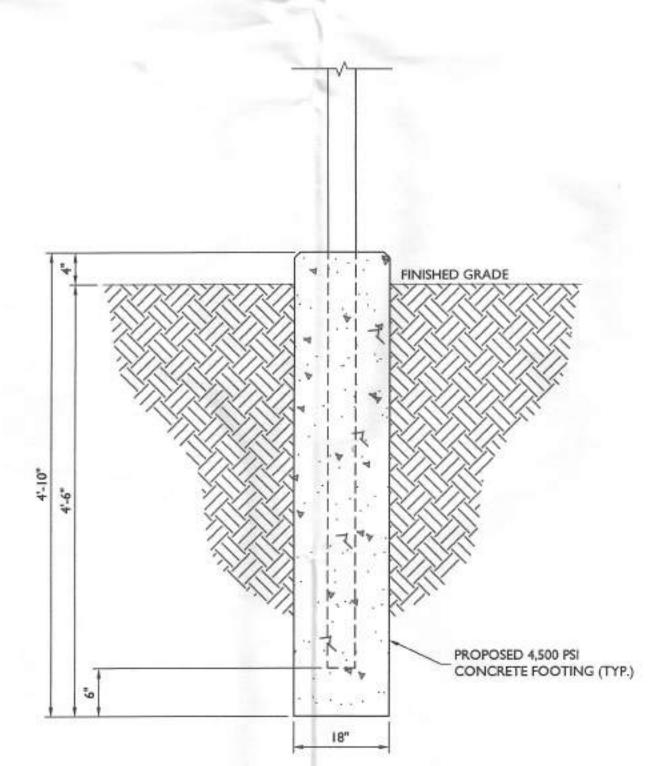
CONSTRUCTION DETAILS

MER :



EQUIPMENT SECTION VIEW





UTILITY FRAME FOUNDATION DETAIL NOT TO SCALE

CONCRETE NOTES:

DESIGN INFORMATION:

- I. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336A, ASTM A184, ASTM A185 AND THE DESIGN & CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
- 2. THE DESIGN SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE AS SHOWN ON SHEET T-I.

EARTHWORK:

- FOUNDATIONS HAVE BEEN DESIGNED TO BEAR ON (UNDISTURBED RESIDUAL SOILS/COMPACTED STRUCTURAL FILL), CAPABLE OF SAFELY SUPPORTING AN ALLOWABLE BEARING PRESSURE OF 1,500 PSF. IF FOUNDATION CONDITIONS PROVE UNACCEPTABLE AT ELEVATIONS SHOWN, EXCAVATION SHALL BE CARRIED DEEPER AND SHALL BE BACKFILLED WITH LEAN CONCRETE TO PLAN FOOTING BOTTOM, OR REDISIGN OF FOUNDATIONS WILL BE REQUIRED AT THE DIRECTION OF THE ENGINEER.
- 2. DESIGN FURNISH AND INSTALL TEMPORARY SHEETING, SHORING, AND DRAINAGE TO MAINTAIN THE EXCAVATION AND PROTECT SURROUNDING STRUCTURES AND UTILITIES.
- 3. THOROUGHLY COMPACT ALL BOTTOM OF FOOTINGS PRIOR TO PLACING ANY CONCRETE.

CONCRETE:

FORMWORK

- I.a. CONCRETE CONSTRUCTION SHALL CONFORM TO "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS." (ACI 301-89).
- 1.b. FORMWORK SHALL CONFORM TO ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"

REINFORCEMENT

- 2.a. REINFORCING STEEL ASTM A615, GRADE 60. WELDED WIRE ASTM A185 (FLAT SHEET). LAPS 40 BAR DIAMETERS UNLESS NOTED. BARS SHALL BE SECURELY HELD IN ACCURATE POSITION BY SUITABLE ACCESSORIES, TIE BARS, SUPPORT BARS, ETC. HOOK LENGTHS SHALL BE 12 BAR DIAMETERS.
- CONCRETE COVER FOR REINFORCING BARS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED.

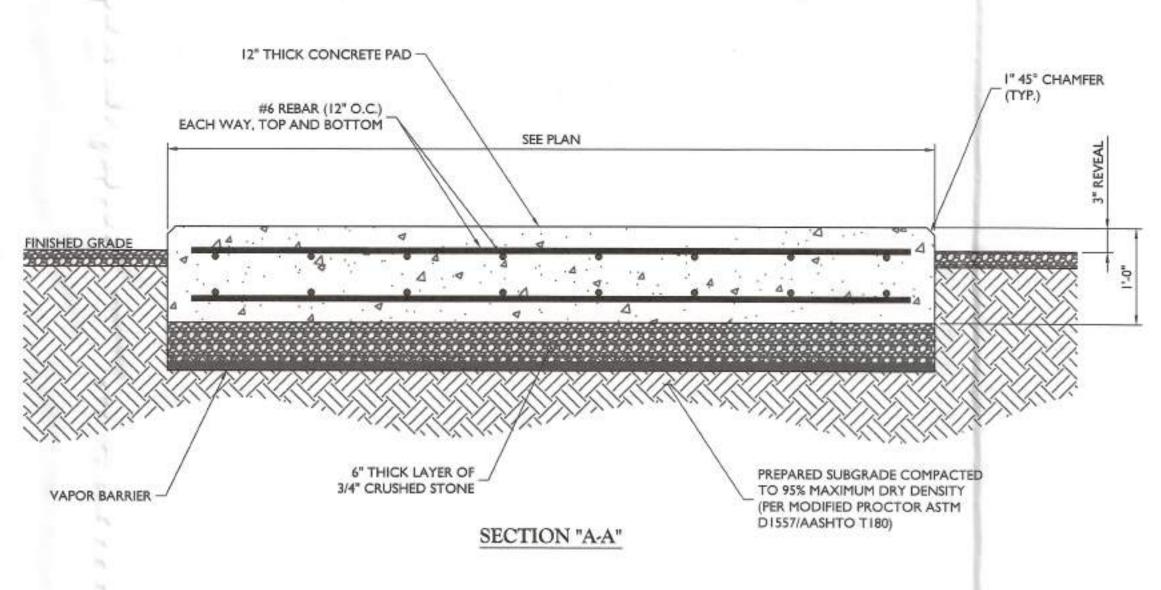
251	FOOTINGS AND SLABS CAST AGAINST GROUND	3"
2.0.1.		3
2.b.2.	CONCRETE TO BE IN CONTACT WITH GROUND OR WEATHER AT BARS GREATER THAN 5"	2"
2.b.3.	AT BARS #5 OR LESS	1 1/2
2.b.4.	CONCRETE NOT TO BE EXPOSED TO GROUND OR WEATHER BEAMS, GIRDERS, AND COLUMNS	1 1/2'
2.b.5.	SLABS AND WALLS	3/4"

2.c. CAST IN PLACE CONCRETE

2.c.I. MINIMUM 28 DAY CYLINDER STRENGTH AND MAXIMUM SLUMP, PRIOR TO ADDITION F SUPER PLASTICIZERS, AS FOLLOWS:

2.c.1.1.	CLASS I FOOTINGS	4500	PSI	3"
	CLASS III INTERIOR ELEVATED SLABS AND WALLS	4000	PSI	4"
2.c.1.3.	CLASS V OTHER WORK	4000	PSI	4"
2.c.1.4.	CLASS VI LEAN CONCRETE FOR OVEREXCAVATION OF FOUNDATIONS	2000	PSI	N/A

- 2.c.2. MIX DESIGN TO BE IN ACCORDANCE WITH ACI 318, CHAPTER 5, NO CALCIUM CHLORIDE ADMIXTURE CONTAINING CHLORIDES SHALL BE USED IN ANY CONCRETE
- COARSE AGGREGATE FOR NORMAL WIEGHT CONCRETE SHALL CONFORM TO ASTM C33 SIZE #57. COARSE AGGREGATE FOR LIGHTWEIGHT CONCRETE SHALL CONFORM TO ASTM C330 GRADED 3/4" TO
- 2.c.4. COLD WEATHER PLACEMENT SHALL COMPLY WITH ACI 306.1
- 2.c.5. HOT WEATHER PLACEMENT SHALL COMPLY WITH ACI 305 R.
- 2.c.6. CHAMFER ALL EXPOSED EDGES 3/4"
- 2.c.7. THE MAXIMUM TEMPERATURE OF ALL CONCRETE AT DELIVERY TO THE SITE SHALL BE 85°F
- 2.c.8. TOTAL DELIVERY TIME SHALL BE LESS THAN 75 MINUTES.



CONCRETE EQUIPMENT PAD DETAILS

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DATE DESCRIPTION



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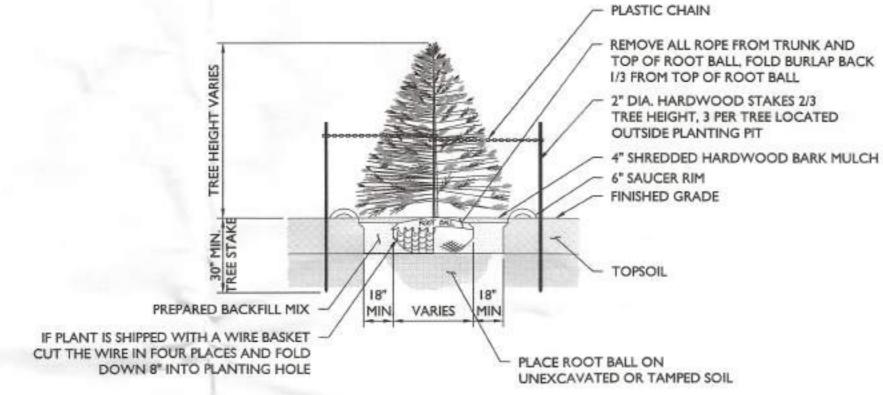
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ALLENTOWN

CONSTRUCTION DETAILS



- NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
- 2. PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

EVERGREEN TREE PLANTING DETAIL NOT TO SCALE

LANDSCAPE MAINTENANCE NOTES:

- REFER TO THE ENGINEERING PLANS FOR ADDITIONAL INFORMATION REGARDING THE SITE
- CONTRACTOR TO REMOVE ANY EXISTING TREE OR SHRUB FROM THE PROPOSED COMPOUND.
- 3. ALL PLANT MATERIAL SHALL CONFORM TO ALL LOCAL LAND DEVELOPMENT REGULATIONS AND ORDINANCES.
- 4. ALL LANDSCAPE PLANTING AREAS SHALL BE MULCHED WITH 4" MINIMUM DEPTH OF SHREDDED HARDWOOD MULCH, EXCEPT TURF AREAS.
- 5. ALL TREES AND SHRUBS SHALL BE GUARANTEED FOR A PERIOD OF 18 MONTHS FROM THE DATE OF PLANTING.
- ALL PLANTING OPERATIONS SHALL BE DONE IN THE APPROPRIATE WEATHER AFTER FINAL GRADING HAS OCCURRED. B&B MATERIAL MAY BE PLANTED AT ANY TIME WHEN THE SOIL AND BACKFILL ARE NOT FROZEN OR IN AN UNSUITABLE CONDITION. OTHER KINDS OF PLANTS SHALL BE PLANTED AT TIMES OF THE YEAR DICTATED BY GOOD HORTICULTURAL PRACTICES AND AVAILABILITY OF PLANT MATERIAL.
- NEWLY INSTALLED TREES AND SHRUBS SHALL BE IRRIGATED WEEKLY FOR THE FIRST GROWING
- 8. IN THE EVENT OF ANY DISCREPANCIES WITH THIS PLAN, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY FOR REVIEW AND RESOLUTION.
- BACKFILL MATERIAL FOR PLANTING AREAS SHALL BE COMPOSED OF 80% TOPSOIL AMENDED WITH 10% PEAT MOSS AND 10% FULLY COMPOSTED HORSE OR COW MANURE.
- 10 THE QUALITY AND SIZE OF PLANT MATERIAL, SPREAD OF THE ROOTS AND THE SIZE OF THE ROOT BALL SHALL BE IN ACCORDANCE WITH "AMERICAN STANDARDS FOR NURSERY STOCK"
- 11. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. THEY SHALL HAVE NORMAL, WELL-DEVELOPED BRANCHES AND VIGOROUS FIBROUS ROOT SYSTEMS. ALL PLANTS SHALL BE NURSERY-GROWN, UNLESS OTHERWISE STATED. ALL PLANTS WHICH ARE FOUND UNSUITABLE IN GROWTH OR CONDITION, OR WHICH ARE NOT TRUE TO NAME, SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE PLANTS.
- 12. PLANTS SHALL BE MEASURED AS THEY STAND IN THEIR NATURAL POSITION, STOCK FURNISHED SHALL BE A FAIR AVERAGE OF THE MINIMUM SIZES SPECIFIED OR OF THE RANGE GIVEN IN THE U.S.D.A STANDARDS FOR NURSERY STOCK. LARGER PLANTS CUT BACK TO SIZES SPECIFIED SHALL NOT BE ACCEPTED.
- 13. ALL PRECAUTIONS CUSTOMARY IN GOOD TRADE PRACTICES SHALL BE TAKEN IN PREPARING PLANTS FOR MOVING, ALL BALLED AND BURLAPPED PLANTS SHALL BE DUG TO MEET OR EXCEED U.S.D.A. STANDARDS FOR NURSERY STOCK.
- 14. PLANTS SHALL BE PACKED, TRANSPORTED AND HANDLED WITH UTMOST CARE TO ENSURE ADEQUATE PROTECTION AGAINST INJURY, EACH SHIPMENT SHALL BE CERTIFIED BY STATE AND FEDERAL AUTHORITIES TO BE FREE FROM DISEASES AND INFESTATION.
- 15. IN ORDER TO ACHIEVE THE EFFECT ESTABLISHED IN THE PLANTING PLAN, UNIFORMITY OF PLANT MATERIAL IS DESIRED. THE PLANT MATERIAL SHALL BE OF THE SAME SIZE, AGE AND CULTIVAR, AND SHALL HAVE BEEN OBTAINED FROM THE SAME NURSERY.

SCIENTIFIC	COMMON NAME	HEIGHT	SPACING	TYPE	TOTAL NUMBER
VIBURNUM RHYTIDOPHYLLUM	LEATHERLEAF VIBURNUM	MIN. 6' AFTER 2 YEARS	PER PLAN	B&B	43



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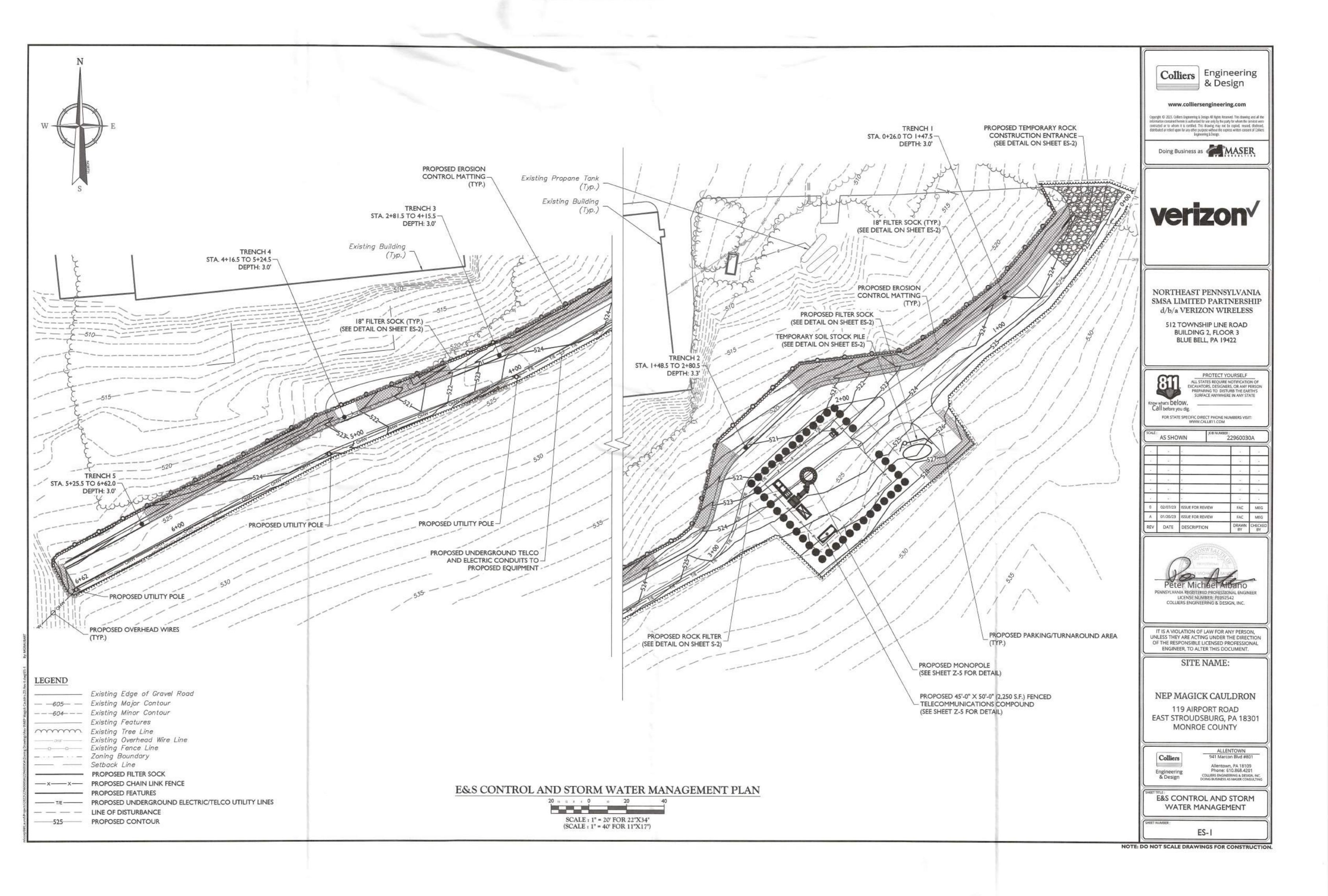
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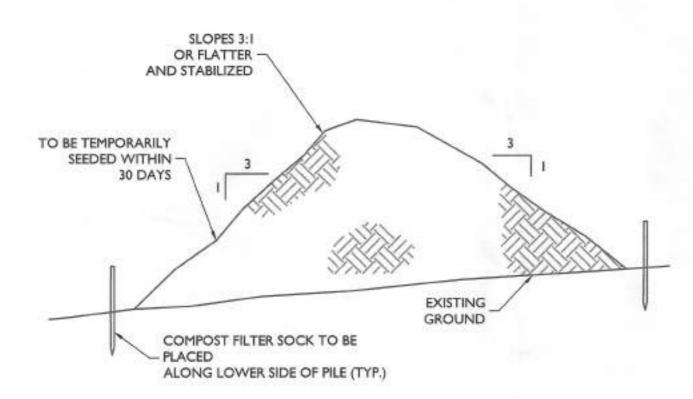
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Phone: 610.868,4201 COLLIERS ENGINEERING & DESIGN, INC. DOING BUSINESS AS MASER CONSULTING

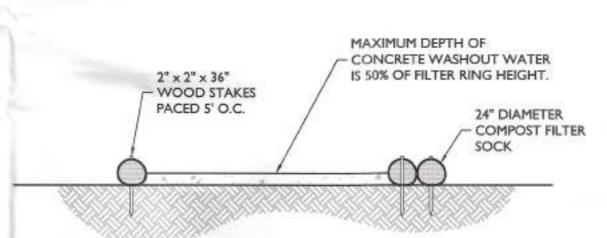
CONSTRUCTION DETAILS





TOPSOIL STOCKPILE DETAIL NOT TO SCALE

- CONCRETE WASHOUTS ARE REQUIRED ON ALL CONSTRUCTION SITES INVOLVING CONCRETE AND STUCCO USE:
- 2. THE CONTRACTOR SHALL REQUIRE ALL CONCRETE DRIVERS TO UTILIZE THE CONCRETE WASHOUTS ONSITE.
- WASHOUT FACILITIES SHALL BE LOCATED AT LEAST 50 YARDS AWAY FROM STORM SEWER DRAIN INLETS, GUTTERS, OPEN DITCHES, AND WATER COURSES.
- APPROPRIATE STONE SHOULD COVER PATHS TO CONCRETE WASHOUT.
- 5. THE NUMBER OF CONCRETE WASHOUTS DEPENDS ON THE EXPECTED DEMAND FOR STORAGE CAPACITY, LARGE SITES WITH EXTENSIVE CONCRETE WORK SHALL BE PLACED AT MULTIPLE LOCATIONS FOR USE BY CONCRETE TRUCK DRIVERS.
- 6. CONCRETE WASHOUT AREAS SHALL BE IDENTIFIED BY POSTING SIGNS
- CONCRETE WASHOUTS ARE TO BE INSPECTED DAILY BY THE CONTRACTOR FOR LEAKS OR TEARS IN PLASTIC LINER.
- 8. REMOVE AND DISPOSE OF ALL MATERIAL WHEN THE WASHOUT HAS BEEN FILLED TO 75% CAPACITY.
- 9. PRIOR TO ANY RAINFALL, ALL CONCRETE WASHOUTS ARE TO BE CLEANED OUT OR COVERED.
- 10. ONCE THE MATERIAL HAS BEEN CLEANED OUT OF THE CONCRETE WASHOUT FACILITY, THE FACILITY MUST BE INSPECTED FOR REPAIR, RECONSTRUCTION OR REPLACEMENT. ALL PLASTIC LINING SHALL BE REMOVED AND REPLACED.
- 11. PRE-FABRICATED OR ONSITE FABRICATED CONCRETE WASHOUTS MAY
- 12. OPTIONS FOR ONSITE CONCRETE WASHOUTS:
 - A. DIG A PIT AND LINE WITH 10 MIL PLASTIC SHEETING.
 - B. CREATE AN ABOVE-GROUND STRUCTURE FROM STRAW BALES OR SANDBAGS, WITH 10 MIL PLASTIC LINING.



HEIGHT.

- INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE. 18" DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED
- 2" x 2" x 36" WOODEN STAKES PLACED 5' O.C. DIRECT CONCRETE WASHOUT WATER INTO FILTER RING 24" DIAMETER COMPOST FILTER SOCK 4' MIN.

OVERLAP ON UPSLOPE

SIDE OF FILTER RING

CONCRETE WASHOUT DETAIL

NOT TO SCALE

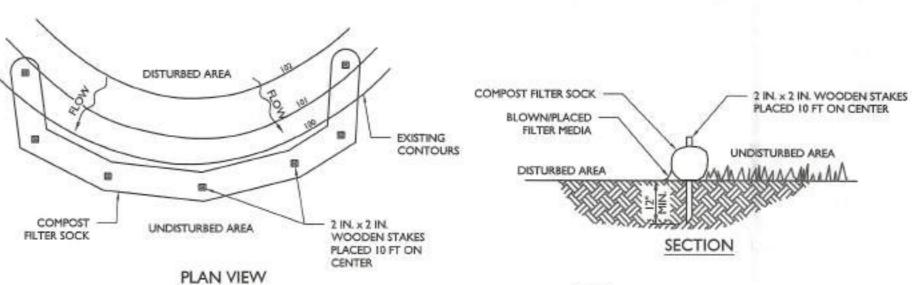


TABLE 4.1 COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS Heavy Duty Multi-Filament Multi-Filament Material Type 3 mil HDPE 5 mil HDPE 5 mil HDPE Polypropylene . Polypropylene (HDMFPP) Material Characteristics degradable degradable degradable degradable Sock Diameters Mesh Opening 26 psi 26 psi 44 psi 202 psi Ultraviolet Stability % 23% at Original Strength 1000 hr. 1000 hr. 1000 hr. (ASTM G-155) Minimum Functional l year 9 months 6 months 2 years Longevity Two-ply Systems HDPE blaxial net Continuously wound

Fusion-welded junctures

3/4" x 3/4" Max. apenture size

Composite Polypropylene Fabric (Woven layer and non-woven fleece

mechanically fused via needle punch)

3/16" Max. aperture size

Sock fabrics composed of burlap may be used on projects lasting 6 months or less. TABLE 4.2 COMPOST STANDARDS 25% - 100% (dry weight basis) Organic Matter Content Fibrous and elongated Organic Portion 5.5-8.5 30%-60% Moisture Content 30% - 50% pass through 36" sieve Particle Size Soluble Salt Concentration 5.0 d5/m (mmhos/com) Maximum

Inner Containment Netting

Outer Filtration Mesh

- SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL
- COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS
- TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER
- 4. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
- COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
- BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS: PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK. STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

STANDARD CONSTRUCTION DETAIL # 4-1, STANDARD CONSTRUCTION TABLE #4.1 & 4.2 COMPOST FILTER SOCK DETAIL

NOT TO SCALE

GENERAL NOTES:

- 1. THE SEDIMENT AND STORMWATER PROGRAM (OR DELEGATED AGENCY) MUST BE NOTIFIED IN WRITING FIVE (5) DAYS PRIOR TO COMMENCING WITH CONSTRUCTION. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE APPROVED SEDIMENT AND STORMWATER
- 2. REVIEW AND OR APPROVAL OF THE SEDIMENT AND STORMWATER MANAGEMENT PLAN SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OR HER RESPONSIBILITIES FOR COMPLIANCE WITH THE REQUIREMENTS OF THE DELAWARE SEDIMENT AND STORMWATER REGULATIONS, NOR SHALL IT RELIEVE THE CONTRACTOR FROM ERRORS OR OMISSIONS IN THE APPROVED PLAN.
- 3. IF THE APPROVED PLAN NEEDS TO BE MODIFIED, ADDITIONAL SEDIMENT AND STORMWATER CONTROL MEASURES MAY BE REQUIRED AS DEEMED NECESSARY BY THE DELEGATED AGENCY.
- 4. FOLLOWING SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED FOR ALL PERIMETER SEDIMENT CONTROLS, SOIL STOCKPILES, AND ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE WITHIN 14 CALENDAR DAYS UNLESS MORE RESTRICTIVE FEDERAL REQUIREMENTS APPLY.
- 5. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL COMPLY WITH THE DELAWARE EROSION AND SEDIMENT CONTROL
- 6. AT ANY TIME A DEWATERING OPERATION IS USED, IT SHALL BE PREVIOUSLY APPROVED BY THE AGENCY CONSTRUCTION SITE REVIEWER FOR A NON-EROSIVE POINT OF DISCHARGE, AND A DEWATERING PERMIT SHALL BE APPROVED BY THE WELL PERMITTING BRANCH.
- 7. APPROVAL OF A SEDIMENT AND STORMWATER MANAGEMENT PLAN DOES NOT GRANT OR IMPLY A RIGHT TO DISCHARGE STORMWATER RUNOFF. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ANY AND ALL AGREEMENTS, EASEMENTS, ETC., NECESSARY TO COMPLY WITH STATE DRAINAGE AND OTHER APPLICABLE LAWS.
- 8. THE CONTRACTOR SHALL AT ALL TIMES PROTECT AGAINST SEDIMENT OR DEBRIS LADEN RUNOFF OR WIND FROM LEAVING THE SITE. PERIMETER CONTROLS SHALL BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENT FROM LEAVING THE SITE. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED HALF OF THE EFFECTIVE CAPACITY OF THE CONTROL. IN ADDITION, THE CONTRACTOR MAY NEED TO ADJUST OR ALTER MEASURES IN TIMES OF ADVERSE WEATHER CONDITIONS, OR AS DIRECTED BY THE AGENCY CONSTRUCTION SITE REVIEWER.



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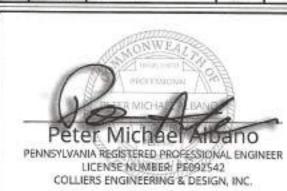
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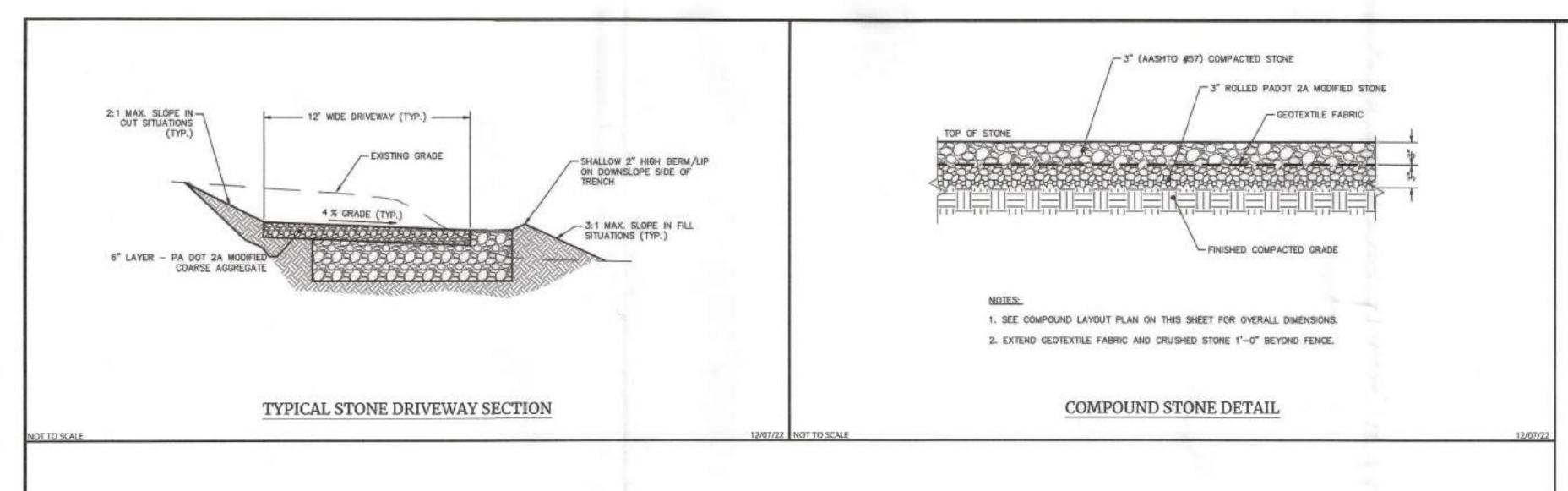
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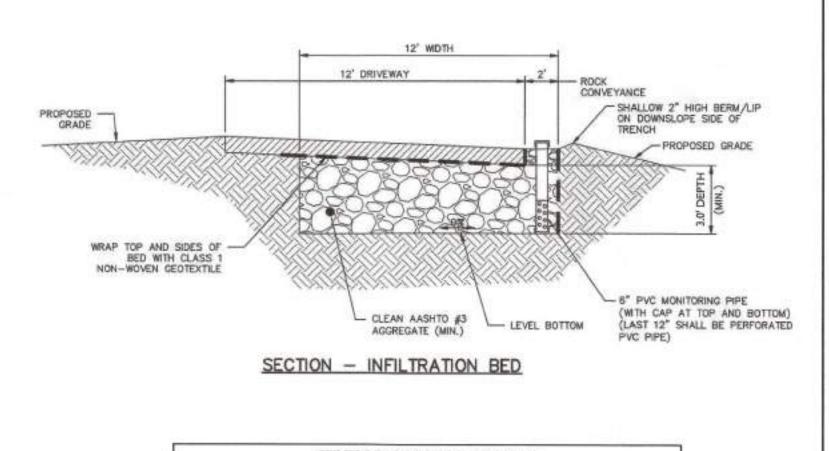
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E&S CONTROL AND STORM WATER DETAILS

ES-2





TRENCH SIZING CHART				
INFILTRATION TRENCH	START STATION	END STATION	DEPTH	
TRENCH I	0+26.0	1+47.5	3.0"	
TRENCH 2	1+48.5	2+80.5	3.37	
TRENCH 3	2+81.5	4+15.5	3.0"	
TRENCH 4	4+16.5	5+24.5	3.0	
TRENCH 5	5+25.5	6+62.0	3.0"	

STONE TRENCH DETAIL



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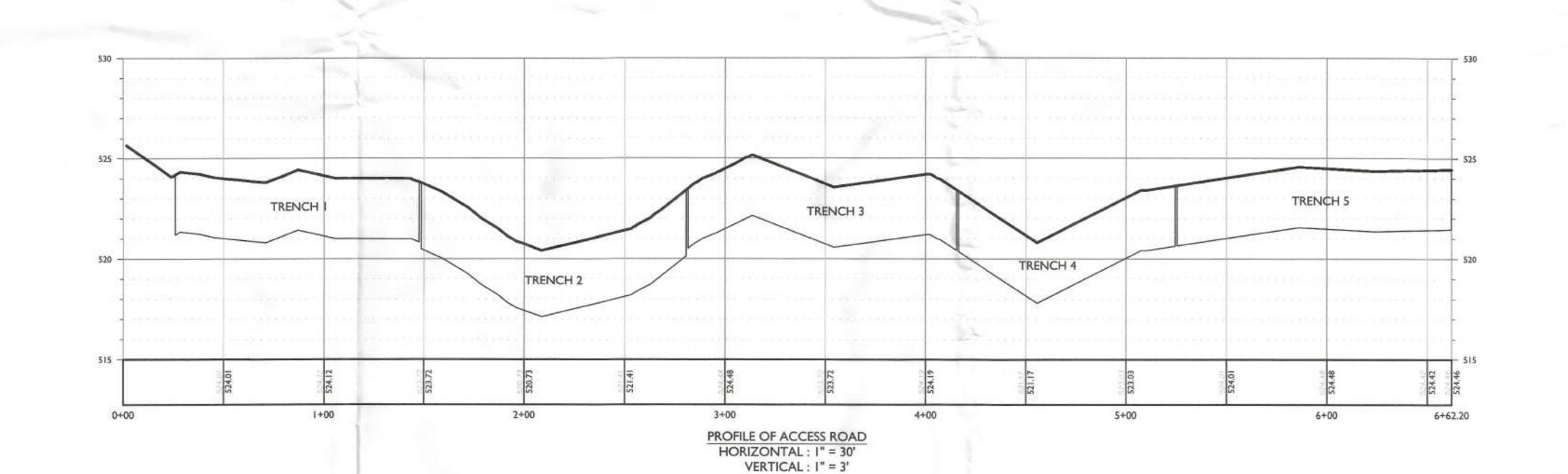
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SHEET TITLE (

E&S GRADING DETAILS

SHEET NUM



GENERAL SEDIMENT AND EROSION CONTROL METHODS/PROCEDURES

- I. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
- AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND
 GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER,
 APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER. THE LICENSED
 PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN,
 AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION
 MEETING.
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES. OR EXPANDING INTOAN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT I-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.
- AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION. ROOTS AND OTHER OBJECTIONABLE MATERIAL.
- 6. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE EAS BMPS SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS EAS PLAN.
- AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS, THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
- 8. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(5) SHOWN ON THE PLAN MAPS(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H: IV OR FLATTER.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION. THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
- 10. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURNED, DUMPED, OR DISCHARGED AT THE SITE.
- ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
- 12. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
- ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
- 14. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPS SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- 15. A LOG SHOWING DATES THAT EAS BMPS WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
- 16. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETIJENED TO THE CONSTRUCTION SITE BY THE END OF EACH WORKDAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEPT INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
- ALL SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
- 18. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES 6 TO 12 INCHES ON COMPACTED SOILS PRIOR TO PLACEMENT OF TOPSOIL, AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR
 OTHER RELATED PROBLEMS, FILL INTENDED TO SUPPORT BUILDINGS, STRUCTIJRES AND CONDUITS, ETC. SHALL
 BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- 20. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR
 OBJECTIONABLE MATERIALS THAT WOULID INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY
 FILLS.

22. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.

- 23. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- 24. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- 25. ALL GRADED AREAS SHALL BE PERMANENTILY STABILIZED IMMEDIATELY UPON REACHING FINISHED CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
- 26. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE. WHICH WILL BE REACTIVATED I'I ITHIN I YEAR. MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN I YEAR SHALL BE STABILIZED IN ACCORDANCE I'I ITH THE PERMANENT STABILIZATION SPECIFICATIONS.
- 27. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
- 28. E&S BMPS SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
- 29. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPS.
- 30. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPS MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPS SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
- 31. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
- 32. FAILURE TO CORRECTLY INSTALL E&S BMPS, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPS MAY RESULT IN ADMINISTRATIVE, CIVIL AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENINSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENAL TIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENAL TIES, AND UP TO \$25,000 BN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.

- SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.
- 34. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE MONROE COUNTY CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE DISTRICT MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
- ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS PUMPED WATER FILTER BAG OR EQUIVALENT SEDIMENT REMOVAL FACILITY, OVER UNDISTURBED VEGETATED AREAS.
- 36. ANY PLACEMENT OF CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL.

SEEPING SPECIFICATIONS

TEMPORARY COVER - PENNDOT FORMULA E

SPECIES ANNUAL RYE GRASS (98% PURE LIVE SEED)
APPLICATION RATE 10 LBS PER 1000 SQUARE YARDS
APPLICATION DATE MARCH 15 TO OCTOBER 15

PERMANENT COVER - ERNST ERNMX-132-1 RIGHT-OF-WAY NATIVE WOODS MIX WITH ANNUAL RYEGRASS OR APPROVED EQUAL

APPLICATION RATE 30 LBS ACRE

SHALL BE GRADED, RESEEDED, AND RE-MULCHED AS SOON AS POSSIBLE.

AUGUST 1 TO OCTOBER 15

*VEGETATIVE STABILIZATION WILL BE PERIODICALLY INSPECTED FOR PROPER GROWTH, ANY AREAS NOT RESPONDING WILL BE PROMPTLY RESEEDED. AREAS, WHICH SHOW SIGNS OF EROSION, PRIOR TO STABILIZATION.

MARCH 15 TO JUNE I

MULCHING SPECIFICATIONS

APPLICATION DATE

- HAY OR STRAW -- AIR-DRIED, FREE OF SEED AND COARSE MATERIAL. INSTALLATION RATE FOR PERMANENT AND TEMPORARY STABILIZATION IS THREE (3) TONS PER ACRE.
- THE MULCHING WILL BE UTILIZED DURING WINTER MONTHS AS A GOOD GROUND COVER ON TOPSOIL STOCKPILES, GRADED SLOPES AND OTHER AREAS TO BE GRASSED.
- 3. THE DISTURBED AREAS WILL BE SEEDED WITHIN THE FIRST WIEEK OF THE DESIGNATED GROWING SEASON, OR BEFORE, IF THE WEATHER IS FAVORABLE.
- 4. STRAW MULCH SHALL BE APPLIED AT THE RATE OF 3.0 TONS PER ACRE. ON STEEP SLOPES OF 3: I OR GREATER. MULCH SHALL BE ANCHORED THROUGH THE USE OF JUTE NETTING, EROSION CONTROL BLANKETS, OR MIXING WITH ASPHALT AT THE RATE OF 100 GALLONS PER 3 TONS OF STRAW MULCH.
- 5. STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN.

SOIL SUPPLEMENT SPECIFICATIONS

ALL TOPSOIL SHALL BE LOOSENED TO A DEPTH OF AT LEAST 4". ALL OBJECTIONABLE MATERIAL LARGER THAN 2"
SHALL BE REMOVED.

DUE TO THE NATURE OF THE SOILS AT THE SITE IT MAY BE NECESSARY TO IMPORT TOPSOIL WITH SUFFICIENT ORGANIC MATERIAL AND WATER CAPACITY TO SUSTAIN THE SPECIFIED SEED MIXTURE.

LIMESTONE AND FERTILIZER SHALL BE APPLIED UNIFORMLY TO AREAS TO BE SEEDED, AND WORKED INTO THE SOIL

SUPPLEMENTS SHALL CONFORM TO THE REQUIREMENTS OF PENNDOT PUBLICATION 408, SECTION 804.

HMING - PHILV

LIMING - PULVERIZED AGRICULTURAL LIMESTONE -- APPLIED AT 800 LBS/ 1000 SY FERTILIZER - 10-20-10 ANALYSIS COMMERCIAL FERTILIZER - APPLIED AT 140 LBS PER 1000 SY

PERMANENT

LIMING - PULVERIZED AGRICULTURAL LIMESTONE -- APPLIED AT 800 LBS/ 1000 SY FERTILIZER - 10-20-10 ANALYSIS COMMERCIAL FERTILIZER - APPLIED AT 140 LBS PER 1000 SY 38-0-0 UREAFORM FERTILIZER - APPLIED AT 50 LBS/1000 SY

OR 32-0-0 TO 38-0-0 SULFUR COATED UREA FERTILIZER - APPLIED AT 59 LBS/1000 SY TO 50 LBS/1000 SY OR 31-0-0 IBDU FERTILIZER - 61 LBS/1000 SY

SOILS LIMITATIONS & RESOLUTIONS

THE FOLLOWING ADDRESSES POTENTIAL ON-SITE SOILS USE LIMITATIONS AND PROPOSED RESOLUTIONS (RELATING TO THE SOILS WHERE CONSTRUCTION ACTIVITIES ARE PROPOSED):

SLOW PERCOLATION - INFILTRATION TESTING WAS PERFORMED TO CONFIRM SUITABILITY OF PROPOSED STORMWATER FACILITIES. SUBGRADE COMPACTION MUST BE LIMITED AS MUCH AS POSSIBLE IN INFILTRATION AREAS.

LOW STRENGTH/CUTBANKS CAVE - THE EXCAVATION IN CUT AND PLACEMENT OF FILL WILL BE MINIMAL AND FILL SHALL BE PROPERLY COMPACTED.

DROUGHTY /POOR TOPSOIL - SOIL SUPPLEMENTS WILL BE USED AS NEEDED.

FROST ACTION - FROZEN FILL MATERIAL MUST NOT BE USED DURING CONSTRUCTION. PLACE ASIDE AND ALLOW TO THAW AND DRY OUT PRIOR TO USE, DO NOT PLACE MATERIAL ON FROZEN GROUND.

PIPING - TRENCH BACKFILL SHALL BE PROPERLY COMPACTED WHEN INSTALLING UNDERGROUND UTILITIES.

RECYCLING AND DISPOSAL METHODS

PROCEDURES, WHICH ENSURE THAT THE PROPER MEASURES FOR THE RECYCLING OR DISPOSAL OF MATERIALS ASSOCIATED WITH OR FROM THE PROJECT SITE, WILL BE UNDERTAKEN IN ACCORDANCE WITH DEPARTMENT REGULATIONS, INDIVIDUALS RESPONSIBLE FOR EARTH DISTURBANCE ACTI-TIES MUST ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS, CONSTRUCTION WASTES INCLUDE, BUT ARE NOT LIMITED TO, EXCESS SOIL MATERIALS, BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, ETC. THAT COULD ADVIERSELY IMPACT WATER QUALITY, THE CONTRACTOR SHALL PLAN AND IMPLEMENT MEASURES FOR HOUSEKEEPING, MATERIALS MANAGEMENT, AND LITTER CONTROL DURING CONSTRUCTION. WHEREVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL DISPOSAL OF CONSTRUCTION WASTES SHALL BE IN ACCORDANCE I'IITH ALL LOCAL, STATE AND FEDERAL GUIDELINES AND REGULATIONS.

CLEAN FILL AND ENVIROMENTAL DUE DILIGENCE:

- IF THE SITE WILL HAVE EXCESS FILL THAT WILL NEED TO BE EXPORTED TO AN OFF SITE LOCATION, THE
 RESPONSIBILITY OF CLEAN FILL DETERMINATION AND ENVIRONMENTAL DUE DILIGENCE RESTS ON THE
 APPLICANT. IF ALL CUT AND FILL MATERIALS WILL BE USED ON THE SITE. A CLEAN FILL DETERMINATION IS NOT
 REQUIRED BY THE OPERATOR UNLESS THERE IS A BELIEF THAT A SPILL OR RELEASE OF A REGULATED SUBSTANCE
 OCCURRED ON THE SITE.
- ALL FILL MATERIAL MUST BE USED IN ACCORDANCE WITH PA DEP'S POLICY "MANAGEMENT OF FILL" DOCUMENT NUMBER 258-2182-773.
- 3. CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL, THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT (NOT INCLUDING MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE), AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWIEALTH UNLESS OTHERWISE AUTHORIZED.
- 4. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, RE-EW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANAL YTCAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTIONS AND/OR RE-EW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE.
- FILL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH PA DEP'S MUNICIPAL OR RESIDENTIAL WASTE REGULATIONS BASED ON 25 PA CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE.

MAINTENANCE PROGRAM

UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION CONTROLS MUST BE MAINTAINED PROPERLY. VERIZON WIRELESS IS RESPONSIBLE FOR MAINTAINING OF EAS BMP'S, MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION CONTROL DE-CES AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING, MUST BE PERFORMED IMMEDIATELY.

WHERE DUST OR WIND EROSION IS A PROBLEM, THE UNSTABLE SURFACE(S) SHALL BE SPRINKLED I'I ITH WATER OR OTHER SUITABLE DUST SUPPRESSER.

ANY TEMPORARY EROSION CONTROL MEASURE APPLIED TO EXPOSED SOIL SURFACES SHALL REMAIN FUNCTIONAL UNTIL VEGETATIVE COVER IS SUFFICIENTLY ESTABLISHED, TEMPORARY STABILIZATION SHALL OCCUR NO MORE THAN 4 DAYS AFTER EARTHMOVING ACTIVITIES CEASE.

CHECKED DAILY AND REALIGNED OR RESET AS REQUIRED. REMOVE SEDIMENT WHEN IT REACHES ONE HALF OF FENCE HEIGHT.

VEGETATIVE STABILIZATION SHALL BE PERIODICALLY INSPECTED FOR PROPER GROWTH. ANY AREAS NOT

ANY DEBRIS ACCUMULATED AT FILTER SOCKS SHALL BE REMOVED AND PROPERLY DISPOSED. BARRIERS SHALL BE

RESPONDING SHALL BE PROMPTLY RESERVED. AREAS WHICH SHOW SIGNS OF EROSION PRIOR TO STABILIZATION

SHALL BE GRADED, RESEEDED AND REMULCHED AS SOON AS POSSIBLE, SOD SHALL BE UTILIZED AT AREAS WHERE

ALL EROSION AND SEDIMENTATION POLLUTION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL THE SITE HAS BEEN STABILIZED. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER

SEQUENCE OF CONSTRUCTION

SEEDING DOES NOT APPEAR TO BE PROPERLY STABILIZING AN AREA.

NOTE: ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE AND FOLLOWING STAGE IS INITIATED. CLEARING, GRUBBING AND TOPSOIL STRIPPING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.

- AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTMTIES, THE OPERATOR SHALL INVITE ALL
 CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS,
 THE EROSION AND SEDIMENT CONTROL PLAN PREPARER, AND REPRESENTATIVES OF THE COUNTY
 CONSERVATION DISTRICT TO AN ON-SITE MEETING. ALSO, AT LEAST 3 DAYS BEFORE STARTING ANY EARTH
 DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE
 PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR BURIED UTILITIES LOCATIONS.
- 2. MARK THE LIMITS OF DISTURBANCE IN THE FIELD.
- 3. INSTALL FILTER SOCK AT LOCATIONS INDICATED.
- 4. REMOVED EXISTING PAVED DRIVEWAY.
- 5. INSTALL TEMPORARY CONSTRUCTION ENTRANCE AND TEMPORARY ACCESS.
- 6. CLEAR AND GRUB ACCESS DRIVE AND TOWER COMPOUND.
- 7. REMOVE TOPSOIL STOCKPILE TOPSOIL IN AREA INDICATED WITHIN THE FILTER SOCK.
- 8. CONSTRUCT ACCESS DRIVE, INSTALL INFILTRATION TRENCH A2 AND STONE COLLECTION TRENCH.
- PERFORM GRADING OPERATIONS AND CONSTRUCT IMPROVEMENTS ON SITE. CARE SHOULD BE TAKEN TO
 INSTALL THE GEO TEXTILE AND COARSE AGGREGATE LAYER IN THE FENCED COMPOUND AREA AS SOON AS
 POSSIBLE TO AVOID PROLONGED EXPOSURE OF THE SUBBASE. INSTALL UNDERGROUND/OVERHEAD UTILITY LINE
 BY LIMITING DAILY DISTURBANCE TO AMOUNT OF TRENCHING, EXCAVATION, RESTORATION, AND
 STABILIZATION THAT CAN BE COMPLETED IN ONE DAY.
- 10. INSTALL EROSION CONTROL MATTING ON ALL SLOPES EQUAL TO OR STEEPER THAN 3: 1.
- II. INSTALL INFILTRATION TRENCH AL.
- 12. INSTALL LANDSCAPING.
- 13. RE-APPLY TOPSOIL ON DISTURBED AREAS TO BE SEEDED, REMOVE EXCESS TOPSOIL STOCKPILE FROM SITE AND DISPOSE OF IT PROPERLY. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE PROPER REMOVAL AND DISPOSAL OF ANY EXCESS TOPSOIL AND FILL MATERIAL FROM THE SITE. THE RECEIVING SITE MUST HAVE A SOIL EROSION AND SEDIMENTATION CONTROL PLAN APPROVED BY THE COUNTY CONSERVATION DISTRICT PRIOR TO THE PLACEMENT OF ANY FILL.
- PROCEDURES WHICH ENSURE THAT THE PROPER MEASURES FOR THE RECYCLING OR DISPOSAL OF MATERIALS
 ASSOCIATED WITH OR FROM THE PROJECT SITE WILL BE UNDERTAKEN IN ACCORDANCE WITH DEPARTMENT
 REGULATIONS FROM TITLE 25 102.4(B).(5).(XI)
- 15. WITH THE PERMISSION OF THE CONSERVATION DISTRICT INSPECTOR, REMOVE EROSION AND SEDIMENTATION CONTROL DEVICES WHEN THE SITE IS STABILIZED. SEED AREAS WHERE DEVICES WERE REMOVED. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.

INFILTRATION FACILITIES NOTES

- PLACE ORANGE CONSTRUCTION FENCE SURROUNDING THE PROPOSED INFILTRATION TRENCHES/BEDS AS INDICATED ON THE PLAN PRIOR TO ANY EARTH DISTURBANCE TO PREVENT POTENTIAL SOIL COMPACTION FROM CONSTRUCTION TRAFFIC.
- 2. THE BOTTOM OF THE BED MUST BE COMPLETELY LEVEL.
- EXCAVATION SHALL BE DONE WITH A BACKHOE POSITIONED OFF TO THE SIDE OF THE TRENCH/BED. HEAVY
 CONSTRUCTION EQUIPMENT IS NOT PERMITTED ON THE BOTTOM OF THE INFILTRATION TRENCH/BED.
- 4. INFILTRATION TRENCH/BED FILTER FABRIC AND STONE SHOULID BE KEPT CLEAN OF SOIL/SEDIMENT OR PUNCTURES DURING THE INSTALLATION PROCESS. IF INSPECTION INDICATES THAT SOIL SEDIMENT HAS ENTERED THE INFILTRATION TRENCH/BED, OR THE FABRIC HAS BEEN PUNCTURED, APPROPRIATE MEASURES (I.E. CLEANING THE SOIL/SEDIMENT FROM THE FABRIC, STONE, BED, ETC. AND OR REPLACEMENT OF THE FABRIC AND STONE) SHOULD BE ADDRESSED.
- 5. STONE IS TO BE CHECKED BY THE DESIGN OR SITE ENGINEER PRIOR TO INSTALLATION INTO THE INFILTRATION BMPs TO ENSURE THAT IT IS CLEAN WASHED STONE.
- ALL STONE FOR THE CONSTRUCTION OF THE INFILTRATION TRENCHES/BEDS SHOULD BE UNIFORMLY GRADED AND BE CLEAN WASHED AGGREGATE, ONLY CLEAN AGGREGATE, FREE OF FINES, SHALL BE ALLOWED.
- THE BOTTOM OF THE INFILTRATION TRENCH/BED SHALL BE UNDISTURBED OR UNCOMPACTED SUBGRADE AND BE SCARIFIED PRIOR TO PLACEMENT OF FABRIC AND AGGREGATE.
- INFLOW AND OUTFLOW POINTS INTO THE INFILTRATION TRENCH/BED SHOULD BE KEPT CLEAN OF LEAVES
 AND OTHER DEBRIS. ANY LEAVES OR DEBRIS WILL NEGATIVELY IMPACT THE PERFORMANCE OF THIS
 ALL DOWNSPOUTS AND OVERFLOW PIPES SHOULD BE KEPT IN GOOD WORKING ORDER.
- SHOULD BEDROCK, HIGH GROUNDWATER, OR SOIL LIMITATIONS PROHIBIT THE USE OF THIS SYSTEM AS
 INTENDED, AN ALTERNATIVE LOCATION ON THE PROPERTY OR REDESIGN OF STORMWATER MANAGEMENT
 FACILITIES MAY BE REQUIRED, ANY NEW DESIGNS OR REALLOCATIONS RESULTING FIROM ADVERSE SITE
 CONDITIONS MUST BE REVISED BY THE DESIGN ENGINEER AND MUST BE SUBMITTED TO THE GOVERNING
 AGENCY ON A REVISED PLAN FOR REVIEW AND APPROVAL.
- 10. CHECK STORMWATER MANAGEMENT SYSTEM REGULARLY, ESPECIALLY AFTER SIGNIFICANT RAINFALL EVENTS AND MAKE ANY REPAIRS NEEDED TO KEEP FACILITIES FUNCTIONAL LESSEE IS RESPONSIBLE FOR MAINTENANCE OF FACILITY.
- 11. ALSO SEE OTHER NOTES HEREON.

OPERATION AND MAINTENANCE SCHEDULE

 VERIZON WIRELESS SHALL OWN, MAINTAIN AND BE RESPONSIBLE FOR ALL STORMWATER MANAGEMENT AND PERMANENT BMP FACILITIES (I.E. RAIN GARDENS, SEEPAGE BEDS, DETENTION BASINS AND SWALES) THAT ARE LOCATED OUTSIDE OF STREET RIGHT-OF-WAYS AS PROPOSED ON THE PLANS.

- 2. VERIZON WIRELESS SHALL CONDUCT A VISUAL INSPECTION OF ALL STORMWATER MANAGEMENT AND PERMANENT BMP FACILITIES AT LEAST ONCE EVERY THREE MONTHS AND IMMEDIATELY AFTER STORM SUCH VISUAL EXAMINATION SHALL AT LEAST INVOLVE AN EXAMINATION OF THE STORMWATER COLLECTION, CONVEYANCE AND BMP FACILITIES FOR DEBRIS DEPOSITION (SUCH DEBRIS MAY INCLUDE, BUT SHALL NOT BE LIMITED TO AGGREGATE MATERIAL, LEAVES, GRASS CLIPPINGS, SOIL AND TRASH), AND AN EXAMINATION OF THE STORMWATER BMP FACILITIES FOR SOIL AND STRUCTURAL SETTLEMENT, DEPRESSIONS, SINKHOLES, SEEPS, STRUCTURAL CRACKING, ANIMAL BURROWS, EXCESSIVE VEGETATION, CLOGGING, EROSION AND FOUNDATION MOVEMENT.
- VERIZON WIRELESS SHALL REMOVE ANY ACCUMULATION OF DEBRIS AND REPAIR ANY DAMAGE TO THE STORMWATER MANAGEMENT AND PERMANENT BMP FACILITIES. REPAIRS SHALL BE MADE USING MATERIAL THAT MEETS OR EXCEEDS THE SPECIFICATIONS PROVIDED ON THE PLANS.
- 4. VERIZON WIRELESS IS REQUIRED TO MAINTAIN A RECORD OF ALL INSPECTIONS, REPAIRS AND MAINTENANCE ACTIVITIES ASSOCIATED I'I ITH THE STORMWATER MANAGEMENT AND PERMANENT BMP FACILITIES AT THIS PROJECT SITE. VIERIZON WIRELESS SHALL IMMEDIATELY NOTIFY THE COUNTY CONSERVATION DISTRICT PRIOR TO INITIATING ANY MAJOR REPAIR ACTIVITIES (SUCH AS REPAIRS THAT MAY BE REQUIRED BECAUSE OF SETTLEMENT, SINKHOLES, SEEPS, STRUCTIJRAL CRACKING OR FOUNDATION MOVEMENT).
- VERIZON WIRELESS SHALL ALSO COMPLY WITH ANY OTHER MAINTENANCE NOTES INCLUDED ON THE DEVELOPMENT PLANS.
- 6. VERIZON WIRELESS SHALL BE RESPONSIBLE FOR PROPER MAINTENANCE DURING AND AFTER DEVELOPMENT.
- AT NO TIME WILL ANY ACTION BE TAKEN BY THE OCCUPANT TO DISRUPT OR IN ANY WAY IMPAIR THE EFFECTIVENESS OF ANY STORMWATER MANAGEMENT SYSTEM.

SPECIFIC OPERATION AND MAINTENANCE

STONE COLLECTION TRENCH WITH STONE CHANNEL DISCHARGE

- I. INSPECT AT LEAST ONCE PER YEAR AND AFTER ANY STORM EVENT OF GREATER THAN 3 INCHES OF RAIN.
- 2. VERIFY STONE CHANNEL DISCHARGE IS OPERATIONAL REPAIR OR REPLACE AS NEEDED.
- 3. INSPECT ROCK IN PIT AND/OR TRENCH TO DETERMINE IT IS NOT CLOGGED, REPLACE ANY CLOGGED STONE.
- REMOVE ANY ACCUMULATED DEBRIS ON TOP OF STONE COLLECTION PIT OR AT THE OUTLET.
 TRACK REPAIRS AND DATE COMPLETED IN LOG BOOK OR ON INSPECTION FORMS.

VERIFY THAT OUTLET AREA IS STABLE. STABILIZE ANY ERODED OUTLET AREAS.

INICII TRATION TRENCH

- I. INSPECT AT LEAST TWICE PER YEAR AND AFTER ANY STORM EVENT OF GREATER THAN 3 INCHES OF RAIN.
- MAKE ANY REPAIRS NEEDED TO KEEP FACILITY FUNCTIONAL. IF AT ANY POINT, THERE IS VISUAL EVIDENCE OF STANDING WATER WITHIN THE STONE TRENCH OR AT THE SURFACE OF THE STONE TRENCH, MAINTENANCE OF THE FACILITY SHALL BE PERFORMED TO DETERMINE THE NEED FOR REPLACEMENT OF THE STONE WITHIN THE TRENCH.
- 3. TRACK REPAIRS AND DATE COMPLETED IN LOG BOOK OR ON INSPECTION FORMS.



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NEP MAGICK CAULDRON

119 AIRPORT ROAD EAST STROUDSBURG, PA 18301 MONROE COUNTY

Colliers

& Design

ALLENTÓWN 941 Marcon Blvd #801

Phone: 610.868.4201

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WATER GENERAL NOTES

SHIPT NUMBER :

ES-4