

CONDITIONAL USE PLANS

HEALTHY MINDS TREATMENT CENTER

HEALTHY MINDS PARTNERS, LLC

SMITHFIELD TOWNSHIP
MONROE COUNTY, PA
AUGUST 22, 2023

Plans Prepared by:



272.200.2050
barryisett.com
525 MAIN ST, 2ND FLOOR
STROUDSBURG, PA 18360

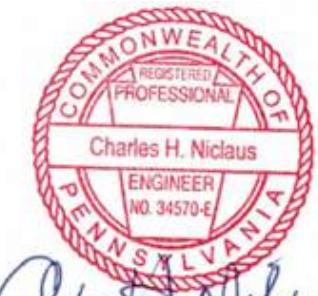
COUNTY OF MONROE DAY OF _____, 20____
ON THIS THE _____ BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED _____
WHO BEING DULY SWORN, ACCORDING TO LAW, DOETH DEPOSE AND SAY THAT _____ (IS, ARE) THE OWNER (S) OF THE PROPERTY SHOWN AND DEPICTED ON THIS PLAN, THAT THIS _____ PLAN WAS MADE AT _____ DIRECTION, AND THAT _____ ACKNOWLEDGES THE SAME AND DESIRE (S) THE SAME TO BE RECORDED ACCORDING TO LAW.

PRINT NAME AND TITLE _____
NAME AND TITLE _____

ENGINEER'S CERTIFICATION

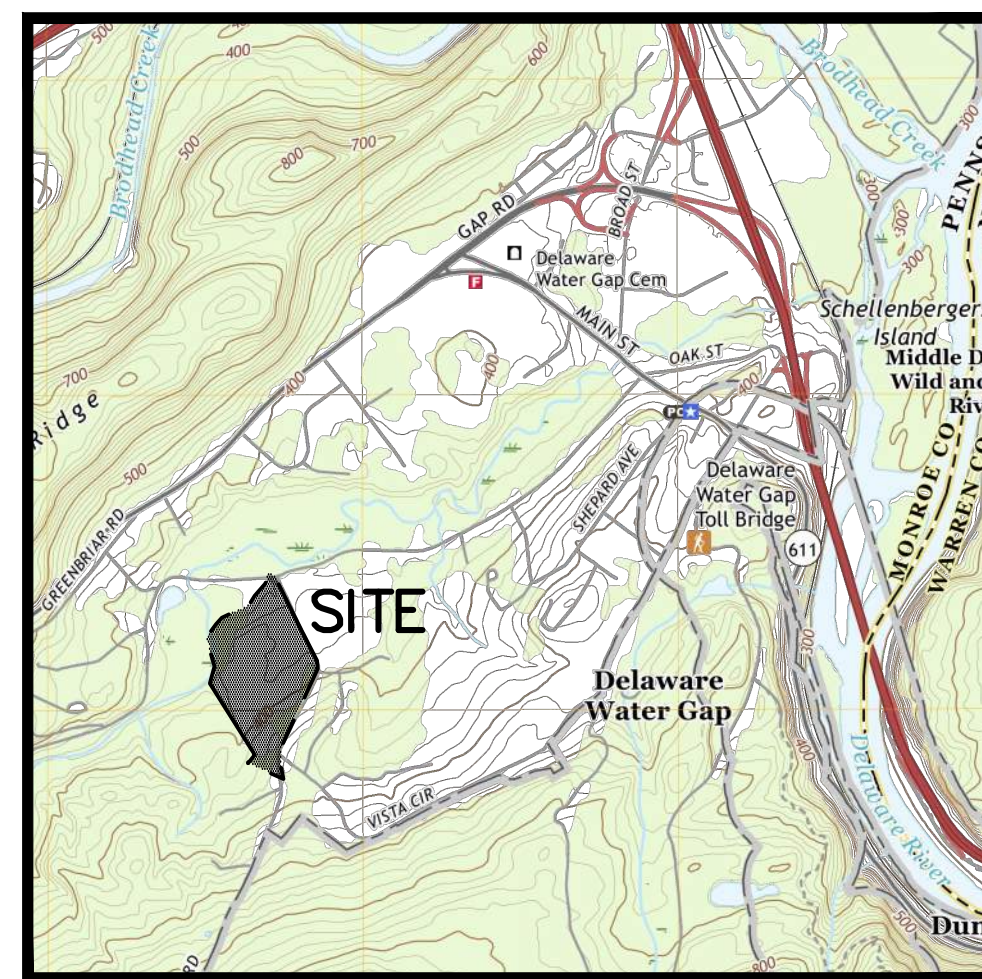
I HEREBY CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF, THE INFORMATION SHOWN ON THIS PLAN IS CORRECT.

CHARLES H. NICLAUS
34570-E
BARRY ISETT & ASSOCIATES
525 MAIN ST, 2ND FLOOR
STROUDSBURG, PA 18360
272-200-2050



CONDITIONAL USE NOTES

- THE HEALTHY MINDS TREATMENT CENTER ('HEALTHY MINDS' OR 'TREATMENT CENTER') WILL BE AN INPATIENT BEHAVIORAL HEALTH REHABILITATION CENTER WITH A PROPOSED CAPACITY OF 60 BEDS. RESIDENTIAL TREATMENT CENTERS ARE PERMITTED THROUGH THE CONDITIONAL USE APPLICATION PROCESS. A DESCRIPTION OF THE PROPOSED PROJECT AND AN OUTLINE OF COMPLIANCE WITH THE REQUIREMENTS OF THE ZONING ORDINANCE AND REFERENCED REGULATIONS ARE PROVIDED IN THIS NARRATIVE.
- THE TREATMENT CENTER WILL BE LOCATED ON A PORTION OF THE FORMER WOLF HOLLOW COUNTRY CLUB. HEALTHY MINDS LLC WILL OPERATE ON THE PORTION OF THE FORMER COUNTRY CLUB THAT IS A 53.74-ACRE PARCEL IDENTIFIED AS PARCEL ID 16.9.1.22 THAT LIES ALONG TOTTS GAP ROAD IN SMITHFIELD TOWNSHIP, PENNSYLVANIA. HEALTHY MINDS WILL CONSTRUCT A MAIN BUILDING AND ADDITIONAL IMPROVEMENTS TO THE PROPERTY AND ITS INFRASTRUCTURE. THE PROJECT ACREAGE ON THE PLANS IS BASED ON DEED PLOT AS OPPOSED TO THE TAZ RECORDS.
- THE HEALTHY MINDS TREATMENT CENTER PROPERTY IS OWNED BY WATER GAP ACQUISITIONS PARTNERS LLC, PURSUANT TO A DEED RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS FOR MONROE COUNTY, PENNSYLVANIA ON APRIL 16, 2013 IN RECORD BOOK 2418 ON STARTING PAGE 6739. PARCEL ID 16.9.1.22 PURSUANT TO A PROPERTY LEASE AGREEMENT DATED XXX, WATER GAP ACQUISITIONS PARTNERS LLC HAS AGREED TO LEASE THE PROPERTY TO A HEALTHY MINDS PARTNERS LLC.
- THE TREATMENT CENTER WILL MAINTAIN ALL REQUIRED LICENSES AND PERMITS FROM THE PENNSYLVANIA DEPARTMENT OF DRUG AND ALCOHOL PROGRAMS, THE PENNSYLVANIA DEPARTMENT OF HUMAN SERVICES, THE PENNSYLVANIA DEPARTMENT OF LABOR AND INDUSTRY, AND MONROE COUNTY. THE APPLICABLE STATE REGULATIONS WITH WHICH HEALTHY MINDS MUST COMPLY COVER ALL ASPECTS OF OPERATING A LICENSED AND ACCREDITED TREATMENT CENTER, INCLUDE:
 - STAFFING REQUIREMENTS
 - QUALIFICATIONS OF STAFF
 - CERTIFICATION OF PROGRAMS
 - PHYSICAL PLANT REQUIREMENTS
 - SIZE AND DESIGN OF COUNSELING AREAS
 - SIZE AND DESIGN OF RESIDENT ACCOMMODATIONS
 - INTAKE AND ADMISSION PROCEDURES
 - NATURE OF TREATMENT AND PROGRAMS
 - SECURITY
 - STATE INSPECTIONS
- COMMUNITY IMPACTS: THE PROPOSED USE WILL NOT HAVE A DETRIMENTAL IMPACT ON ADJACENT PROPERTIES. THE PRIVATE FACILITY IS SET BACK FROM THE ROAD IN A SECURE SETTING GOVERNED BY STRICT REGULATIONS AND STANDARDS OF CARE. THE LARGE GOLF COURSE AROUND IT IS BEING PRESERVED AND WILL STILL FUNCTION AS IT PRESENTLY DOES. THE NEW USE DOES NOT PRODUCE A SIGNIFICANT NEGATIVE IMPACT ON THE PROPERTY VALUES OF ADJACENT PROPERTIES NOR DOES IT CREATE POTENTIAL NUISANCE IMPACTS RELATED TO NOISE, ODORS, VIBRATIONS OR GLARE. RESIDENTIAL TREATMENT PROGRAMS OF THIS TYPE ARE IN GREAT NEED AS COMMUNITIES CONTINUE TO COPE WITH TRAGIC LOSSES THAT CAN BE MITIGATED THROUGH THESE PROGRAMS. IF THE PROPOSED USE IS ONE JUDGED TO PRESENT DETRIMENTAL IMPACTS THROUGH THE UPCOMING HEARING PROCESS, IT IS AGREED THAT AN APPROVAL COULD BE CONDITIONED IN SUCH A MANNER AS TO ELIMINATE OR SUBSTANTIALLY REDUCE THOSE IMPACTS. THE USE WILL HAVE A POSITIVE EFFECT ON THE ENVIRONMENT BY EXPANDING LANDSCAPE USE, RETAINING ALL TREES IN THE PROJECT AREA, PROVIDING NPDES PERMITTED BEST MANAGEMENT PRACTICES FOR STORMWATER CONTROL. IT WILL ALSO PROMOTE JOB CREATION WITH 70 NEW STAFF, IMPROVE THE ECONOMY DURING CONSTRUCTION WITH TAXABLE WAGES AND AFTER WITH AN INCREASED PROPERTY TAX BASE. OPEN SPACE PRESERVATION IS BEING MAINTAINED BY THE CONTINUATION OF THE GOLF COURSE USE OVER MOST OF THE PROPERTY AND NUMEROUS OTHER FACTORS BEING OFFERED LIKE DESPERATELY NEEDED TREATMENT, SECURITY AND COMMUNITY PRESENCE WHICH ALL REASONABLY RELATE TO THE HEALTH, SAFETY AND GENERAL WELFARE OF PRESENT AND/OR FUTURE RESIDENTS OF SMITHFIELD TOWNSHIP.
- THE GRANTING OF AN APPROVAL WILL NOT CAUSE AN ECONOMIC BURDEN ON COMMUNITY FACILITIES OR SERVICES INCLUDING, BUT NOT LIMITED TO, HIGHWAYS (THE TRAFFIC ASSESSMENT CONFIRMS LITTLE TRIP GENERATION AND THE ACCESS IS CLOSE TO CHERRY VALLEY ROAD WHICH IS COLLECTOR TYPE ROAD/LEGISLATIVE ROUTE AND CONNECTS TO HIGHWAYS IN TWO DIRECTIONS, RT 611 TO THE EAST AND ROUTE 191 TO THE WEST), SEWAGE TREATMENT FACILITIES (AN ON-SITE COMMUNITY SYSTEM WILL BE PROVIDED AT THE COST OF THE PROJECT AS WELL AS THE MAINTENANCE TO BE PROVIDED), WATER SUPPLIES (AN ON-SITE POTABLE WELL/WATER SYSTEM WILL BE PROVIDED AT THE COST OF THE PROJECT AS WELL AS THE MAINTENANCE TO BE PROVIDED), AND FIREFIGHTING CAPABILITIES (A FIRE SPRINKLER SYSTEM IS PROPOSED). THE APPLICANT AGREES TO BE RESPONSIBLE FOR PROVIDING SUCH IMPROVEMENTS OR ADDITIONAL SERVICES AS MAY BE REQUIRED TO ADEQUATELY SERVE THE PROPOSED USE AND ANY APPROVAL SHALL BE SO CONDITIONED. THE TOWNSHIP IS UNDERSTOOD BE AUTHORIZED, SUBJECT TO THE LIMITATIONS OF THE PENNSYLVANIA MUNICIPALITIES PLANNING CODE, TO REQUEST FEES IN SUPPORT OF SUCH SERVICES WHERE THEY CANNOT BE DIRECTLY PROVIDED BY THE APPLICANT.
- ON-SITE ACTIVITIES AND OPERATIONS: THE NATURE OF THE ON-SITE ACTIVITIES AND OPERATIONS, WITH MINIMAL MATERIALS STORED AND CLOSELY SECURED BY GOVERNMENT REGULATIONS FOR HEALTH AND SAFETY, DOES NOT HAVE A FREQUENCY OF DISTRIBUTION AND RESTOCKING LIKE A MANUFACTURING OR RETAIL USE. THE DURATION PERIOD OF STORAGE OF MATERIALS IS MINIMAL DUE TO REGULATED EXPIRATIONS, AND THE METHODS FOR DISPOSAL OF ANY SURPLUS OR DAMAGED MATERIALS IS IN STRICT COMPLIANCE WITH HEALTH INDUSTRY STANDARDS. THE OPENING PART OF THIS NARRATIVE FURNISHES EVIDENCE THAT THE DISPOSAL OF MATERIALS WILL BE ACCOMPLISHED IN A MANNER THAT COMPLIES WITH STATE AND FEDERAL REGULATIONS. ALL OTHER DOMESTIC TYPE WASTES ARE REMOVED VIA DUMPSTER WHERE SHOWN ON THE SITE PLAN.
- THE GENERAL SCALE OF THE OPERATION, IN TERMS OF ITS MARKET AREA, SPECIFIC FLOOR SPACE REQUIREMENTS FOR EACH ACTIVITY, THE TOTAL NUMBER OF EMPLOYEES ON EACH SHIFT, THE NUMBER OF SHIFTS, THE HOURS OF OPERATION, AND OVERALL SITE SIZE ARE CONTAINED IN THE OPENING PART OF THIS NARRATIVE.
- MINIMAL ENVIRONMENTAL IMPACTS ARE LIKELY TO BE GENERATED (E.G., ODOR, NOISE, SMOKE, DUST, LITTER, GLARE, VIBRATION, ELECTRICAL DISTURBANCE, RADIATION, WASTEWATER, STORMWATER, SOLID WASTE) BECAUSE THE PLANS AND NARRATIVE IDENTIFY SPECIFIC MEASURES EMPLOYED TO MITIGATE OR ELIMINATE ANY SUCH NEGATIVE IMPACTS. THE OPENING NARRATIVE FURNISHES EVIDENCE THAT THE IMPACTS GENERATED BY THE PROPOSED USE FALL WITHIN ACCEPTABLE LEVELS AS REGULATED BY APPLICABLE LAWS AND ORDINANCES.
- THE SITE PLAN PRESENTS CREDIBLE EVIDENCE THAT THE NUMBER OF OFF-STREET PARKING SPACES PROVIDED FOR THE USE IS ADEQUATE AND FOLLOWS TOWNSHIP REQUIREMENTS. DELIVERY TYPE VEHICLES (TRACTOR TRAILER TRUCKS ARE NOT ANTICIPATED BUT TURNING MOVEMENTS HAVE BEEN EVALUATED AND FOUND ADEQUATE TO ACCOMMODATE WB - 50 TRUCKS IF ONE ENTERS THE SITE OR NEEDS TO BE UNLOADED) MEET THE EXPECTED DEMAND GENERATED BY THE PROPOSED USE AND ITS RELATED ACTIVITIES AND AN APPROPRIATE SPACE HAS BEEN PROVIDED FOR SUCH.



LOCATION MAP
USGS: STROUDSBURG QUADRANGLE
Scale: 1"=2000'

SHEET INDEX

NUMBER	SHEET NUMBER	DESCRIPTION
1	TS-1	TITLE SHEET
2	EF-1	EXISTING FEATURES PLAN
3	CD-1	CONDITIONAL USE SITE LAYOUT PLAN
4	CD-2	CONDITIONAL USE GRADING PLAN
5	LL-1	CONDITIONAL USE LANDSCAPE PLAN
6	LL-2	CONDITIONAL USE LIGHTING PLAN



PHOTOGRAMMETRIC ZONING MAP
SCALE: 1"=600'

SITE DATA

OWNER: WATER GAP ACQUISITIONS PARTNERS, LLC
PROPERTY ADDRESS: 805 SCOTT STREET, BOX 3
STROUDSBURG, PA 18360
APPLICANT/LESSEE: HEALTHY MINDS PARTNERS, LLC
57 SOUTH POINT DRIVE UNIT 1003
MIAMI FL 33139

DEED REFERENCE: D.B.V. 2418 - PG. 6885
PARCEL NO.: 16/9/1/22
PIN: 167310007555514
TOTAL AREA: 31.70 AC. (1,380,852 SF)

PROPOSED USE: RESIDENTIAL TREATMENT FACILITY

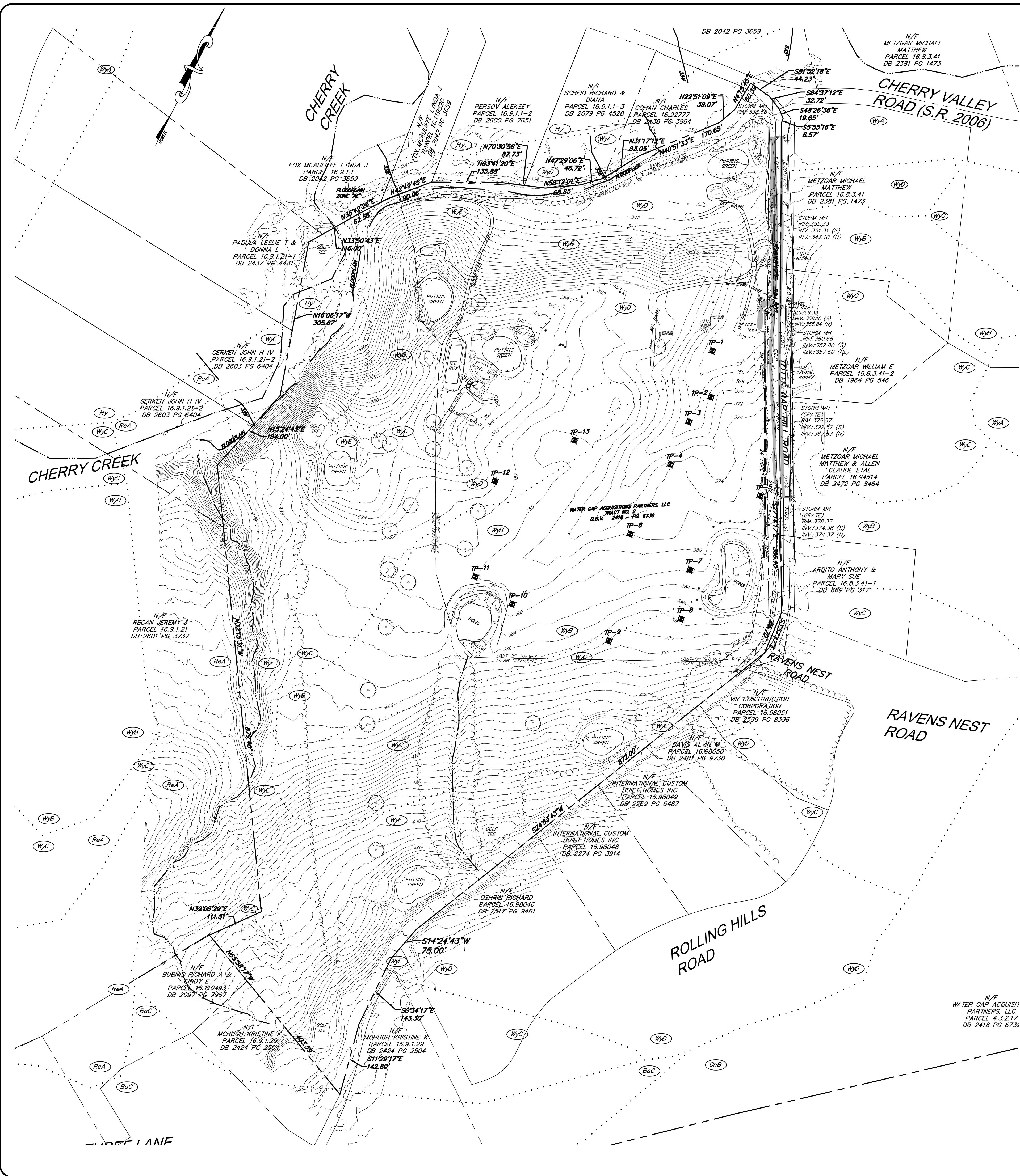
ZONING DATA

DISTRICT: R-1; LOW DENSITY RESIDENTIAL
ON-SITE SEWER AND WATER

PARKING: REHABILITATION FACILITY 1/325 SF X 19,000 SF = 59 PARKING SPACES
REQUIRED. 60 SPACES PROVIDED

MINIMUMS:	EXISTING	PROPOSED
LOT SIZE:	50,000 SF	1,380,852 SF
LOT WIDTH:	150 FT.	90'+/- CV RD, 2,000'+/- TG RD
LOT DEPTH:	200 FT.	900'
FRONT YARD:	35 FT.	35'
SIDE YARD:	30 FT.	30'
REAR YARD:	25 FT.	25'

MAXIMUMS:	EXISTING	PROPOSED
BUILDING COVERAGE:	20%	19,000/1,380,852=1.4%
BUILDING HEIGHT:	35 FT.	LESS THAN 35'
IMPERVIOUS COVERAGE:	22,000 SF	64,000/1,380,852=4.6%
AREA OF EARTH DISTURBANCE:		140,000 SF
APPROX SEWAGE SYSTEM DISTURBANCE:		60,000 SF
TOTAL DISTURBANCE:		200,000 SF



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 STROUDSBURG, PA 18360
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 57 SOUTH POINT DRIVE UNIT 1003
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 PARCEL NO.: 16.9.1.1-2
 PIN: 167310007555514
 TOTAL AREA: 31.70 AC. (1,380,852 SF)
 PROPOSED USE: RESIDENTIAL TREATMENT FACILITY



ZONING DATA

DISTRICT: R-1; LOW DENSITY RESIDENTIAL
 ON-SITE SEWER AND WATER
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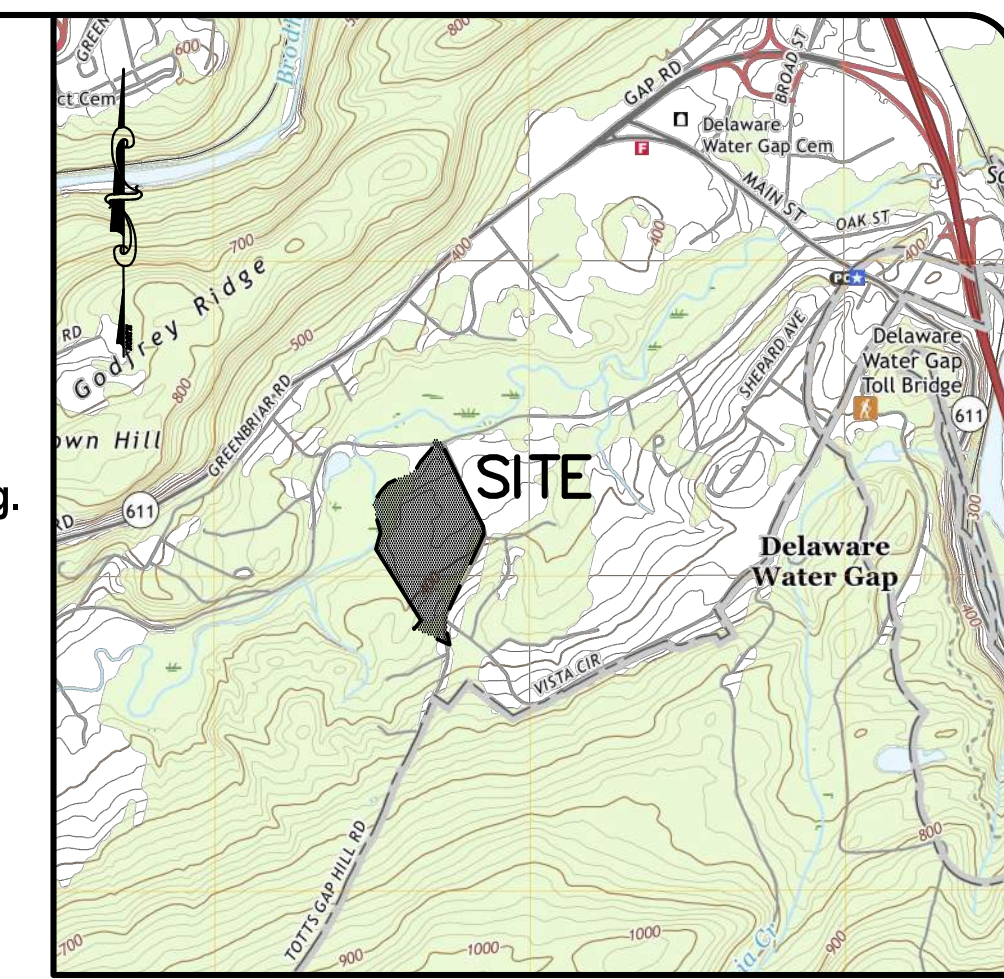
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SOIL CLASSIFICATION

- Hy HOLLY SILT LOAM, 0 TO 3 PERCENT SLOPES
- WbE WYOMING GRAVELLY SANDY LOAM, 3 TO 8 PERCENT SLOPES
- WYC WYOMING GRAVELLY SANDY LOAM, 8 TO 15 PERCENT SLOPES
- WdE WYOMING GRAVELLY SANDY LOAM, 15 TO 25 PERCENT SLOPES
- WfE WYOMING GRAVELLY SANDY LOAM, 25 TO 70 PERCENT SLOPES

NOTES:

- THIS DRAWING HAS BEEN PREPARED BASED ON THE BEST AVAILABLE INFORMATION. THE SURVEYOR HAS NOT VERIFIED THE ACCURACY OF THE UNDERGROUND UTILITIES AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE INCORPORATED HEREIN AS A RESULT. CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS PRIOR TO ANY FUTURE CONSTRUCTION.
- DATE OF SURVEY: JULY 2023
- THIS IS NOT A BOUNDARY SURVEY AND SHALL NOT BE CONSTRUED AS ONE. ALL BOUNDARY LINE INFORMATION IS SHOWN AS PER DEEDS OF RECORD.
- THE OWNER/DEVELOPER OF THE LOT SHALL BE RESPONSIBLE FOR ACQUIRING ANY APPLICABLE APPROVALS/PERMITS PRIOR TO PERFORMING ANY SITE DEVELOPMENT.
- HORIZONTAL DATUM: S.P.C.S. NAD83 & VERTICAL DATUM: NAVD88
- PROJECT SITE IS IN AREA OF SPECIAL FLOOD HAZARD: ACCORDING TO FEMA FIRM PANEL 42089C0431E, EFFECTIVE 05/02/2013.
- LIMIT OF DETAILED TOPO SURVEY VS DRONE SURVEY AS NOTED ON THE PLAN.



KEY MAP
SCALE: 1"=2000'

	EXISTING	PROPOSED
PROPERTY BOUNDARY		
ADJOINING PROPERTY		
WETLANDS		
FLOODPLAIN		
CURBING		
BUILDING		
PAVEMENT		
CONCRETE WALKWAY		
ZONING BOUNDARY		
SOIL BOUNDARY		
UTILITY POLE		
OVERHEAD WIRES		
UNDERGROUND ELECTRIC		
WATER MAIN & VALVE		
FIRE HYDRANT		
WELL		
GAS MAIN & VALVE		
SANITARY LINE, MANHOLE, & CLEANOUT		
STORM LINE, MANHOLE, & INLET		
CHAIN-LINK FENCE SIGN		
DECIDUOUS TREE		
EVERGREEN TREE		
CONTOUR		
SPOT ELEVATION		
EDGE OF PAVEMENT		
EDGE OF CONCRETE BITUMINOUS TYPICAL		
FINISHED FLOOR		
DOOR SILL		
TO BE REMOVED		

NOTE:
 VERTICAL TEXT INDICATES PROPOSED FEATURES
 SLANTED TEXT INDICATES EXISTING FEATURES



REVISIONS	DATE	BY

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 barryisett.com
 85 South Route 100
 Allentown, PA 18106

BARRY ISETT & Associates
 MULTIDISCIPLINE ENGINEERS AND CONSULTANTS

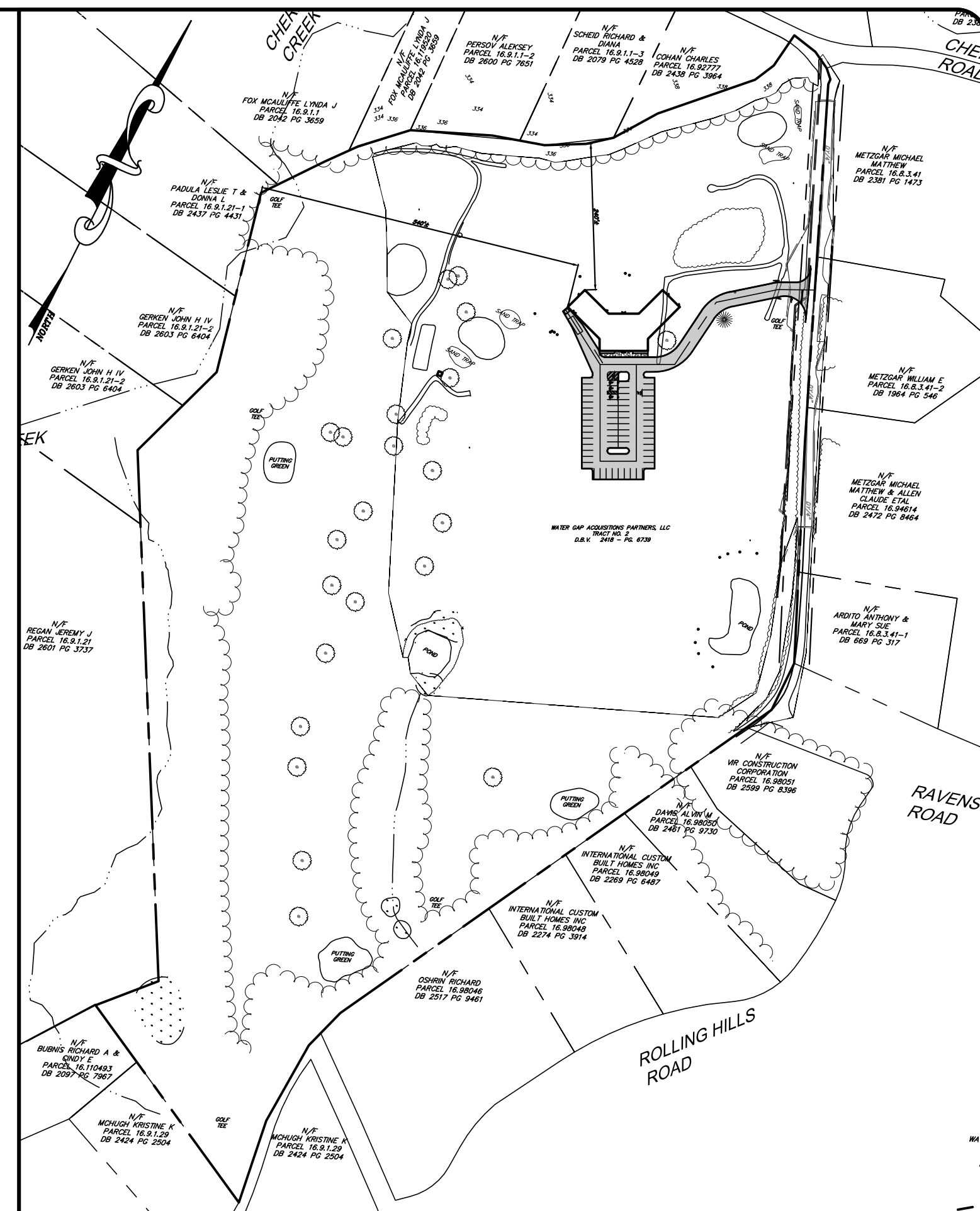
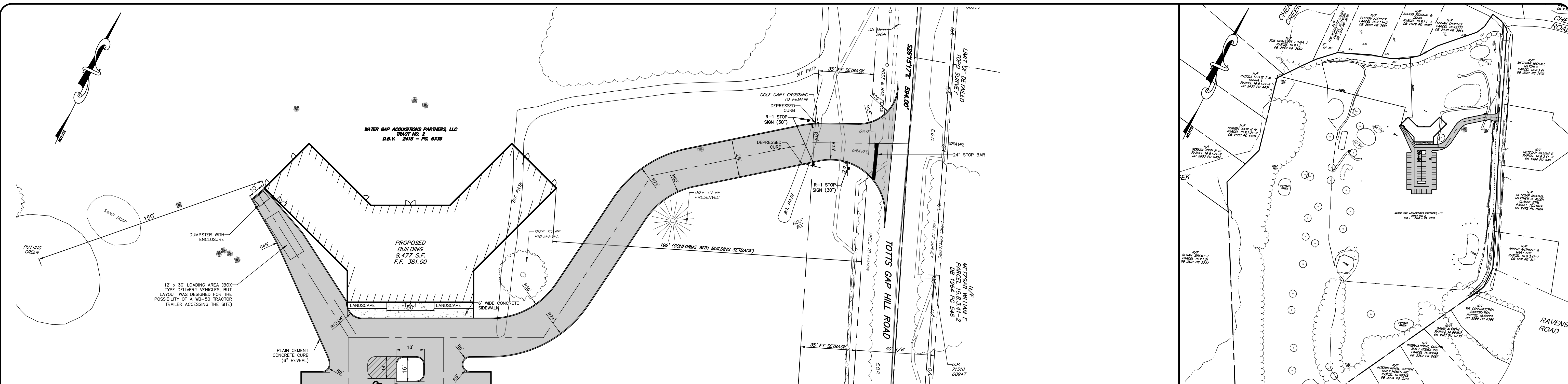
EXISTING FEATURES PLAN
TREATMENT CENTER CONDITIONAL USE PLAN
HEALTHY MINDS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

DATE:	8/22/2023	DSGN:	CN
SCALE:	1"=100'	CHK:	CN
DRAWN:	MB	APPRD:	CN
JOB:	1072123.000	P MGR:	CN

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 SHEET: 2 OF 6

EF-1

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CONDITIONAL USE NOTES

1. THE TREATMENT CENTER WILL BE OPEN 24 HOURS PER DAY, 365 DAYS PER YEAR.
2. THE MAXIMUM NUMBER OF CLIENTS WILL BE 60.
3. THE LENGTH OF STAY FOR EACH CLIENT IS EXPECTED TO RANGE FROM 25-40 DAYS.
4. THE TREATMENT CENTER MUST COMPLY WITH THE STAFFING REQUIREMENTS ESTABLISHED BY THE PENNSYLVANIA DEPARTMENT OF DRUG AND ALCOHOL PROGRAMS AND THE PENNSYLVANIA DEPARTMENT OF HEALTH SERVICES FOR A LICENSED FACILITY. THE TOTAL NUMBER OF STAFF TO RESIDENTS OVERALL OVER 3 SHIFTS IS EXPECTED TO BE APPROXIMATELY 1:2:1.
5. THE TOTAL NUMBER OF STAFF AT PEAK PERIOD, WHICH IS FIRST SHIFT DURING NORMAL WORKING HOURS, IS EXPECTED TO BE 40 STAFF, OR 0.66:1. DURING SECOND SHIFT, TOTAL STAFF IS EXPECTED TO BE 20 PEOPLE, OR 0.33:1, AND OVERNIGHT, TOTAL STAFF IS EXPECTED TO BE 10 PEOPLE, OR 0.17:1.
6. CLINICAL STAFF MEMBERS MUST MEET THE APPROPRIATE EDUCATIONAL AND EXPERIENTIAL QUALIFICATIONS AND RECEIVE TRAINING AS REQUIRED BY THE APPLICABLE PENNSYLVANIA REGULATIONS.
7. THE FOLLOWING IS THE ANTICIPATED STAFFING AND DAILY SCHEDULE:
 NURSES: 24 HOUR COVERAGE IN THREE SHIFTS - 7AM - 3PM, 3PM - 11PM, AND 11PM - 7 PM.
 COUNSELORS AND CLINICAL ADMINISTRATION: 8AM - 4:30PM
 CLINICAL AIDES: 3PM - 11PM, 11PM - 8AM
 MAINTENANCE PERSONNEL: 7AM - 3PM; ON CALL FOR EMERGENCIES
 MEDICAL STAFF: 8AM - 4:30PM; ON CALL AT OTHER TIMES
8. THE TREATMENT CENTER WILL COMPLY WITH ALL SECURITY REGULATIONS APPLICABLE TO LICENSED FACILITIES. THERE WILL BE 24 HOUR PER DAY, 365 DAYS PER YEAR ON-SITE SUPERVISION BY TRAINED PERSONNEL. IN ADDITION, THE FACILITY WILL BE SERVED BY AN ELECTRONIC SURVEILLANCE SYSTEM THAT WILL BE MONITORED AT ALL TIMES BY A TRAINED STAFF MEMBER. THE SURVEILLANCE SYSTEM WILL BE INSTALLED IN SUCH A MANNER AS TO ALLOW FOR THE PERIMETER OF THE PROPERTY TO BE VIEWED BY VIDEO MONITORS. THE VIDEO MONITORS WILL BE LOCATED IN A SEPARATE ROOM IN THE FACILITY AND MONITORED BY TRAINED PERSONNEL ON A CONTINUOUS BASIS, SIMILAR TO SUCH VIDEO SURVEILLANCE SYSTEMS UTILIZED FOR SECURITY PURPOSES IN MODERN BUSINESS AND PROPERTY MANAGEMENT.
9. STAFF IS ON 'AWAKE/DUTY' AROUND THE CLOCK AND RESPONSIBLE TO PERFORM SECURITY AND SAFETY SURVEILLANCE ACTIVITIES AND ROLL CALL AS A PART OF THEIR SHIFT RESPONSIBILITIES. DURING 'OFF HOURS,' STAFF PERFORMS ROUNDS ON A FREQUENT BUT UNSCHEDULED BASIS TO INSURE THE SAFETY AND SECURITY OF THE FACILITY AND CLIENTS. STAFF CONDUCT CLIENT 'BED CHECKS' THROUGHOUT THE EVENING AND STAFF ARE TRAINED IN THE PROCEDURES TO TAKE IF A CLIENT IS DETERMINED TO BE MISSING.
10. IT IS ANTICIPATED THAT THE FACILITY WILL HAVE 2 OR 3 BOX TYPE 30' TRUCKS MAKING DELIVERIES 2 OR 3 TIMES PER WEEK, TYPICALLY BETWEEN THE HOURS OF 9AM AND 11AM. THESE DELIVERIES WILL BE FOR FOOD AND OTHER NECESSARY SUPPLIES.
11. TEN COPIES OF SIX SITE DEVELOPMENT PLAN SHEETS HAVE BEEN PROVIDED THAT SHOW THE REQUIREMENTS OF CHAPTER 27 SECTION 705 ORDINANCE REQUIREMENTS. THE PURPOSE OF THE SITE PLAN IS TO EVALUATE THE ABILITY OF THE PROJECT TO MEET THE CONDITIONAL USE CRITERIA CONTAINED HEREIN AND NOT NECESSARILY TO OBTAIN FINAL APPROVAL WHEN FURTHER SUBMISSIONS UNDER THE TOWNSHIP'S SUBDIVISION AND LAND DEVELOPMENT ORDINANCE [CHAPTER 22] OR OTHER TOWNSHIP ORDINANCES ARE REQUIRED.
12. DRAINAGE RUNOFF FROM THE SITE DRAINS OVERLAND TO THE NORTHEAST AND EVENTUALLY DRAINS INTO CHERRY CREEK (DEFINED SPECIFICALLY IN THE PA CHAPTER 93 CODE AS CHERRY CREEK - BASIN, LR 45010 BRIDGE TO MOUTH - CWF, MF). THE OVERALL STORMWATER MANAGEMENT CONCEPT FOR THE PROJECT WILL BE DESIGNED IN ACCORDANCE WITH CHAPTER 26 PART 2 SUBSECTION 222 OF THE SMITHFIELD TOWNSHIP CODE AND NPDES STORM WATER PERMITTING FOR PROJECTS WITH EARTH DISTURBANCE GREATER THAN ONE ACRE. GROUNDWATER RECHARGE REQUIREMENTS ARE MET BY PROVIDING THE REQUIRED CAPACITY WITHIN THE SUBSURFACE INFILTRATION SYSTEM. THE BASIN AS APPROXIMATELY (CAN BE ENLARGED OR REDUCED) SHOWN SHOULD REASONABLY CONTROL TOWNSHIP ORDINANCE AND NPDES REQUIREMENTS WHEN FINAL DESIGN IS COMPLETED AND LAND DEVELOPMENT REQUIREMENTS APPLY.
13. THERE ARE NO SIGNS PROPOSED AT THIS TIME. IT IS UNDERSTOOD THAT ANY FUTURE SIGNS WOULD BE SUBJECT TO ALL ORDINANCE REQUIREMENTS OF THE TOWNSHIP.
14. A REPORT TITLED SOIL FEASIBILITY EVALUATION FOR HEALTHY MINDS TREATMENT CENTER HAS BEEN PREPARED AND PROVIDES SOIL TEST REPORTS, REGULATORY GUIDANCE AND MAP LOCATIONS WITH A CONCLUSION THAT THE PROJECT HAS AREAS DEEMED GENERALLY SUITABLE FOR THE TREATMENT CENTER ANTICIPATED FLOWS OF 8,100 GPD FOR SEWAGE TREATMENT AND THE THREE TEST PIT AREAS IN THE STORM BASIN FOR STORMWATER INFILTRATION.
15. WATER SUPPLY WILL BE PROVIDED BY AN ON-SITE WELL AND WILL REQUIRE PERMITTING THROUGH THE PA DEP. A QUICK REVIEW OF THE GEOLOGY SHOWS TWO ROCK TYPES ON SITE. THESE ARE THE BLOOMSBURG AND THE DECKER FORMATION THROUGH THE POXONO ISLAND FORMATION, UNDIVIDED. THESE ARE TWO OF THE MORE PROFICUOUS WATER PRODUCING FORMATIONS IN MONROE COUNTY WHICH INDICATES A LIKELIHOOD FOR SUCCESS AND FEASIBILITY OF THE WATER SYSTEM.
16. SMITHFIELD TOWNSHIP ORDINANCE SECTION 27-404A HAS A TRAFFIC IMPACT STUDY REQUIREMENT FOR GENERATION OF OVER 500 TRIP-ENDS. THE MAXIMUM ANTICIPATED DAILY VEHICULAR TRIPS OF 264 DOES NOT REACH THAT THRESHOLD.

SITE DATA

OWNER: WATER GAP ACQUISITIONS PARTNERS, LLC
 PROPERTY ADDRESS: 805 SCOTT STREET, BOX 3
 STROUDSBURG, PA 18360
 APPLICANT/LESSEE: HEALTHY MINDS PARTNERS, LLC
 MIAMI FL 33139

DEED REFERENCE: D.B.V. 2418 - PG. 6885
 PARCEL NO.: 16/9/1/22
 P.N.: 16731007555514
 TOTAL AREA: 31.70 AC. (1,380,852 SF)

PROPOSED USE: RESIDENTIAL TREATMENT FACILITY

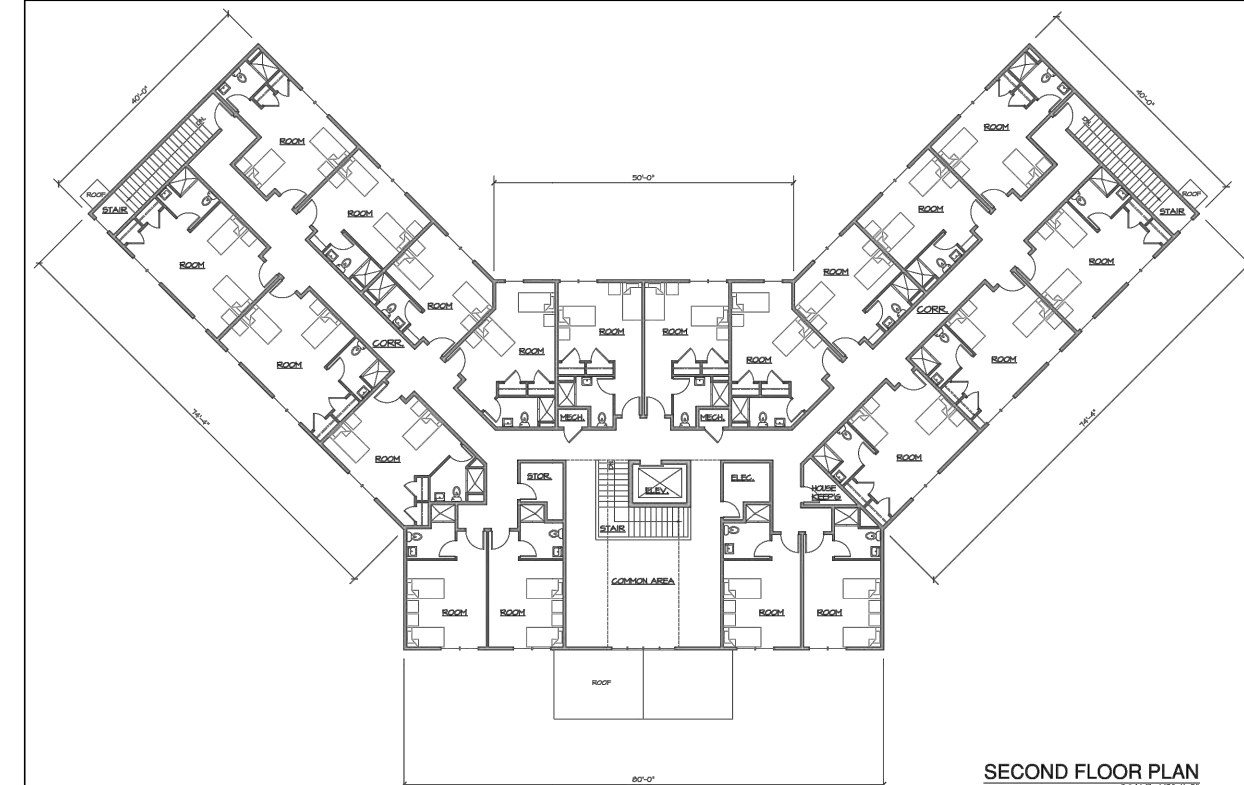
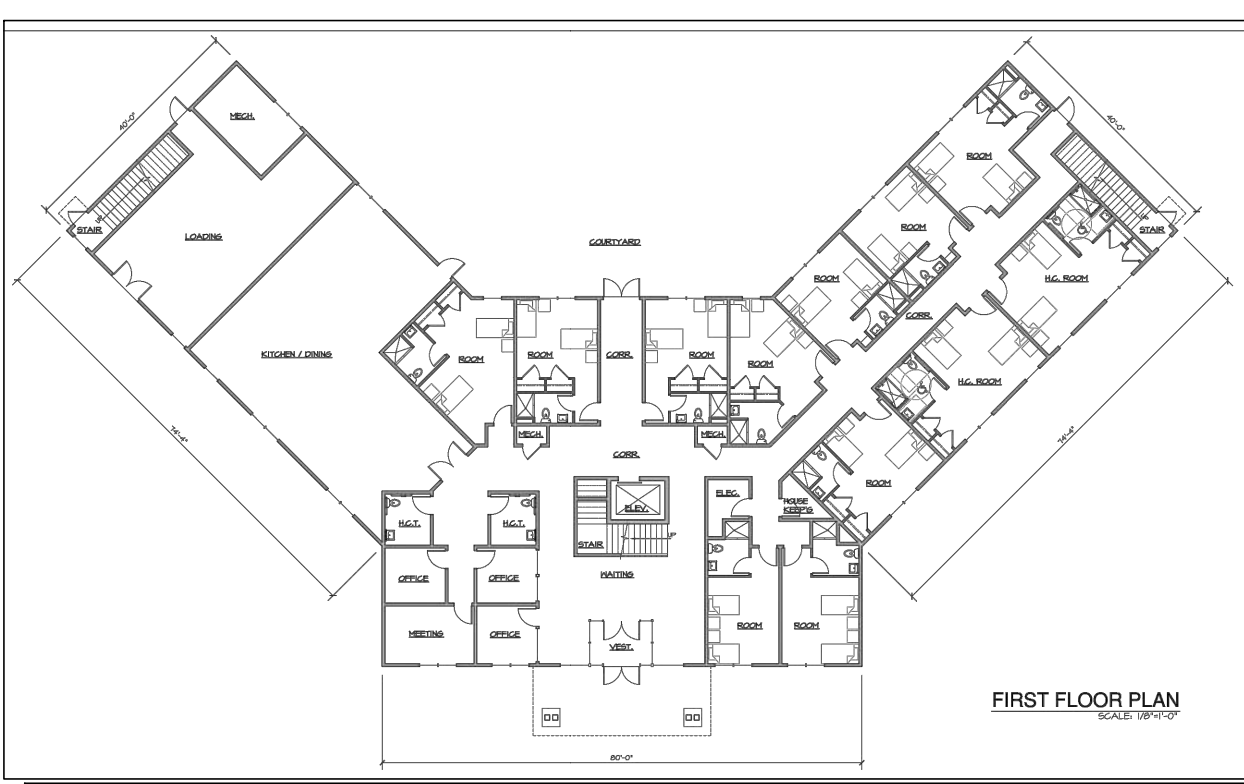
ZONING DATA

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 ON-SITE SEWER AND WATER

PARKING: REHABILITATION FACILITY 1/325 SF X 19,000 SF = 59 PARKING SPACES
 REQUIRED. 60 SPACES PROVIDED

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SIDE YARD:	30 FT.	30'	240'
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AREA OF EARTH DISTURBANCE:	140,000 SF		
APPROX SEWAGE SYSTEM DISTURBANCE:	60,000 SF		
TOTAL DISTURBANCE:	200,000 SF		

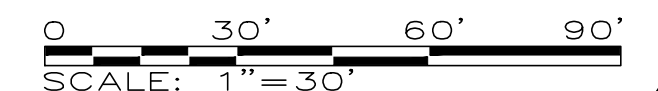


	EXISTING	PROPOSED
PROPERTY BOUNDARY	---	---
LOT LINE	---	---
CURBING	---	---
BUILDING	---	---
GRAVEL DRIVE	---	---
PAVEMENT	---	---
CONCRETE WALKWAY	---	---
ZONING BOUNDARY	---	---
SOIL BOUNDARY	---	---
UTILITY POLE	---	---
OVERHEAD WIRES	---	---
UNDERGROUND ELECTRIC	---	---
WATER MAIN & VALVE	---	---
FIRE HYDRANT	---	---
WELL	---	---
GAS MAIN & VALVE	---	---
SANITARY LINE, MANHOLE, & CLEANOUT	---	---
STORM LINE, MANHOLE, & INLET	---	---
CHAIN-LINK FENCE	---	---
SIGN	---	---
DECIDUOUS TREE	---	---
EVERGREEN TREE	---	---
CONTOUR	---	---
SPOT ELEVATION	---	---
EDGE OF PAVEMENT	---	---
EDGE OF CONCRETE	---	---
BITUMINOUS	---	---
TYPICAL	---	---
FINISHED FLOOR	---	---
DOOR SILL	---	---
TO BE REMOVED	---	---



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NOTE: VERTICAL TEXT INDICATES PROPOSED FEATURES
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 Allentown, PA 18106

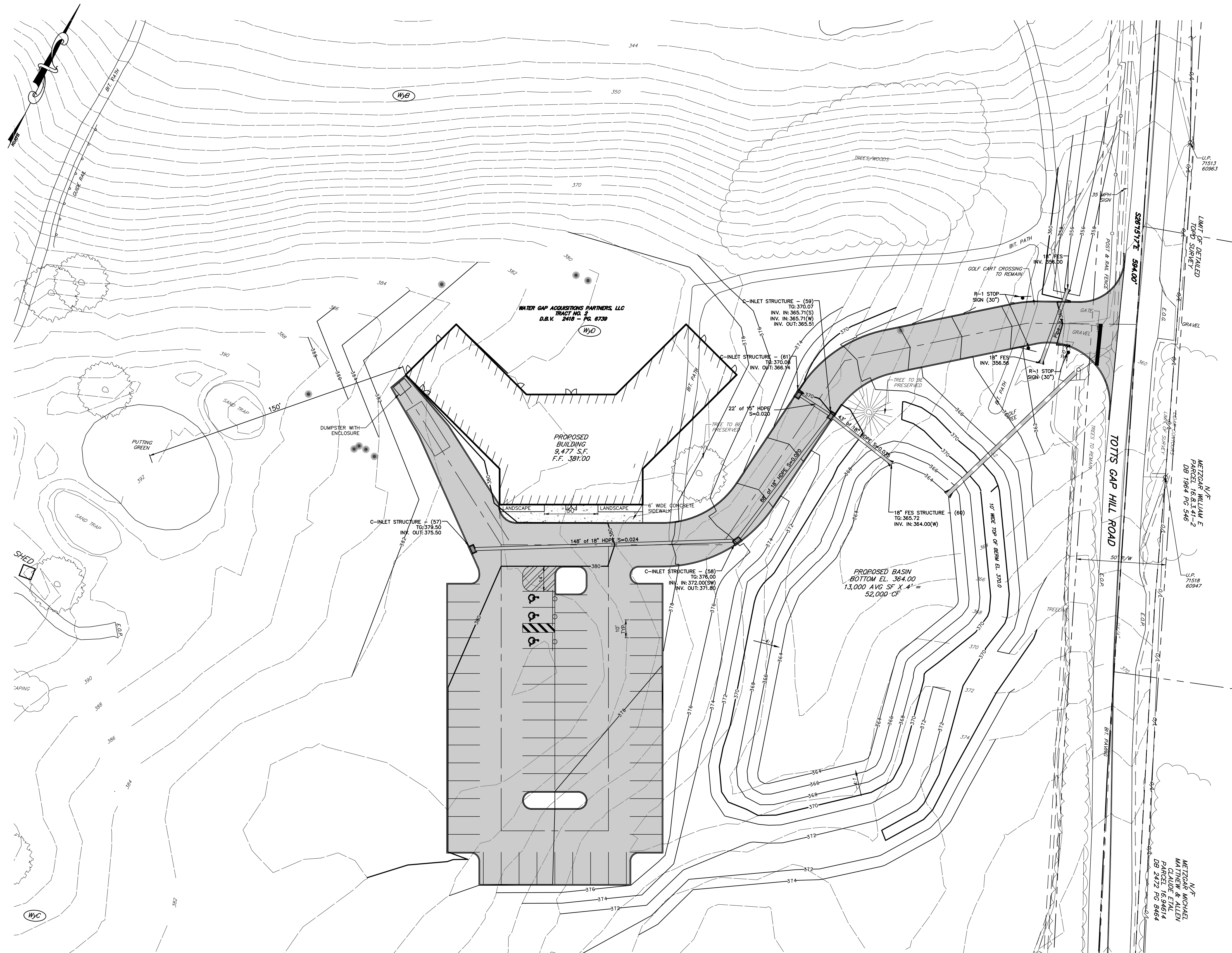
BARRY B. BARYISETT & ASSOCIATES
 MULTIDISCIPLINE ENGINEERS AND CONSULTANTS

CONDITIONAL USE SITE PLAN
TREATMENT CENTER CONDITIONAL USE PLAN
HEALTHY MINDS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

DATE: 8/22/2023	DSGN: CN
SCALE: 1"=30'	CHK: CN
DRAWN: MB	APPRD: CN
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CD-1

FILENAME: C:\Users\mbaryi\OneDrive\Documents\Projects\811\Treatm_Cond_Use\Project_Files\CD-1\CD-1_Site_Layout.dwg - August 22, 2023, 1:12 PM



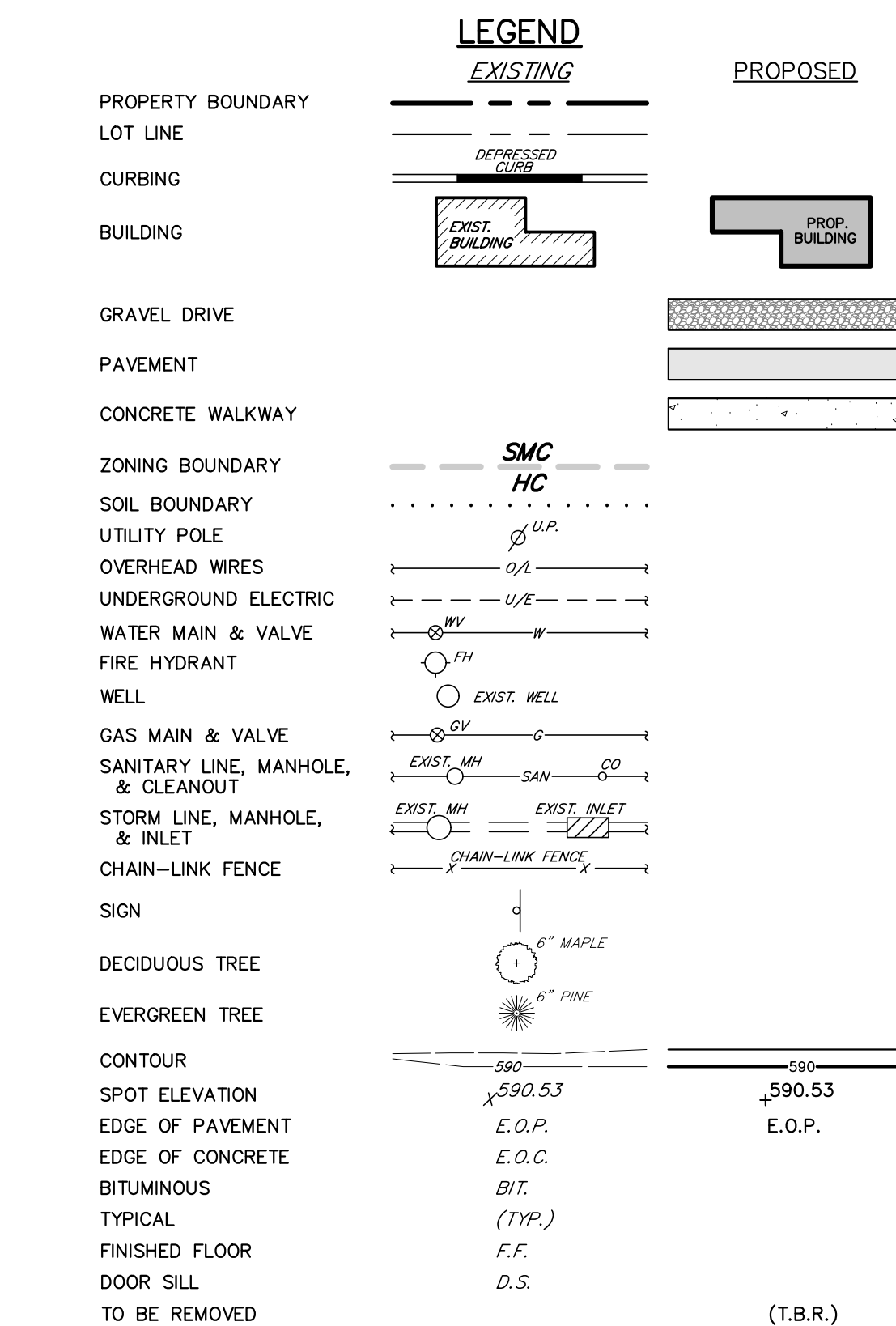
- GRADING NOTES:**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF PENNDOT PUBLICATION 408, LATEST EDITION.
 - STORM SEWER PIPES SHALL ENTER THE SIDES OF THE INLET BOXES AND SHALL NOT ENCRUSH INTO BOX CORNERS. MODIFIED (EXPANDED) INLET BOXES SHALL BE USED WHERE NECESSARY.
 - THE MINIMUM SLOPE IN GRADED AREAS SHALL NOT BE LESS THAN 2% AND THE MINIMUM IN PAVED AREAS SHOULD NOT BE LESS THAN 1%. PAVEMENT SHALL BE SAWCUT IN STRAIGHT LINES TO THE FULL DEPTH OF THE EXISTING PAVEMENT; ALL DEBRIS FROM REMOVAL OPERATIONS SHALL BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION; STODGING OF DEBRIS WILL NOT BE PERMITTED.
 - IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE/RECORD PLAN WILL SUPERSEDE IN ALL CASES. THE ENGINEER OF RECORD MUST BE IMMEDIATELY NOTIFIED IN WRITING OF ANY CONFLICTS.
 - THE CONTRACTOR SHALL BE REQUIRED TO SECURE ALL NECESSARY PERMITS (INCLUDING PAEP, ETC.) FOR ALL OFFSITE HAUL AND/OR BORROW SITES. CONTRACTOR SHALL SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING WORK.
 - EXISTING INLETS AND STORM SEWER SHOWS FILLED WITH DEBRIS SHALL BE CLEANED AND FLUSHED. NEW INLETS AND PIPES SHALL BE CHECKED FOR SUFFICIENCY AFTER CONSTRUCTION AND FLUSHED/CLEANED IF NECESSARY.
 - ALL STORMWATER DRAINAGE FACILITIES AND CONSTRUCTION PROCEDURES SHALL CONFORM TO THE PENNDOT STANDARDS AND MANUFACTURER SPECIFICATIONS WHEN APPLICABLE.
 - DEPTHS OF EXISTING UTILITIES IN PORTIONS OF THE SITE ARE UNKNOWN, WHERE EXISTING UTILITIES ARE TO REMAIN AND ARE FOUND TO HAVE INADEQUATE COVER AFTER FINAL PROPOSED GRADES HAVE BEEN ESTABLISHED, THE DESIGN ENGINEER SHALL BE CONTACTED IMMEDIATELY AND PRIOR TO FURTHER CONSTRUCTION ACTIVITIES IN THE AREA OF SAID CONFLICT.
 - ALL DESIGNERS AND CONTRACTORS UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF PENNSYLVANIA ACT 387 LOCATIONS OF EXISTING AND PROPOSED UNDERGROUND UTILITIES AND FACILITIES SHOWN ON THE DRAWINGS HAVE BEEN DEVELOPED FROM INFORMATION MADE AVAILABLE, COMPLETENESS AND ACCURACY OF LOCATION AND DEPTH OF UTILITIES AND FACILITIES CANNOT BE GUARANTEED. THE CONTRACTOR IS TO VERIFY THE DEPTH AND LOCATION OF ALL UTILITIES AND FACILITIES BEFORE THE START OF WORK. UTILITY HAND EXCAVATION AS REQUIRED, WORK IS ALSO TO BE DONE IN ACCORDANCE WITH THE UTILITY COMPANIES WHOSE FACILITIES ARE IN THE VICINITY OF THE WORK. OTHER UTILITIES MAY BE REQUIREMENTS OF PENNSYLVANIA ACT 38 (1981), THE CONTRACTOR SHALL CONTRACT THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776, AT LEAST 3 DAYS PRIOR TO EXCAVATION.
 - CONTRACTORS SHALL HAVE ALL REQUIRED SUBMITTAL APPROVALS PRIOR TO BEGINNING WORK OR ORDERING MATERIALS.
 - CONTRACTORS SHALL VERIFY ALL DIMENSIONS, INVERTS, ELEVATIONS, AND EXISTING CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. VARIATIONS BETWEEN DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO PROCEEDING WITH THE WORK.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY, PROCEDURES, MEANS AND METHODS, SEQUENCING, AND COORDINATION.
 - ALL WORK SHALL BE PERFORMED BY QUALIFIED, EXPERIENCED PERSONNEL.
 - CONTRACTOR SHALL NOTIFY THE OWNER OF PREEXISTING CONDITIONS OF DETERIORATION IN AREAS OF WORK THAT ARE UNCOVERED OR EXPOSED DURING THE WORK.
 - FIELD CHANGES REQUIRE PRIOR ENGINEERING REVIEW AND WRITTEN CONFIRMATION.
 - CONTRACTOR SHALL PROVIDE LAYOUT, LINE AND GRADE UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL PROVIDE TEMPORARY DEWATERING OF EXCAVATIONS THROUGHOUT THE DURATION OF CONTRACT AT NO ADDITIONAL COST.
 - REMOVE AREAS OF FINISHED SUBGRADE FOUND TO HAVE INSUFFICIENT COMPACTION DENSITY TO DEPTH NECESSARY AND REPLACE IN A MANNER THAT WILL COMPLY WITH COMPACTION REQUIREMENTS BY USE OF MATERIAL EQUAL TO OR BETTER THAN BEST SUBGRADE MATERIAL. ONSITE SURFACE OF SUBGRADE AFTER COMPACT ON SHALL BE HARD, UNIFORM, SMOOTH, STABLE, AND TRUE TO GRADE AND CROSS SECTION.
 - CONTRACTOR TO PROTECT SUBGRADE FROM EXCESSIVE WHEEL LOADING DURING CONSTRUCTION, INCLUDING DUMP TRUCKS AND CONCRETE TRUCKS.
 - EMBANKMENT PLACEMENT: ALL DETENTION/RETENTION BASIN EMBANKMENTS SHALL BE PLACED IN A MAXIMUM IF EIGHT (8)-INCH LIFTS COMPACTED TO A MINIMUM OF 95% OF MODIFIED PROCTOR DENSITY, AS ESTABLISHED BY ASTM D-1557, PRIOR TO PROCEEDING TO THE NEXT LIFT. THE COMPACTION SHALL BE CHECKED BY THE TOWNSHIP ENGINEER OR A CERTIFIED SOILS ENGINEER. COMPACTION TESTS SHALL BE RUN ON THE LEADING AND TRAILING EDGE OF THE BERM ALONG THE TOP OF BERM.
 - POND LENGTH: THE LENGTH OF THE POND BETWEEN THE INFLOW AND OUTFLOW POINTS SHALL BE MAXIMIZED TO PREVENT SHORT CIRCUITING OF THE RUNOFF FLOWING THROUGH THE POND.
 - CUTOFF TRENCH: A CUTOFF TRENCH (KEYWAY) OF IMPERVIOUS MATERIAL SHALL BE PROVIDED UNDER ALL EMBANKMENTS THAT REQUIRE FILL MATERIAL. THE CUTOFF TRENCH SHALL BE A MINIMUM OF EIGHT (8)-FEET WIDE, TWO (2)-FEET DEEP, AND HAVE SIDE SLOPES OF ONE-TO-ONE.
 - REFER TO THE SITE LAYOUT/RECORD PLAN FOR ADDITIONAL NOTES.
 - GRADING EQUIPMENT SHALL NOT BE ALLOWED TO CROSS STREAMS, WETLANDS OR OTHER WATERS OF THE COMMONWEALTH EXCEPT BY PA DEP PERMIT.

- PLACEMENT OF FILL NOTES:**
- BACKFILLING TO THE SUBGRADE ELEVATION SHALL BE DONE IN LAYERS OF SIX (6) TO EIGHT (8) INCHES AND EACH LAYER SHALL BE THOROUGHLY TAMED BY AN APPROVED MECHANICAL TAMPER TO A MINIMUM DENSITY OF 95% AT OPTIMAL MOISTURE AS DETERMINED BY ASTM D-698 OR AASHTO T-99 WITH SUITABLE BACKFILL MATERIAL. BACKFILLING OR TAMPING WITH TRENCHING MACHINES IS PROHIBITED.
 - THE FILL MATERIAL SHALL CONTAIN THE PROPER MOISTURE CONTENT TO OBTAIN THE REQUIRED COMPACTION. WETTING OR DRYING OF THE MATERIAL OR ANY OTHER MANIPULATION SHALL BE REQUIRED TO SECURE UNIFORM MOISTURE CONTENT THROUGHOUT THE LAYER. IF THE MATERIAL IS TOO WET TO PERMIT PROPER COMPACTION, ALL WORK ON PORTIONS THIS AFFECTED SHALL BE DELAYED UNTIL THE WET MATERIAL HAS EITHER DRIED TO THE MOISTURE CONTENT OR HAS BEEN REMOVED. A LAYER OF FILL SHALL NOT BE ADDED UNTIL THE PREVIOUS LAYER HAS ATTAINED THE REQUIRED PERCENT COMPACTION.
 - SUITABLE BACKFILL MATERIAL IS MATERIAL CONTAINING NO DEBRIS, ORGANIC MATTER, FROZEN MATERIAL OR LARGE ROCKS OR STONES WITH A DIAMETER OF GREATER THAN ONE-HALF THE THICKNESS OF THE COMPACTED LAYERS BEING PLACED. IN ADDITION, BACKFILL MATERIAL SHALL NOT CONTAIN VEGETATION, MASSES OF ROOTS, INDIVIDUAL ROOTS, CONCRETE, ASHES, REFUSE, BOULDERS AND ANY OTHER MATERIAL WHICH IN THE OPINION OF THE ENGINEER, IS UNSUITABLE.

Volume to BMPs

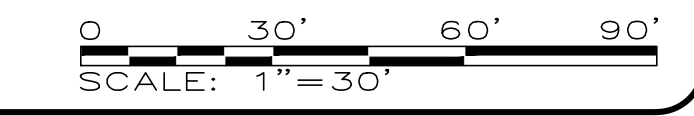
2-Year Rainfall: 3.23 in

UG Detention System (BMP 1)	Soil Type	Area (sf)	Area (ac)	CN	S	Ia (0.2" S)	Q (cfs)	Runoff Volume ² (ft ³)
Impervious	D	41,815	0.96	98	0.20	0.04	3.10	10792
Lawn	D	21,780	0.50	89	1.24	0.25	2.20	3994
TOTAL		63,595	1.460					14,786



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NOTE:
VERTICAL TEXT INDICATES PROPOSED FEATURES
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BARRY H. ISETT & Associates
MULTIDISCIPLINE ENGINEERS AND CONSULTANTS

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barryisett.com
85 South Route 100
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CONDITIONAL USE GRADING PLAN
TREATMENT CENTER CONDITIONAL USE PLAN
HEALTHY MINDS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

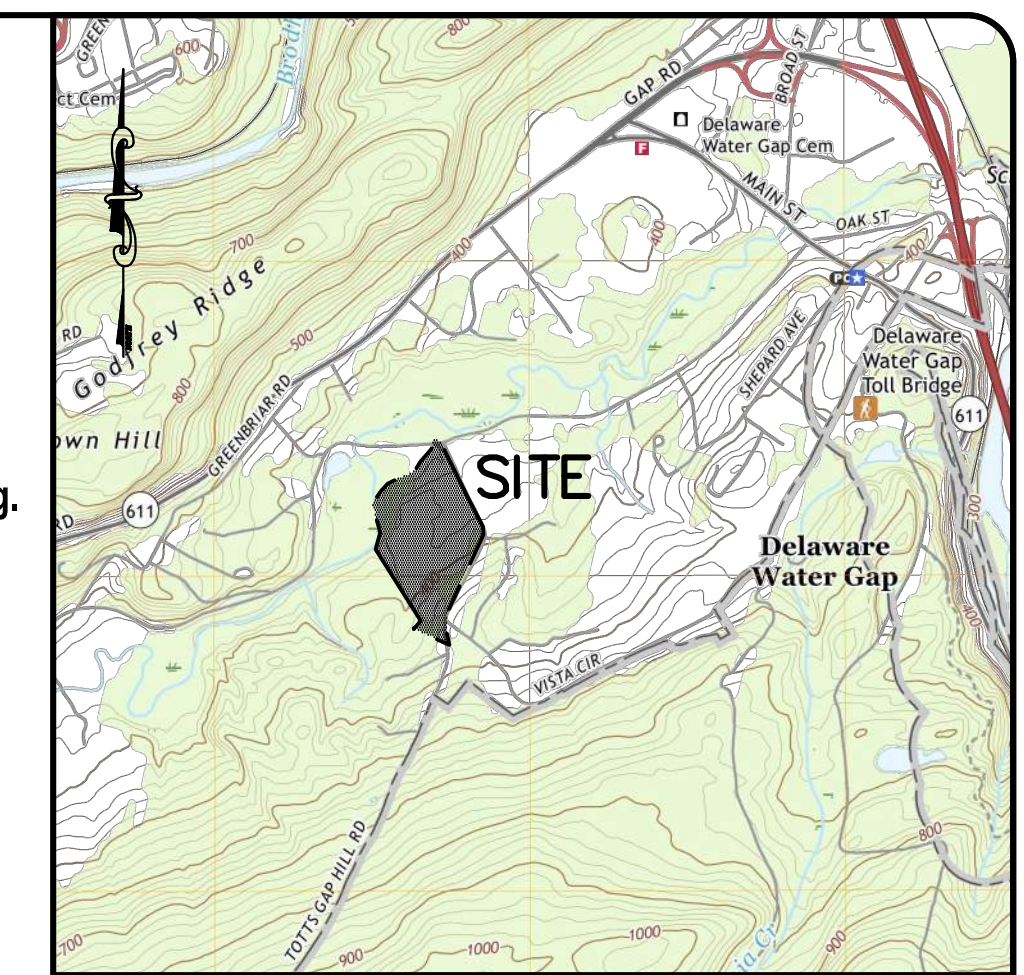
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CD-2

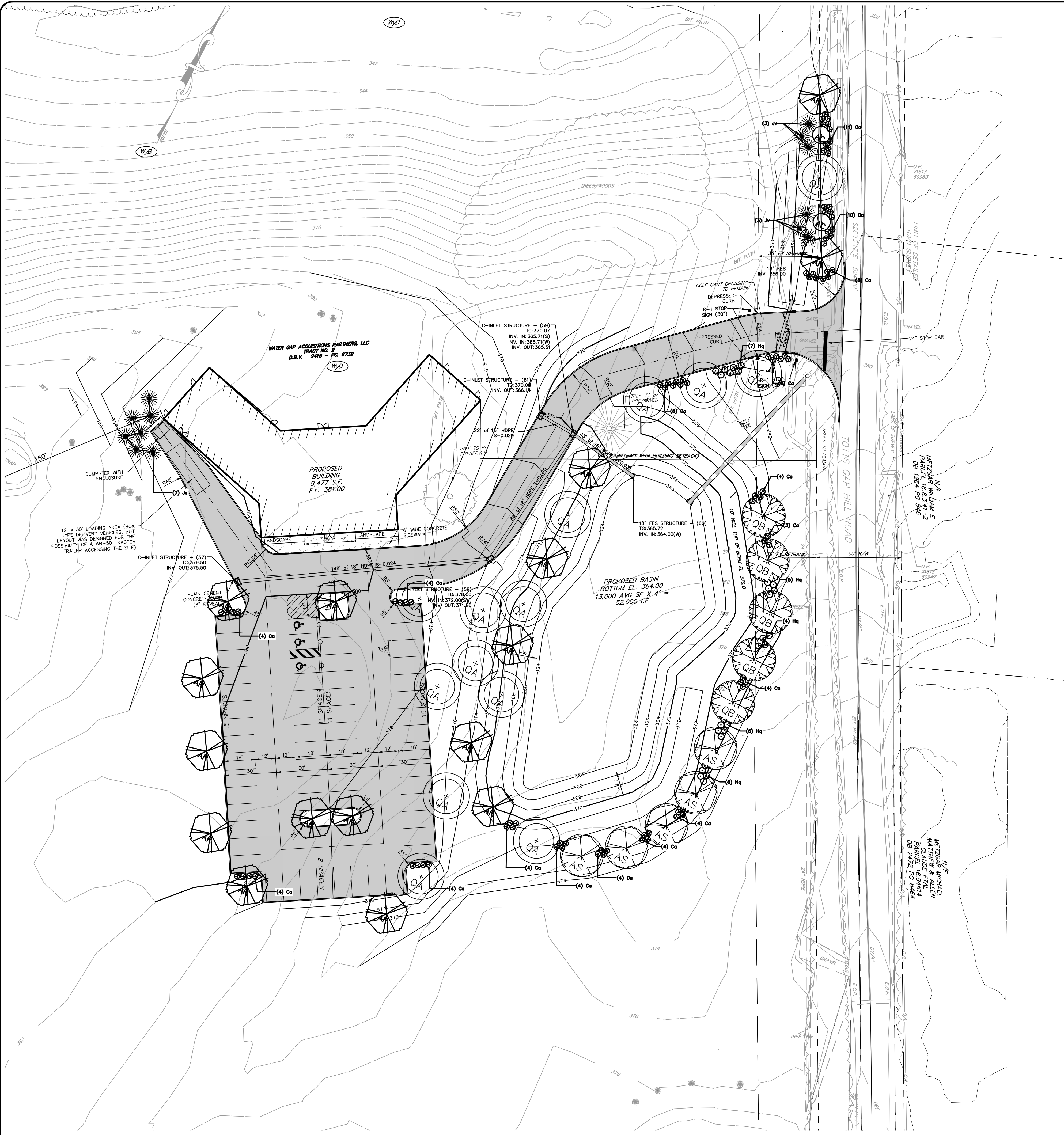
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KEY MAP
SCALE: 1"=200'



Street Tree Schedules table with columns: SYMBOL, QUANTITY, SCIENTIFIC NAME, COMMON NAME, B&B/CONTAINER, Size/Height, Notes

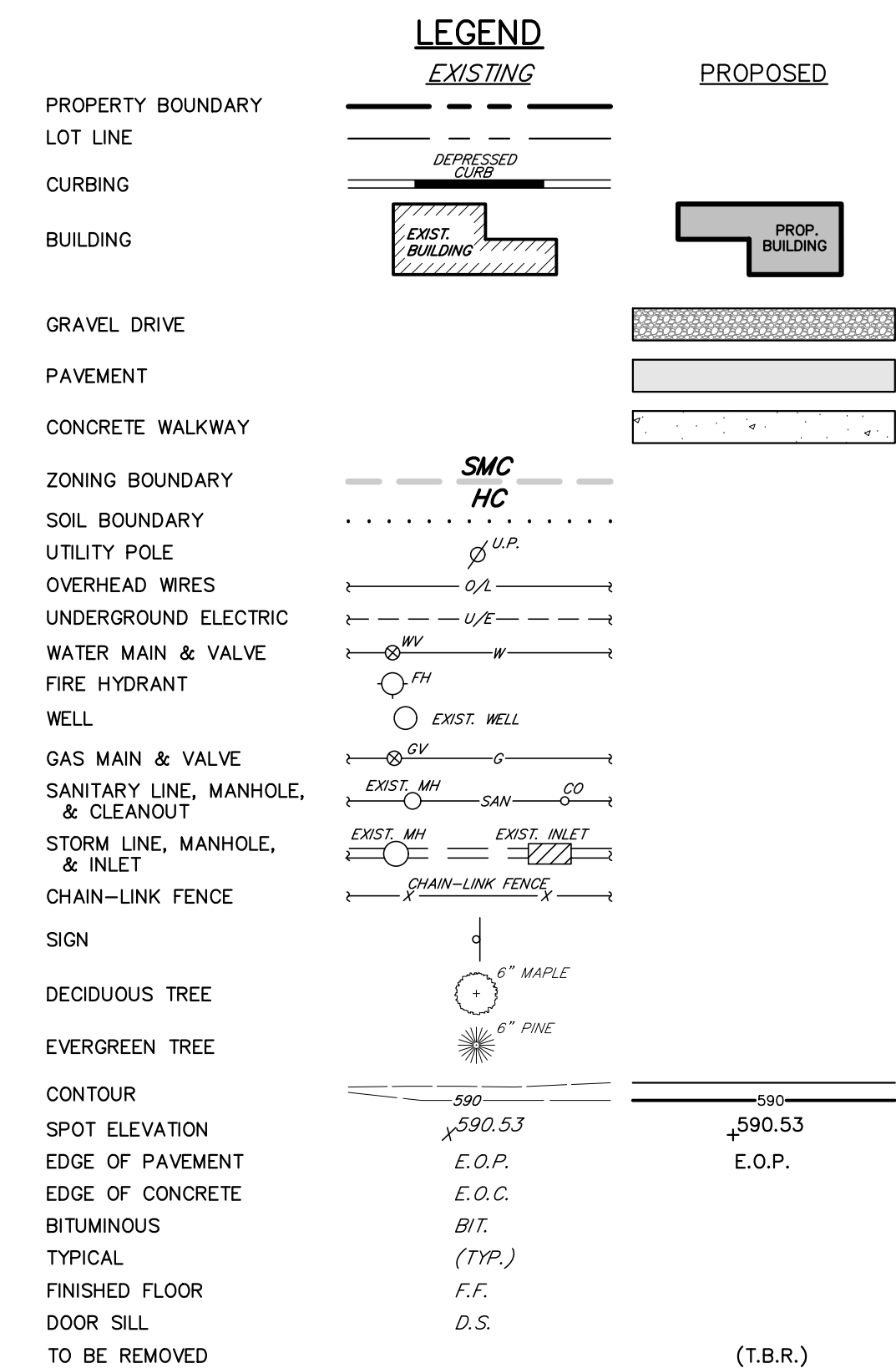
Parking Lot Schedule table with columns: SYMBOL, QUANTITY, SCIENTIFIC NAME, COMMON NAME, B&B/CONTAINER, Size/Height, Notes

Shrubs and Evergreens schedule tables

Buffer Schedules and Ornamental Trees tables

Stormwater Plantings table with columns: SYMBOL, QUANTITY, SCIENTIFIC NAME, COMMON NAME, B&B/CONTAINER, Size/Height, Notes

NOTES: LANDSCAPE REQUIREMENTS: STREET TREES, STREET BUFFER STRIP, PARKING LOT, STORMWATER PLANTINGS



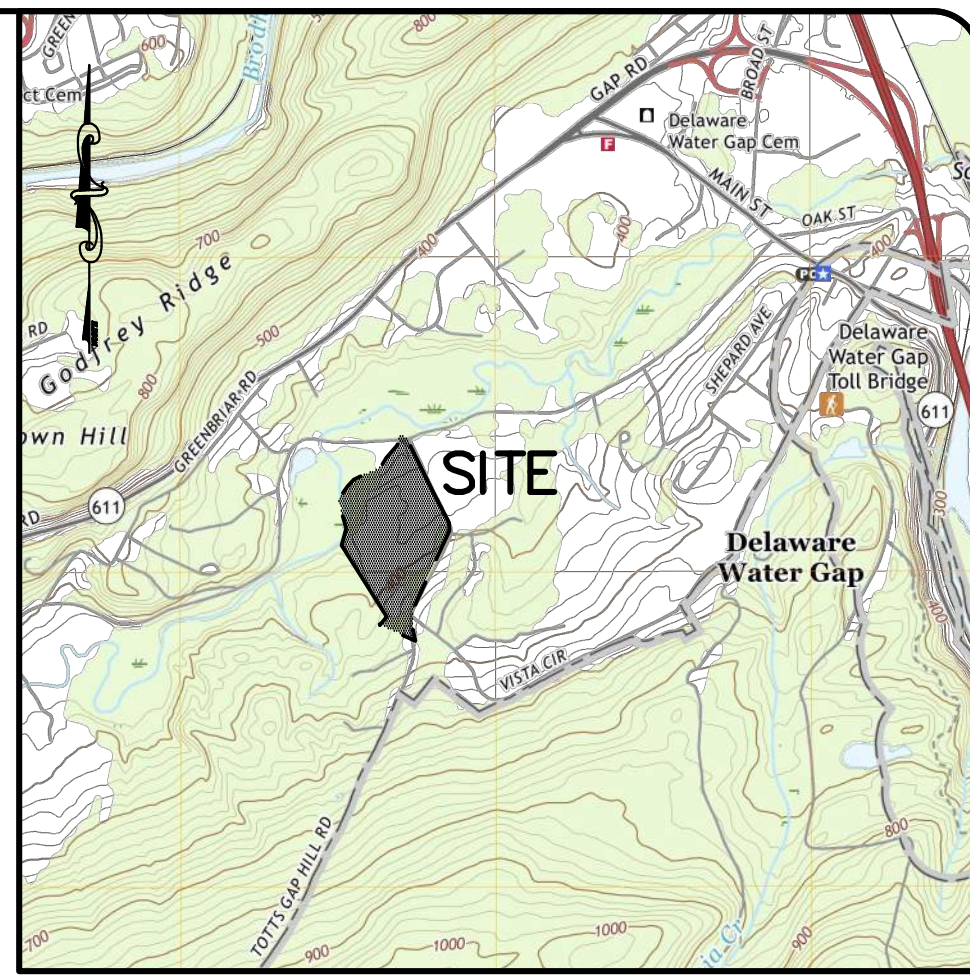
NOTE: VERTICAL TEXT INDICATES PROPOSED FEATURES
SLANTED TEXT INDICATES EXISTING FEATURES
SCALE: 1"=30'

REVISIONS table with columns: DATE, REVISIONS

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MULTIDISCIPLINE ENGINEERS AND CONSULTANTS

LANDSCAPE PLAN
TREATMENT CENTER CONDITIONAL USE PLAN
HEALTHY MINDS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA
DATE: 8/22/2023 DSGN: CN
SCALE: CHK: CN
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LL-1



KEY MAP
SCALE: 1"=2000'

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Site Lighting	+	0.1 fc	8.0 fc	0.0 fc	N/A	N/A
Parking Area	*	2.0 fc	4.4 fc	1.0 fc	4.4:1	2.0:1
Roadway Lighting	*X	2.2 fc	8.0 fc	0.2 fc	40.0:1	11.0:1

Schedule

Symbol	Label	Quantity	Manufacturer	Description	Number Lamps	Lumens Per Lamp	Catalog Number	Light Loss Factor	Wattage
P1		3	Lithonia Lighting	RSX Area Luminaire Size 1 P3 Lumen Package 3000K CCT Type R2 Distribution	1	12808	RSX1 LED P3 30K R2	0.95	109,442
P2		4	Lithonia Lighting	RSX Area Fixture Size 1 P3 Lumen Package 3000K CCT Type R4 Distribution		12930	RSX1 LED P3 30K R4	0.95	109,44

Note
 1. Calculations taken @ ground level.
 2. Surface reflectances set to 50%
 3. Calculations are estimations based on information provided. Actual conditions may vary.

LEGEND

EXISTING **PROPOSED**

- PROPERTY BOUNDARY
- LOT LINE
- CURBING
- BUILDING
- GRAVEL DRIVE
- PAVEMENT
- CONCRETE WALKWAY
- ZONING BOUNDARY
- SOIL BOUNDARY
- UTILITY POLE
- OVERHEAD WIRES
- UNDERGROUND ELECTRIC
- WATER MAIN & VALVE
- FIRE HYDRANT
- WELL
- GAS MAIN & VALVE
- SANITARY LINE, MANHOLE, & CLEANOUT
- STORM LINE, MANHOLE, & INLET
- CHAIN-LINK FENCE
- SIGN
- DECIDUOUS TREE
- EVERGREEN TREE
- CONTOUR
- SPOT ELEVATION
- EDGE OF PAVEMENT
- EDGE OF CONCRETE
- BITUMINOUS
- TYPICAL
- FINISHED FLOOR
- DOOR SILL
- TO BE REMOVED

Scale: 0 40' 80' 120'
SCALE: 1"=40'

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LIGHTING PLAN

TREATMENT CENTER CONDITIONAL USE PLAN
HEALTHY MINDS PARTNERS, LLC
SMITHFIELD TOWNSHIP
MONROE COUNTY, PA

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